



**PROJECT DESCRIPTION**

	<b>Existing</b>	<b>Proposed</b>
General Plan:	Residential Low-Medium Density	Same
Zoning District:	R-2/PD	Same
Lot Size (sq. ft.):	5,438	Same
Gross Floor Area (sq. ft.):	0	1,347
Lot Coverage:	0	24.7%
Floor Area Ratio:	0	23.4%
Parking:	0	4
Front Setback:	0	45
Right Side Setback:	0	4'
Left Side Setback:	0	22'-4"
Rear Setback:	0	11'-7"

<b>Previous Planning Projects related to Subject Application</b> The previous home on this property was condemned by the City of Sunnyvale and demolished in 2001. Subsequently, an application was submitted in 2006 to construct a new 2,300 square foot one-story home. The application was withdrawn by the applicant and is no longer valid.	<b>Yes</b>
<b>Neighborhood Preservation Complaints</b> At least six complaints have been received within the last several years regarding overgrown weeds. All cases have been closed and there are no active enforcement cases on this property.	<b>Yes</b>
<b>Deviations from Standard Zoning Requirements</b>	<b>No</b>

**Site Layout:** The applicant proposes to construct a new one-story home, with an attached two-car carport tucked in the back of the home. The existing driveway along the left side will be widened to meet the City's residential driveway standards. Staff recommends that the applicant design the driveway and curb cut to maintain the existing street tree, if feasible. The applicant has already been in contact with the City Arborist and Public Works Engineer, who have provided a fee estimate if the street tree must be removed. A final determination will be made during the encroachment and building permit process (see Attachment A). The project meets all development standards, such as setback, height and lot coverage.

**Neighborhood Pattern:** The applicant proposes to set back the home 45 feet from the front property line. Although the typical neighborhood pattern is for homes to be set back within 15 to 30 feet, the applicant states that this distance is needed to reduce noise impacts on the property owners and

interference with the medical devices in the home (see Attachment C). Staff finds this setback to be appropriate, given the unique medical needs of the property owner, and allows options for future additions to the front of the home.

**Floor Plan:** The floor plan of the home has also been designed to meet the medical needs of the property owner. The floor plan resembles a residential studio, with an open room, kitchen and bathroom. A covered patio area separates the home from the carport in the back, which is not visible from the street frontage.

**Architecture:** The architecture of the home is considered Craftsman style, with vertical wood siding and a dominant entry with wood detailing and posts. The base on the home includes stone veneer, which adds visual interest to the façade. The design is similar to other Craftsman style homes found in the neighborhood and complies with the Single Family Home Design Techniques.

**Parking:** The proposed project will provide a total of four off-street parking spaces, including two-covered carport spaces and two-uncovered driveway spaces. The proposed parking meets the City's parking requirements and circulation guidelines.

**Landscaping:** A draft landscaping plan has been provided, which shows a combination of trees and shrubs to be planted within the front yard of the home. Although the draft plan appears to conform to the City's general landscaping requirements, a more detailed plan showing conformance to the City's water efficient landscaping requirements will be submitted as a separate Miscellaneous Plan Permit, which will need to be submitted prior to building permit submittal and will be subject to review and approval by the Director of Community Development (see Attachment A).

**Fences:** The site plan indicates that a 3-foot tall wood fence will be constructed along the perimeter of the front yard area, as well as a 6-foot tall wood fence along the side yards. There is an existing 8-foot tall concrete wall along the rear property line, which was constructed in conjunction with the adjacent development. Although fences are not required by the City, all new fences must comply with the City's regulations (see Attachment A).

**Green Building:** Based on the size of the home, the project is required to meet the State's CalGreen Mandatory Measures. Staff has consulted with the City's Building Safety Division, who has determined that these Measures will not impact the overall site design. The CalGreen measures will be implemented during the building permit phase (see Attachment A).

**Public Contact:** 10 notices were sent to surrounding property owners and residents adjacent to subject site in addition to standard noticing practice. No letters were received.

**Environmental Determination:** A Categorical Exemption Class 3 (new construction of small structures) relieves this project from CEQA provisions.

### **FINDINGS**

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In order to approve the Special Development Permit the following findings must be made:

1. The proposed use attains the objectives and purposes of the General Plan of the City of Sunnyvale.

The proposed project allows the applicant to have a reasonable option to build a home that meets their needs, while maintaining the overall character of the neighborhood. The project complies with all development standards for the zoning district.

**Staff was able to make the findings as the design meets the guidelines described above.**

2. The proposed use ensures that the general appearance of proposed structures, or the uses to be made of the property to which the application refers, will not impair the orderly development of, or the existing uses being made of, adjacent properties.

The design of the home is in keeping with the architectural style and character of the existing neighborhood and will not result in visual or privacy impacts to the neighbors. The new home will contribute positively to the streetscape of the neighborhood.

**The project is expected to have no impacts on surrounding properties.**

### **ALTERNATIVES:**

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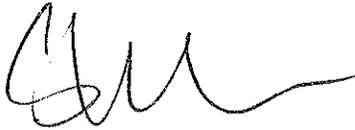
1. Approve the Special Development Permit with recommended Conditions in Attachment A.
2. Approve the Special Development Permit with modifications.
3. Deny the Special Development Permit.

**RECOMMENDATION**

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Alternative 1. Approve the Special Development Permit with recommended Conditions in Attachment A.

Reviewed by:



Shaunn Mendrin  
Senior Planner

Prepared By: Noren Caliva, Associate Planner

Attachments:

- A. Standard Requirements and Recommended Conditions of Approval
- B. Site and Architectural Plans
- C. Letter from the Applicant

**RECOMMENDED  
CONDITIONS OF APPROVAL AND  
STANDARD DEVELOPMENT REQUIREMENTS  
MAY 25, 2011**

**Planning Application 2010-7702**

451 E. Washington Ave.

Special Development Permit to allow construction of a new single-family home.

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

**GC: THE FOLLOWING GENERAL CONDITIONS OF APPROVAL AND  
STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE  
APPROVED PROJECT.**

**GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:**

All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]

**GC-2. USE EXPIRATION:**

The approved use Permit for the use shall expire if the use is discontinued for a period of one year or more. [SDR] (PLANNING)

GC-3. PERMIT EXPIRATION:

The permit shall be null and void two years from the date of approval by the final review authority at a public hearing if the approval is not exercised, unless a written request for an extension is received prior to expiration date and is approved by the Director of Community Development. [SDR] (PLANNING)

**PS: THE FOLLOWING SHALL BE MET PRIOR TO SUBMITTAL OF BUILDING PERMIT, AND/OR GRADING PERMIT.**

PS-1. LANDSCAPING PLANS:

A final landscaping plan demonstrating compliance with the City's landscaping and water-efficient landscaping requirements contained in SMC 19.37 is required prior to issuance of a building permit. The landscaping plan shall be reviewed through a separate Miscellaneous Plan Permit and will be subject to review and approval by the Director of Community Development. [COA] [PLANNING]

PS-2. EXTERIOR MATERIALS REVIEW:

Final exterior building materials and color scheme are subject to review and approval by the Planning Commission/Director of Community Development prior to submittal of a building permit. [COA] [PLANNING]

**BP: THE FOLLOWING SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).**

BP-1. CONDITIONS OF APPROVAL:

Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]

BP-2. BLUEPRINT FOR A CLEAN BAY:

The building permit plans shall include a "Blueprint for a Clean Bay" on one full sized sheet of the plans. [SDR] [PLANNING]

BP-3. CALGREEN MANDATORY MEASURES:

The project shall comply with the State's CalGreen Mandatory Measures. [SDR] [PLANNING/BUILDING]

**EP: THE FOLLOWING SHALL BE ADDRESSED AS PART OF AN ENCROACHMENT PERMIT APPLICATION.**

**EP-1. DRIVEWAY AND CURB CUT DESIGN:**

The new driveway and curb cut must comply with the City's residential driveway standards. [COA] [PUBLIC WORKS]

**EP-2. STREET TREE:**

The new driveway and curb cut shall maintain the existing street tree to the extent feasible. If deemed infeasible the property owner shall obtain appropriate permits and pay necessary fees, as required by the Department of Public Works. [COA] [PUBLIC WORKS]

**AT: THE FOLLOWING CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS SHALL BE COMPLIED WITH AT ALL TIMES THAT THE USE PERMITTED BY THIS PLANNING APPLICATION OCCUPIES THE PREMISES.**

**AT-1. FENCES:**

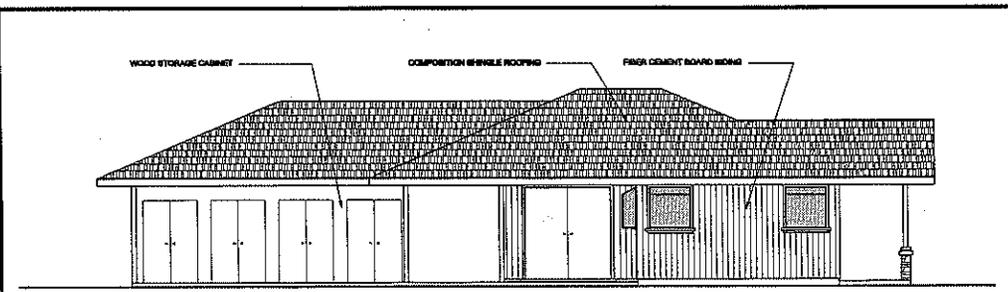
All new fences must comply with SMC 19.48 requirements. [SDR] [PLANNING]

**AT-2. LANDSCAPE MAINTENANCE:**

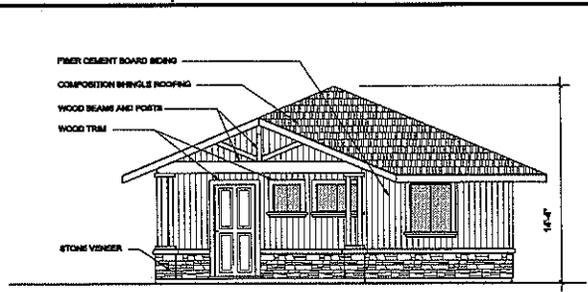
All landscaping shall be installed in accordance with the approved landscape plan and shall thereafter be maintained in a neat, clean, and healthful condition. Trees shall be allowed to grow to the full genetic height and habit (trees shall not be topped). Trees shall be maintained using standard arboriculture practices. [COA] [PLANNING]



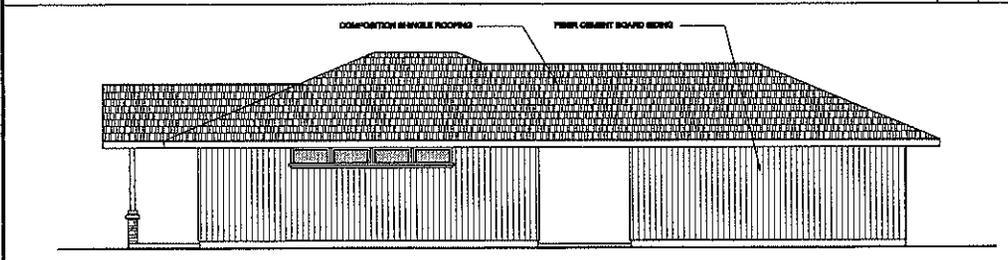
GOFF DEVELOPMENT & DESIGN CO.  
 791 E. BROKAW RD.  
 SAN JOSE, CA, 95112  
 (408) 441-9078  
 CA. LIC. NO. 722528



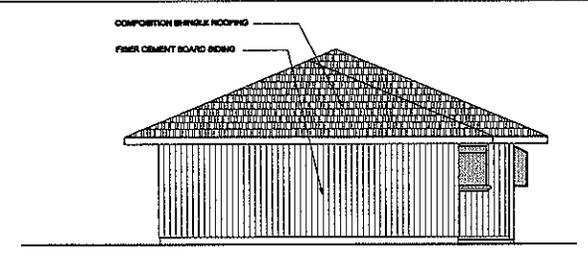
NORTH (SIDE) ELEVATION 1/4" 4



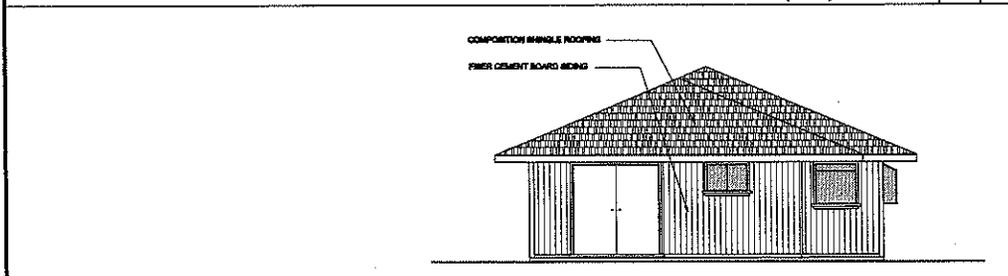
WEST (FRONT) ELEVATION 1/4" 1



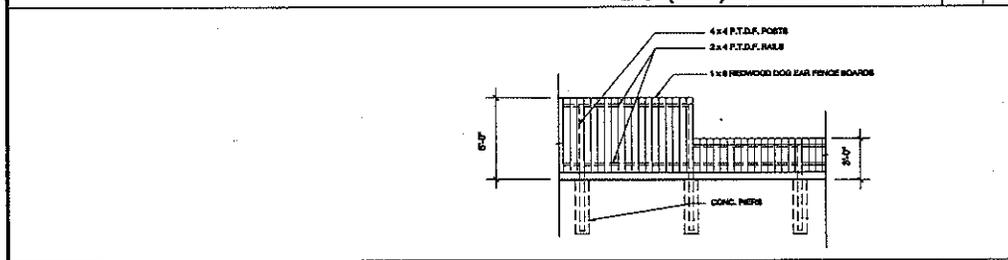
SOUTH (SIDE) ELEVATION 1/4" 5



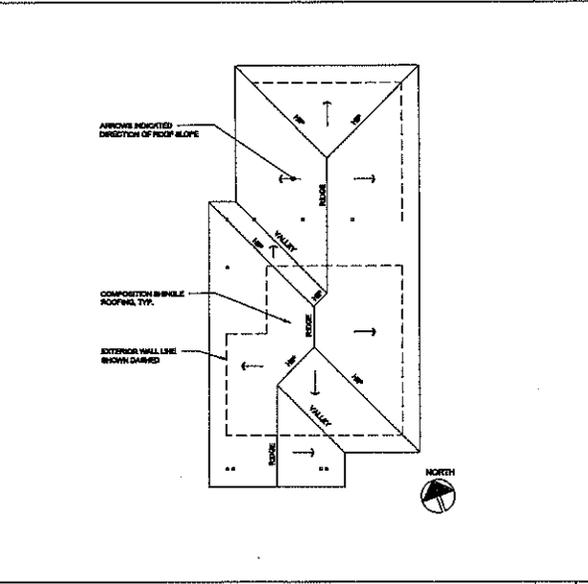
EAST (REAR) ELEVATION 1/4" 2



EAST (REAR) ELEVATION AT CARPORT 1/4" 6

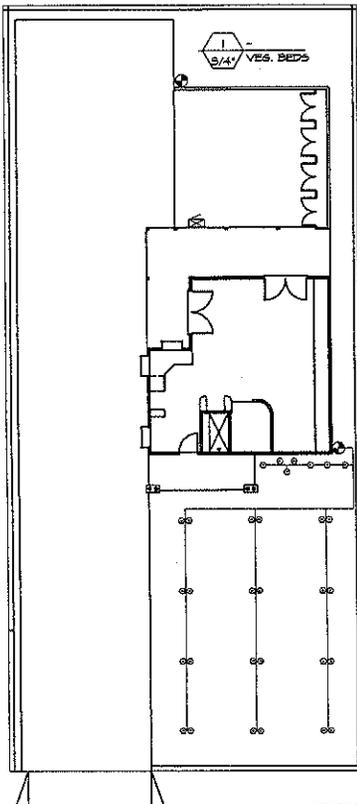


WOOD FENCE ELEVATION 1/4" 7

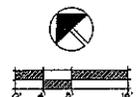


ROOF PLAN 1/4" 3

ATTACHMENT B  
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2 1.75 GPM  
3/4\"/>

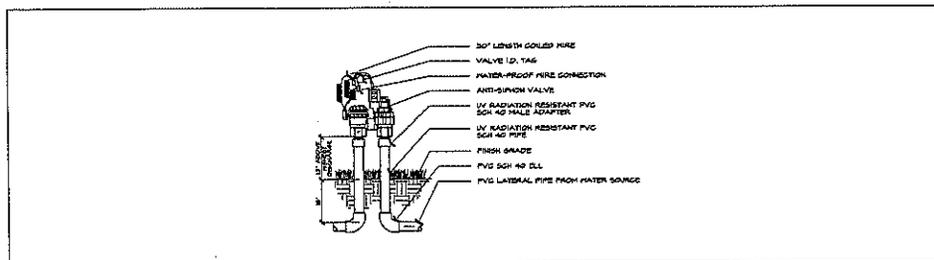


**IRRIGATION LEGEND**

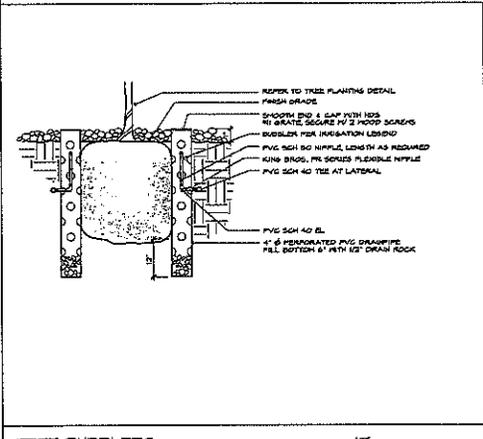
SYM.	MODEL	MANUF.	DESCRIPTION	GPM	PSI
<b>BUBBLER</b>					
1	FB-25-PC	TORG	FLOOD BUBBLER 1/2" PER TREE IN DRAIN TUBES, ONE PER SHRUB ON RISER, REFER TO DETAILS	0.25	30
<b>VALVES</b>					
2	ESP-0-4-04	TORG	3/4" ANTI-SIPHON VALVE INSTALLED PER DETAIL		
<b>CONTROLLERS / SENSORS</b>					
3	THC-312-00	TORG	4 STATION AUTOMATIC EXTERIOR WALL MOUNT IRRIGATION CONTROLLER		
<b>PIPING</b>					
			SCH 40 PVC NON-PRESSURIZED LATERAL LINE, 12" DEPTH, 3/4" SIZE		

**IRRIGATION NOTES**

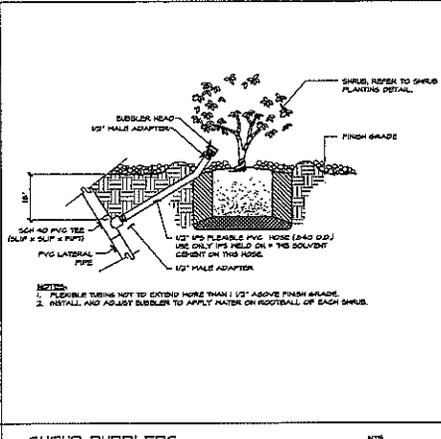
- THESE NOTES ARE FOR GENERAL REFERENCE IN CONJUNCTION WITH AND AS A SUPPLEMENT TO THE INTENT SPECIFICATIONS, DETAILS, ADDENDA AND CHANGE ORDERS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF EXISTING AND FUTURE UNDERGROUND SERVICES. CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 443-2444 PRIOR TO BEGINNING WORK. CONTRACTOR SHALL RESOLVE ANY CONFLICTS AHEAD OF TIME.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS.
- THIS SYSTEM IS DESIGNED TO OPERATE AT 50 PSI AND 40 GPM FROM THE POINT OF CONNECTION. CONTRACTOR SHALL VERIFY PRESSURE AND FLOW PRIOR TO BEGINNING OF WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER OF ANY CONFLICTS AHEAD OF TIME.
- THE IRRIGATION SYSTEM DESIGN IS DIAGRAMMATIC. WHERE PIPING, VALVES, ETC. ARE SHOWN OUTSIDE OF PLANTING AREAS, THE INTENT IS FOR PIPING, VALVES, ETC. TO BE INSTALLED WITHIN PLANTING AREAS UNLESS OTHERWISE NOTED ON PLANS.
- CONTRACTOR SHALL LOCATE EXISTING WATER SOURCES FOR CONNECTION TO NEW SYSTEM.
- CONTRACTOR SHALL COORDINATE IRRIGATION INSTALLATION WITH OTHER TRADES. CONTRACTOR TO COORDINATE AND VERIFY ALL SLEEVES, PIPING, ELECTRICAL SUPPLY, POINT OF CONNECTION, ETC.
- REFER TO IRRIGATION SPECIFICATIONS, SHEET LB, AND IRRIGATION DETAILS.



**ANTI-SIPHON VALVE**



**TREE BUBBLERS**



**SHRUB BUBBLERS**

IRRIGATION PLAN 1/8" 1



313 Willow Street, Suite 101  
San Jose, CA 95125  
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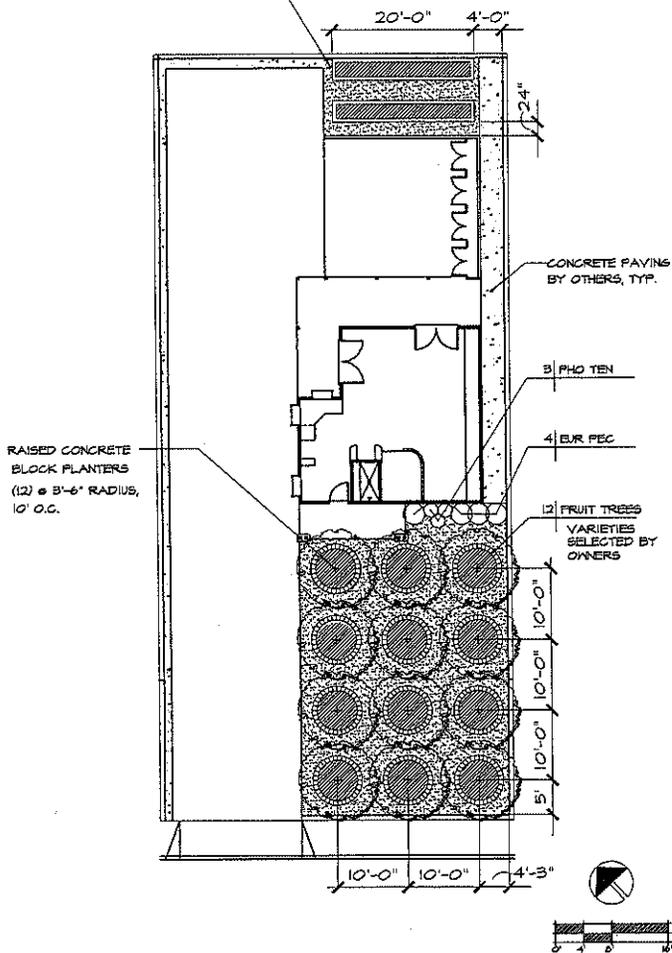


ANLA JOB: 1111

APPROVALS:

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RAISED CONCRETE BLOCK PLANTERS - (2) @ 20' X 3'



RAISED CONCRETE BLOCK PLANTERS (12) @ 3'-6" RADIUS, 10' O.C.

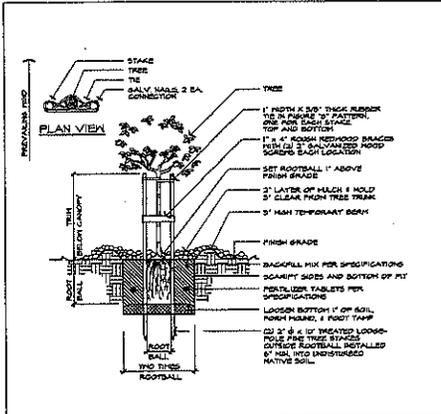
CONCRETE PAVING BY OTHERS, TYP.  
 3 PHO TEN  
 4 ELM PEC  
 12 FRUIT TREES VARIETIES SELECTED BY OWNERS

**PLANT LEGEND**

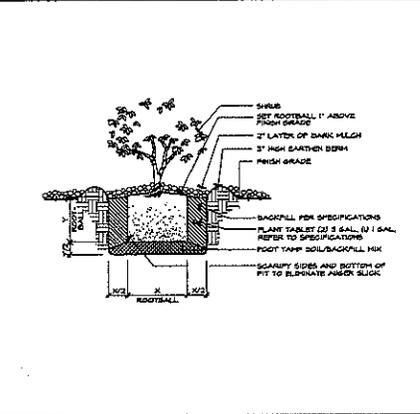
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME
SHRUBS			
ELM PEC	3 GAL	EURYALIA PECTINATUS	NO COMMON NAME
PHO TEN	1 GAL	PHODENDRUM TERNstroemii	NEW ZEALAND FLAX
<b>TREES: OWNER TO SELECT SPECIES, VARIETIES AND SIZE.</b>			
CITRUS			
	LIMONS	CITRUS, 'LISBON', 'Meyer'	
	ORANGES	'Valencia', 'Washington'	
	TANGERINES	'HARDY', 'SOLDIER'	
FRUIT			
	APPLE	'GARDEN DELICIOUS', 'SPANNY SHIRAZ', 'LISA', 'ROYALTY', 'KATY', 'HARGOT'	
	AMIGDOL	'ANGELA', 'BING', 'COMPACT STELLA'	
	CHERRY	'LITTLE EMBERT', 'NIGHTS', 'SPRINGBROOK'	
	PEACH	'SARLETT', 'CONFERENCE', 'SURE CROP'	
	PEAR		
MATERIAL			
		AMEND SOIL PER SPECIFICATIONS, GRADE AND INSTALL 2" BARK MULCH TOP DRESSING	
		PEA GRAVEL 3" THICK MATERIAL TO MATCH EXISTING ADJACENT CONCRETE PAVING	

**PLANTING NOTES**

1. THESE NOTES ARE FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, DETAILS, ADDENDA AND CHANGE ORDERS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
2. CONTRACTOR SHALL COORDINATE WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
3. CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH WORK TO BE DONE. CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 442-2444 PRIOR TO DIGGING. NOTIFY DISTRICT REPRESENTATIVE IMMEDIATELY SHOULD CONFLICTS ARISE.
4. FINE GRADING AND IRRIGATION COVERAGE SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING OPERATIONS.
5. PLANT MATERIAL SHALL NOT BE INSTALLED IN AN AREA WHICH WILL CAUSE HARM TO ADJACENT STRUCTURES OR OBSTRUCT IRRIGATION SPLIT PATTERN. NOTIFY THE DISTRICT REPRESENTATIVE SHOULD CONFLICTS ARISE.
6. PRIOR TO PLANTING INSTALLATION, OBTAIN APPROVAL OF PLANT LAYOUT FROM GENERAL CONTRACTOR. PLANT LOCATIONS ARE DIAGNOSTIC AND MAY BE ADJUSTED IN THE FIELD AT THE GENERAL CONTRACTOR'S REQUEST.
7. UNLESS OTHERWISE NOTED, FINISH GRADE OF PLANTING AREAS SHALL BE 2" BELOW ADJACENT PAVINGS.
8. PLANTING AREAS SHALL RECEIVE A 2" MIN. DEPTH BARK MULCH TOP DRESSING.
9. NEWLY PLANTED MATERIAL SHALL BE THOROUGHLY SOAKED WITH WATER WITHIN 3 HOURS OF PLANTING.
10. REFER TO PLANTING AND MAINTENANCE SPECIFICATIONS, SHEET 13.



TREE PLANTING



SHRUB PLANTING



913 Willow Street, Suite 101  
 San Jose, CA 95133  
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 www.anla-associates.com



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APPROVALS:

ATTACHMENT B  
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**LANDSCAPE SPECIFICATIONS**

**IRRIGATION**

**GENERAL CONDITIONS**

- FURNISH ALL MATERIALS, LABOR AND EQUIPMENT AND SERVICES REQUIRED TO INSTALL COMPLETE IRRIGATION SYSTEM AS SHOWN ON DRAWINGS AND AS SPECIFIED HEREIN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF A WORKING IRRIGATION SYSTEM INCLUDING, BUT NOT LIMITED TO:
  - VERIFICATION OF EXISTING PIPING, UTILITY LINES AND MARKING WITHIN WORK AREA.
  - INSTALLATION OF IRRIGATION SYSTEM.
  - CONNECTION OF IRRIGATION VALVES TO DOMESTIC WATER SOURCE.
  - TRENCHING AND BACKFILLING OF TRENCHES.
  - MAINTENANCE AND GUARANTEE OF IRRIGATION SYSTEM FOR ONE CALENDAR YEAR FROM COMPLETION DATE.
- IRRIGATION PLAN IS DRAWN TO SCALE WITH PIPE RING SHOWN SCHEMATICALLY. INSTALLATION SHALL BE ADJUSTED TO MEET SPECIFIC CONDITIONS.
- REFER TO IRRIGATION PLAN FOR IRRIGATION SYSTEM DESIGN REQUIREMENTS.
  - CONTRACTOR TO PERFORM PRESSURE CHECK PRIOR TO START OF JOB TO VERIFY NECESSARY PRESSURE AND FLOW RATE. IF PRESSURE FALLS BELOW SPECIFIED PRESSURE, NOTIFY OWNER FOR DIRECTION PRIOR TO COMMENCEMENT OF WORK. IF THE PRESSURE IS GREATER THAN 40 PSI, A GLAUTION MODEL 400 PRESSURE REDUCING VALVE SHALL BE INSTALLED ON THE OUTLET SIDE OF THE WATER METER PER LOCAL CODES.

- COMPLETE WARRANTY CARDS FOR AUTOMATIC CONTROLLER AND OTHER IRRIGATION EQUIPMENT. DELIVER WARRANTY CARDS TO OWNER PRIOR TO FINAL ACCEPTANCE OF WORK.

- ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- ALL WORK SHALL CONFORM TO LOCAL CODES AND REGULATIONS.
- CONTRACTOR SHALL ADJUST THE IRRIGATION SYSTEM TO PREVENT OVERWATERING AND/OR OVERSPRAYS.

**PRODUCTS**

- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN WORKING CONDITION WHEN INSTALLED.
- PIPES SHALL BE:
    - CLASS 200 PVC LATERAL LINE 1/2" DEPTH
  - FITTINGS SHALL BE:
    - SCHEDULE 40 PVC AND SCHEDULE 80 PVC
  - WIRE SHALL BE:
    - SINGLE STRAND COPPER SIZED AS NECESSARY FOR THE LENGTH OF RUN. COLOR CODE MARKING USING WHITE, 12 GAUGE WIRE FOR COMMON AND BLACK 14 GAUGE WIRE FOR PILOT.
    - LOOPED UP A MINIMUM OF 3" IN EVERY VALVE BOX INTERCEPTED ON THE WAY TO THE CONTROLLER.
  - REMOTE CONTROL VALVES, VALVE BOXES AND CONTROLLERS SHALL BE MODEL AND SIZE SHOWN ON IRRIGATION LEGEND AND DETAILS.
  - PIPE JOINT WATERPROOFING MATERIAL SHALL BE:
    - PVC SOLVENT CEMENT SHALL BE HELD-ON 10S FOR CLASS 200 AND 50H 40 PVC PIPE AND HELD-ON 3I FOR SCH 80 PVC PIPE.
    - PVC PRIMER SHALL BE HELD-ON P-10 FOR ALL PVC.

**EXECUTION**

- ALL IRRIGATION PIPING SHOWN ON PLAN IS DIAGNOSTIC. IRRIGATION PIPING SHOWN RUNNING PARALLEL TO PLANTING AREAS SHALL BE INSTALLED IN PLANTING AREAS.
- IRRIGATION HEAD LOCATIONS AND PIPE SIZES SHALL BE AS SHOWN ON PLAN.
- PIPES SHALL BE INSTALLED IN TRENCHES NO LESS THAN SIX INCHES WIDE AND FREE FROM DEBRIS AND ROCKS OVER ONE INCH IN DIAMETER.
- ALL NON-THREADED PVC JOINTS SHALL BE SOLVENT WELDED.
- USE PIPE JOINT COMPOUND FOR ALL THREADED PLASTIC TO PLASTIC AND PLASTIC TO STEEL JOINTS. DO NOT APPLY TO SPRINKLER INLET JOINTS. HAND TIGHTEN THREADED JOINTS AND USE ONLY LIGHT STRAP-TYPE FRICTION WRENCH PRESSURE TO COMPLETE.
- PIPE FITTINGS SHALL BE A MINIMUM OF 18 INCHES APART TO FACILITATE REMOVAL AND REPLACEMENT OF INDIVIDUAL FITTINGS.
- SCHEDULE 40 PIPE SLEEVES SHALL BE INSTALLED UNDER ALL PAVEMENT AREAS. EACH END OF SLEEVE SHALL EXTEND 6" BEYOND EDGE OF PAVING OR STRUCTURE ABOVE. TRENCH BACKFILL MATERIAL SHALL BE PLACED AS SHOWN IN DETAIL AND COMPACTED IN 6" LAYERS.
- ALL LINES SHALL BE FLUSHED AND ALL CONNECTIONS INSPECTED FOR LEAKAGE PRIOR TO INSTALLING HEADS AND VALVES. ANY LEAKS SHALL BE REPAIRED PRIOR TO BACKFILLING OF TRENCHES.
- ALL IRRIGATION HEADS SHALL BE INSTALLED WITH FINISH GRADE AND IN ACCORDANCE WITH THE PLANS AND DETAILS.
- REMOTE CONTROL VALVES SHALL BE INSTALLED IN STRAIGHT LINES PARALLEL OR PERPENDICULAR TO ADJACENT STRUCTURES.
- ALL ELECTRICAL CONNECTIONS SHALL BE PROTECTED WITH RAINBOW "SNAP-TITE" CONNECTOR OR GLOBAL SPAN PRODUCTS, INC. "SPlice KOTE".
- VALVE CONTROL WIRES SHALL BE PLACED IN A 1/4" MINIMUM DIAMETER SCHEDULE 40 SLEEVE WHEN CROSSING PAVEMENT AREAS.
- ALL IRRIGATION HEADS SHALL BE HELD 12" AWAY FROM BUILDINGS OR FENCES.

**PLANTING**

**GENERAL CONDITIONS**

- FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED TO PROVIDE COMPLETE PLANTING INSTALLATION AS SHOWN ON DRAWINGS AND AS SPECIFIED HEREIN.
- PLANTING PLAN IS DRAWN TO SCALE. PLANTS SHOULD BE LOCATED IN THE RELATIVE POSITIONS AS SHOWN ON THE PLAN. ADJUST TO MEET EXISTING SITE CONDITIONS.
- REMOVE ALL EXISTING EXPOSED AND/OR BURIED CONCRETE, GRAVEL, ASPHALT PAVEMENT, ROCK (OVER 1" IN DIAMETER), WEEDS AND DEBRIS WITHIN PLANTING AREAS.
- PLACE IMPORTED OR STOCKPILED SOIL AND ROUGH GRADE TO UNIFORM SLOPE AS SHOWN ON THE DRAWINGS AND COMPACT TO 95% RELATIVE DENSITY.
- FINISH GRADES SHALL CONSIST OF LIGHTLY RAKING TO ACHIEVE SMOOTH AND EVEN SURFACES WHILE REMOVING ALL EXPOSED EXTRANEOUS MATTER TO FACILITATE NATURAL RUNOFF. FINISH GRADES SHALL SLOPE TO DRAIN WITHOUT POCKETS THAT HOLD WATER OR IRREGULARITIES. FINISH GRADES SHALL MEET ALL EXISTING CONTROLS AND SHALL BE 1" BELOW EDGE OF WALK IN TURF AREAS AND 1/2" BELOW EDGE OF WALK IN PLANTING AREAS.
- PLANT TREES AND SHRUBS ONLY DURING PERIODS WHICH ARE NORMAL FOR SUCH WORK AS DETERMINED BY THE SEASON, WEATHER CONDITIONS AND ACCEPTED PRACTICE.

**PRODUCTS / SOIL PREPARATION**

- PLANTING AREAS (CONFORM WITH SOIL AND PLANT LAB RECOMMENDATIONS). LANDSCAPE CONTRACTOR SHALL COLLECT SOIL SAMPLES DURING CONSTRUCTION AFTER EXISTING PAVEMENT HAS BEEN REMOVED IN PROPOSED PLANTING AREAS. CONTRACTOR SHALL COLLECT SOIL SAMPLES FROM SIX (6) PROPOSED PLANTING AREAS IN THE APPROXIMATE LOCATION OF THE PROJECT AREA. CONTRACTOR SHALL SUPPLY AGRONOMY REPORT FROM AN APPROVED SOILS LAB PRIOR TO INSTALLATION OF PLANT MATERIAL.
- ANY COMPACTED OR INDISTURBED AREAS SHALL FIRST BE CROSS-CRIPPED OR CULTIVATED TO A MINIMUM DEPTH OF TEN (10) INCHES IN DEPTH. SPREAD TOP SOIL TO THE MINIMUM DEPTH REQUIRED TO MEET LINES, GRADES AND ELEVATIONS SHOWN, AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. ADD SPECIFIED SOIL AMENDMENTS INTO TOP SIX (6) INCHES OF TOPSOIL AND TILL SOIL TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE, FREE OF LUMPS, CLODS, STONES, ROOTS AND OTHER EXTRANEOUS MATTER.
- TOPSOIL (IF REQUIRED) SHALL BE A NATURAL, FERTILE, FRABLE LOAM SOIL, POSSESSING CHARACTERISTICS OF PRODUCTIVE SOILS IN NATURALLY WELL-DRAINED AREAS AND SHALL BE FREE FROM SODS, NOXIOUS WEEDS OR ANY SUBSTANCE HARMFUL TO PLANT GROWTH. SUBMIT SAMPLE AND SOIL ANALYSIS REPORT PRIOR TO DELIVERY TO THE SITE.
- SOIL AMENDMENTS PER 1000 SQUARE FEET SHALL CONSIST OF THE FOLLOWING (IN ACCORDANCE WITH SOIL AND PLANT LAB RECOMMENDATIONS):
  - 6 CUBIC YARDS NITROGEN AND IRON FORTIFIED ORGANIC SOIL AMENDMENT
  - 14 POUNDS 12-12-12 FERTILIZER
  - 15 POUNDS SOIL SULFUR
- PLANTING PIT BACKFILL MIXTURE PER CUBIC YARD OF SOIL SHALL BE:
  - 10 CUBIC YARD NITROGEN STABILIZED FIBER BARK
  - 1 POUND 12-12-12 FERTILIZER
  - 1 1/2 POUNDS IRON SULFATE (20% IRON)
  - 20 CUBIC YARD TOPSOIL
  - BACKFILL MIX SHALL BE THOROUGHLY MIXED AND FREE FROM ROCKS OVER 1/2" IN DIAMETER.
- PLANT TABS SHALL BE ASIRIFORM OR APPROVED EQUAL, USED AT MANUFACTURERS RECOMMENDED RATE FOR EACH PLANT SIZE.

- PRE-EMERGENT WEED CONTROL SHALL BE A COMBINATION OF RONSTAR GRAND DEVRINDL IN GRANULAR FORM OR APPROVED EQUAL APPLIED AT THE MANUFACTURERS RECOMMENDED RATE AND METHOD.
- WATER SHALL BE SUITABLE FOR IRRIGATION AND FREE FROM INGREDIENTS HARMFUL TO PLANT GROWTH.
- PERFORATED PIPE TREE DRAIN TUBES SHALL BE PVC PIPE MANUFACTURED FOR DRAINAGE PURPOSES WITH COMPATIBLE GRATE.
- PLANT MATERIAL SHALL BE THE SIZE, QUANTITY, GENUS, SPECIES, VARIETY AND CONDITION AS SHOWN ON THE PLANTING PLAN AND PLANT LEGEND. PLANTS ARE TO BE HEALTHY NURSERY STOCK CONFORMING TO THE HORTICULTURE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN LATEST EDITION, WELL-BRANCHED, FULLY FOLIAGE WHEN LEAVED OUT, FREE FROM DISEASE, INJURY, INSECTS AND ALL WEEDS.
- TREE STAKES SHALL BE NEW, PEELLED, CLEAN AND SMOOTH LOOSE POLE PINE TWO INCHES IN DIAMETER, LENGTH AS DETAILED. INSTALL PER TREE PLANTING DETAIL.
- TREE TIES SHALL CONFORM TO TREE PLANTING DETAIL.
- BARK MULCH TOP DRESSING SHALL BE SCREENED FIBER BARK CHIPS 3/4" TO 1" IN DIAMETER.

**EXECUTION**

- THOROUGHLY RIP AND SCARIFY EXISTING SOIL TO A DEPTH OF 8". USE SMALLER EQUIPMENT OR HAND TOOLS IN TIGHT AREAS WHERE DAMAGE COULD OCCUR TO WALKS, CURBS, PAVEMENT OR WALLS.
- SPREAD SOIL AMENDMENTS AT THE RATE OF 6 CUBIC YARDS PER 1000 SQUARE FEET.
- THOROUGHLY MIX APPLIED ORGANIC AMENDMENTS, COMMERCIAL FERTILIZER AND SOIL SULFUR INTO THE TOP 6" OF TOPSOIL.
- MIXED SOIL SHALL BE RAKED AND SUFFICIENTLY WORKED TO ACHIEVE 95% COMPACTION AT THE LEVEL INDICATED IN THE PLANS AND SPECIFICATIONS.
- PLANTING HOLES SHALL BE EXCAVATED AS SHOWN ON PLANTING DETAILS. INSTALL PERFORATED PVC DRAIN PIPE FOR TREES AS DETAILED. CENTER AND SET PLANT MATERIAL SLIGHTLY ABOVE ADJACENT FINISH GRADE SO THAT SOIL LINE OF PLANT IS THE SAME AS ADJACENT FINISH GRADE AFTER SETTLEMENT. PLACE TREES AND SHRUBS PLUMS AND MAGNOLIA HAVE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT PLANTS AND STRUCTURES. BACKFILL PLANTING HOLES PER DETAIL AND SPECIFICATIONS.
- FERTILIZE ALL PLANT MATERIALS WITH SLOW RELEASE TABLETS IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. TABLETS SHALL BE PLACED AROUND THE ROOTBALL WITHIN THE LOWER TWO THIRDS. (CONFORM WITH SOIL AND PLANT LAB RECOMMENDATIONS.)
- FERTILIZING (CONFORM WITH SOIL AND PLANT LAB RECOMMENDATIONS). IMMEDIATELY AFTER COMPLETION OF PLANTING, FERTILIZE TURF AND LANDSCAPE AREAS WITH AMMONIUM SULFATE (21-0-0) FERTILIZER AT A RATE OF FIVE (5) POUNDS PER 1000 SQUARE FEET. FERTILIZE WITH SPECIFIED FERTILIZER 45 DAYS PRIOR TO END OF MAINTENANCE PERIOD. AFTER LANDSCAPE BACKFILL WELL-ESTABLISHED, FERTILIZE IN FALL AND SPRING WITH (16-4-8) COMMERCIAL FERTILIZER AT A RATE OF SIX (6) POUNDS PER 1000 SQUARE FEET.
- STAKE TREES AND FROB BASHES AROUND TREES AND SHRUBS AS INDICATED ON DETAILS.
- THE PLANTING AREAS SHALL BE RESTORED TO FINISH GRADES AFTER PLANTING. FILL ANY LOW AREAS AFTER SETTLING AND RECOMPACT.
- AFTER EACH PLANTING AREA IS FINISHED, APPLY PRE-EMERGENT WEED CONTROL AS SPECIFIED USING MANUFACTURERS RECOMMENDED METHOD AND RATE OF APPLICATION.
- ALL PLANTING AREAS TO RECEIVE A 3" DEPTH OF TOP COAT FIBER BARK MULCH.
- ALL AREAS OF WORK SHALL BE KEPT IN A NEAT AND ORDERLY CONDITION AT ALL TIMES. CLEAN UP OF THE PROJECT SHALL BE REQUIRED PRIOR TO FINAL ACCEPTANCE BY THE OWNER. ALL PAVED SURFACES SHALL BE HACHED DOWN, TURF SHALL BE FREELY MOWED, PLANTING AREAS SHALL BE WEED-FREE, WORK AREA SHALL BE FREE OF ALL CONSTRUCTION MATERIAL AND ANY DEBRIS.

**MAINTENANCE**

**GENERAL CONDITIONS**

- MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION PRIOR TO FINAL ACCEPTANCE BY THE GENERAL CONTRACTOR AND FOR A PERIOD OF 90 CALENDAR DAYS FROM THE DATE OF FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING WALKS, DRIVEWAYS AND PAVEMENT FREE FROM HAZARDOUS MATERIALS AND CONDITIONS RESULTING FROM THE INSTALLATION OF THE IRRIGATION SYSTEM AND PLANTING.
- GENERAL REQUIREMENTS FOR PROJECT MAINTENANCE DURING THE 90 CALENDAR DAY PERIOD ARE:
  - KEEP ALL PLANTING AREAS WEED-FREE.
  - MAINTAIN AND ADJUST THE IRRIGATION SYSTEM.
  - REPLACE ANY DEAD AND/OR DAMAGED TREES AND SHRUBS WITH COMPARABLE HEALTHY SPECIMENS.
  - KEEP THE PROJECT AREA REASONABLY NEAT AND ORDERLY.
- AT FINAL ACCEPTANCE AND END OF MAINTENANCE PERIOD, ALL PLANT MATERIAL SHALL BE IN A HEALTHY GROWING CONDITION, ALL PLANTING AREAS TO BE WEED-FREE, ALL PAVED AREAS TO BE HACHED, ALL TURF AREAS TO BE FREELY MOWED, ENTIRE PROJECT AREA TO BE FREE OF FOREIGN MATTER AND LITTER BEFORE ACCEPTANCE BY GENERAL CONTRACTOR.

**GUARANTEE**

- GUARANTEE SHALL COMMENCE UPON THE FINAL ACCEPTANCE OF THE COMPLETED WORK BY THE GENERAL CONTRACTOR.
- THE CONTRACTOR SHALL GUARANTEE THE IRRIGATION SYSTEM IN WRITING AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR ONE (1) YEAR AFTER THE FINAL ACCEPTANCE BY THE GENERAL CONTRACTOR. CONTRACTOR SHALL MAKE REPAIRS IN A TIMELY MANNER AT NO ADDITIONAL COST TO THE GENERAL CONTRACTOR.
- CONTRACTOR TO DELIVER ALL EQUIPMENT WARRANTIES AND GUARANTEES TO THE OWNER PRIOR TO END OF 90 DAY MAINTENANCE PERIOD.
- THE CONTRACTOR SHALL GUARANTEE THAT ALL SOIL PREPARATION, WEED CONTROL AND PLANTING HAVE BEEN PERFORMED IN ACCORDANCE WITH THESE SPECIFICATIONS AND ACCEPTED PRACTICES. THE CONTRACTOR FURTHER GUARANTEES THAT ALL PLANT MATERIALS ARE IN A HEALTHY, GROWING CONDITION. THE GUARANTEE PERIOD SHALL BE AT NO ADDITIONAL EXPENSE TO THE GENERAL CONTRACTOR.



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City of Sunnyvale-Planning Dept.  
456 West Olive Ave.  
P.O. Box 3707  
Sunnyvale, CA 94088-3707  
Attn: Noren Caliva, Associate Planner

RE:  
Project: 2010-7702  
Address: 451 E. Washington Ave.

Dear Noren,

This letter is being sent with regards to the property located at 451 E. Washington Ave. In a previous letter prepared by the City of Sunnyvale dated Oct. 11, 2010 there had been some specific question about the location on the property of the new residence.

The property is owned by an elderly couple, one of which has numerous debilitating health issues that may require the aid of sensitive medical equipment. Therefore, the property has been designed with specific details to cater to and accommodate the daily medical needs of an elderly person preserving their dignity and quality of life. A major concern is that people using cell phones either on foot or in their car could cause interference with the sensitive medical equipment that the owner will be reliant on up to and including life saving devices. Thus, the reason that the house must be situated back from the front property line is a known fact that cell phones, are strictly prohibited in the Intensive Care Units of all hospitals, for fear that the use of cell phones could be dangerous when used around hospital equipment, due to the electromagnetic interference.

"A new Dutch study on mobile phone signals finds that using a cell phone in restricted areas, such as hospitals, can be dangerous. In the study, published Wednesday in the online journal *Critical Care*, researchers measured the impact of electromagnetic interference (EMI) from cell phone use on hospital equipment such as ventilators and pacemakers. Signals that were equal in strength to those given off by second- and third-generation mobile phones significantly interfered with medical devices, and the study's authors categorized 75% of those incidents as "hazardous," meaning that the interference had a direct impact on patient health, or "significant," indicating that it distracted health care providers. Hazardous incidents included the sudden switching off or restarting of machines — which could mean disruption of a patient's feeding tube, ventilator, pacemaker or dialysis machine.

Read more: <http://www.time.com/time/health/article/0,8599,1659417,00.html#ixzz1MGMKvryz>"

The original drawings had the home positioned 45' away from the property line, the newly submitted drawings have the property still in the same location therefore, we have added a 5' porch to the front of the house, which will make the house appear, to not be set back so far from the property line.

In surveying the neighbor, we have noticed that another home located at 417 E. Washington Ave. was set back from the sidewalk approx. 37'-4" with a 4' porch, so in retrospect this property won't be set back much further than this one. The neighborhood and block in general actually has a variety of existing home types. The proposed property will only enhance the neighborhood, as it currently is no more than an empty lot.

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