



# CITY OF SUNNYVALE REPORT ZONING ADMINISTRATOR HEARING

May 29, 2013

**File Number:** 2013-7310

**Permit Type:** Use Permit

**Location:** 562 Britton Ave.(near E. Duane Ave.) (APN: 205-20-001)

**Applicant/Owner:** Milburn Architecture / Fremont Union H S D

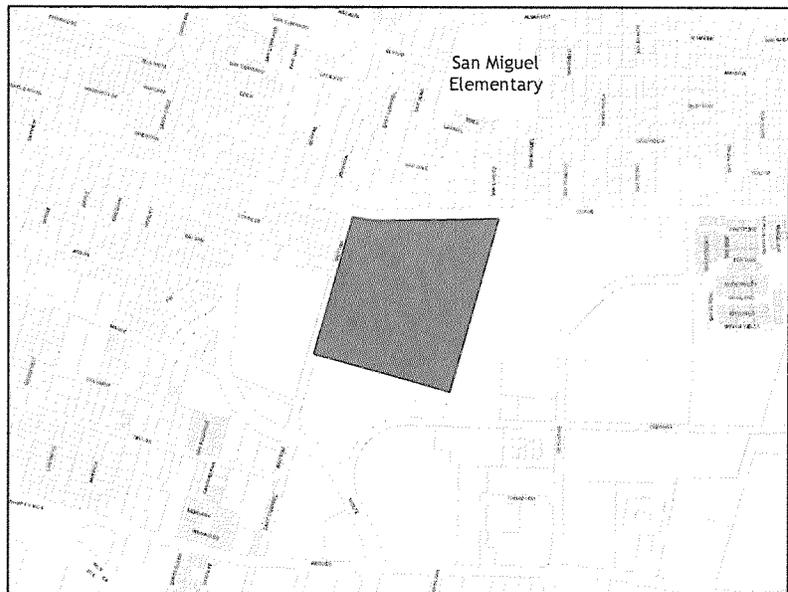
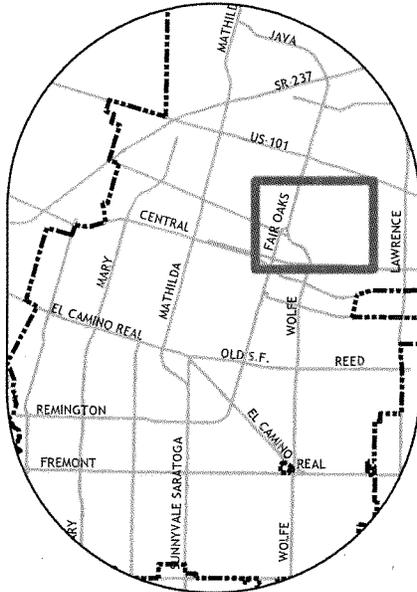
**Staff Contact:** Noren Caliva-Lepe, (408) 730-7637

**Project Description:** To allow the addition of two modular classrooms at King's Academy.

**Reason for Permit:** A Use Permit is required for school facilities in a PF (Public Facilities) Zoning District.

**Issues:** Traffic and Circulation

**Recommendation:** Approve with Conditions



N 500 Feet

**PROJECT DESCRIPTION**

	<b>Existing</b>	<b>Proposed</b>
General Plan:	School	Same
Zoning District:	PF	Same
Total Parking On-Site:	669	Same
Classrooms: King's Academy	67	69

Previous Planning Projects related to Subject Application <ul style="list-style-type: none"> <li>• <b>2012-7093</b> Use Permit to allow the addition of two modular classrooms. Zoning Administrator Approved 5/30/12.</li> <li>• <b>2009-0497</b> Use Permit to allow improvements to the existing athletic field. Planning Commission Approved 8/10/09</li> <li>• <b>2002-0183</b> Miscellaneous Plan Permit to allow the addition of six classrooms at King's Academy. Staff Approved 5/07/04.</li> <li>• <b>1994-0002</b> Use Permit to allow daycare, church and private school. Planning Commission Approved 2/28/94.</li> </ul>	<b>Yes</b>
Neighborhood Preservation Complaints	<b>No</b>
Deviations from Standard Zoning Requirements	<b>No</b>

**Background:** Use Permit #2012-7093 was approved last year to allow the addition of two modular classrooms for King's Academy. There was a concern at that time that incremental additions to the site would result in possible long-term traffic impacts. Therefore, the previous Use Permit established a peak hour baseline to track when the school's cumulative trip count reaches 100 peak hour trips. When 100 peak hour trips are reached, the school will be required to perform a Transportation Impact Analysis (TIA).

It was estimated that the 2012 Use Permit would result in 26 peak hour trips (associated with 32 new students). The current Use Permit under consideration would result in 22 additional peak hour trips (associated with 27 new students). If this project is approved, the peak hour baseline will be 48 peak hour trips. The baseline will apply to any subsequent additions resulting in a student population increase on the site and will be effective for five years following the approval date of the 2012 Use Permit, which is May 30, 2017.

**Use Description:** The site is currently occupied by the King's Academy Junior High - High School, Rainbow Montessori Elementary School, and Children's Creative Learning Center. The proposed project is to allow two additional modular buildings for King's Academy. The new buildings will be located within an existing paved area adjacent to the two previously approved modular classrooms installed in 2012. No parking or landscaping will be removed as part of this project.

**Parking:** The site currently provides 669 parking spaces shared between the three uses. Based on current requirements and site uses, including the new classrooms, a total of 513 parking spaces would be required. Therefore, the project complies with the minimum parking requirement.

**Traffic & On-site Circulation:** Staff has identified several deficiencies on the project site resulting from previous small additions to the campus. These small additions have resulted in poor on-site circulation, dead-end one way drive aisles and spill over traffic onto Britton and Duane. Several conditions of approval were imposed on the 2012 Use Permit to address deficiencies at the site, including paying a fair share towards the signalization of Duane and Britton, installation of 14 bicycle parking spaces, and landscaping upgrades along the Duane Avenue frontage. The 2012 Use Permit also established future upgrades associated with new additions to the site, including upgrades to a bus stop along Duane Avenue and a redesign of the one-way drive aisle and associated angled parking adjacent to Building M (see Attachment D).

Based on the precedent set in the 2012 Use Permit and site conditions, staff recommends the following (see Attachment A):

- Payment of a fair share financial contribution towards the signalization of Duane and Britton,
- Upgrades to the existing bus stop located along Duane Avenue,
- Redesign of the one-way drive aisle and parking adjacent to Building M, and
- Installation of 3 bicycle racks (results in 17 total bicycle parking spaces, or 5% of the vehicle parking spaces for King's Academy required by code).

**Public Contact:** 114 notices were sent to surrounding property owners and residents adjacent to the subject site in addition to standard noticing practice. No letters were received.

**Environmental Determination:** A Categorical Exemption Class 1 (minor changes in use) relieves this project from CEQA provisions.

## **FINDINGS**

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In order to approve the Use Permit the following findings must be made:

1. The proposed use attains the objectives and purposes of the General Plan of the City of Sunnyvale. [**Finding Met**]

*The proposed addition provides additional classroom space for an existing school in the City. The school is located within an existing Public Facility zone and provides additional educational space for residents.*

2. The proposed use ensures that the general appearance of proposed structures, or the uses to be made of the property to which the application refers, will not impair the orderly development of, or the existing uses being made of, adjacent properties. [**Finding Met**]

*The proposed classrooms will be consistent with the other modular buildings located on the site. The additional conditions requiring on-site improvements will improve the overall appearance of the site, bring the bicycle parking spaces closer to conformance, and improve on-site circulation.*

#### **ALTERNATIVES:**

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1. Approve the Use Permit with recommended Conditions in Attachment A.
2. Approve the Use Permit with modifications.
3. Deny the Use Permit.

#### **RECOMMENDATION**

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Alternative 1. Approve the Use Permit with recommended Conditions in Attachment A.

Reviewed by:



Gerrit Caruso  
Principal Planner

Prepared By: Noren Caliva-Lepe, Associate Planner

Attachments:

- A. Standard Requirements and Recommended Conditions of Approval
- B. Site and Architectural Plans
- C. Letter from the Applicant
- D. Use Permit #2012-7093 Standard Requirements and Recommended Conditions of Approval

**RECOMMENDED  
CONDITIONS OF APPROVAL AND  
STANDARD DEVELOPMENT REQUIREMENTS  
May 29, 2013**

**Planning Application 2013-7310**

562 Britton Avenue

Use Permit to allow the addition of two modular classrooms at King's Academy.

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

**GC: THE FOLLOWING GENERAL CONDITIONS OF APPROVAL AND  
STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE  
APPROVED PROJECT.**

- GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:  
All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]
  
- GC-2. USE EXPIRATION:  
The approved Use Permit for the use shall expire if the use is discontinued for a period of one year or more. [SDR] (PLANNING)

GC-3. PERMIT EXPIRATION:

The permit shall be null and void two years from the date of approval by the final review authority at a public hearing if the approval is not exercised, unless a written request for an extension is received prior to expiration date and is approved by the Director of Community Development. [SDR] (PLANNING)

GC-4. PEAK HOUR TRIP BASELINE:

King's Academy shall obtain additional City approval for further increase in students' enrollment. Any and each of the subsequent approvals are subject to its financial share towards the traffic signal improvements at the intersection of Duane Avenue/Britton Avenue. As part of the overall school expansion plan, the City is keeping track of the incremental trips for each of the future project approvals. The proposed project plus previously approved Use Permit 2012-7039 would result in a total of **48 AM peak hour trips**. Once the school's cumulative trip count reaches 100 peak hour trips, the school shall be required to perform a Transportation Impact Analysis (TIA) in accordance with the Congestion Management Program (CMP) requirements.

**Note:** Future additions to the site may require the applicant to upgrade the following:

**DRIVEWAY IMPROVEMENTS:** At the time of when school is required to perform TIA and CMP under condition item GC-4, the owner or applicant shall upgrade the existing two driveway approaches along Britton Avenue to city standard detail 6c-3 and the single driveway approach along Duane Avenue to city standard detail 6c-1 in order to comply with the Americans with disability act (ADA). [COA] [PUBLIC WORKS]

This Condition, GC-4, shall be in effect for 5 years from the date of approval of Use Permit 2012-7039 (May 30, 2017) and shall apply to any significant site improvements or additions generating peak hour trips. [COA] [PUBLIC WORKS]

**BP: THE FOLLOWING SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).**

BP-1. CONDITIONS OF APPROVAL:

Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]

BP-2. PUBLIC WORKS FEES:

The applicant shall pay the following fees prior to Building Permit Issuance:

- a) The applicant shall pay incremental sewer connection fee and water connection fee based upon the City fee schedule at the time of the fee payment. The fee amount is \$7,221.48 for sanitary sewer and \$870.60 for water based upon the FY 2012-13 fee schedule.
- b) The applicant shall pay a fair share financial contribution in the amount of \$5,270 towards the implementation of the future traffic signal at the intersection of Duane Avenue/Britton Avenue. The requested increase in enrollment of 27 students will result in a financial share of 1.24% of the total signal cost estimate of \$425,000. [COA] [PUBLIC WORKS]

BP-3. BLUEPRINT FOR A CLEAN BAY:

The building permit plans shall include a "Blueprint for a Clean Bay" on one full sized sheet of the plans. [SDR] [PLANNING]

BP-4. BUS SHELTER UPGRADE:

The existing bus stop located on Duane Avenue abutting to the school site shall be upgraded in order to meet current VTA standards. The upgrades would need to include the provision of a bus shelter and seating, a minimum of 10 feet by 55 feet Portland Cement Concrete (PCC) bus pad, and a minimum of 8 feet by 40 feet sidewalk adjacent to the bus stop. Trees and landscaping items should be placed back-of-walk or outside of the bus stop area. [COA] [PUBLIC WORKS]

BP-5. ONE-WAY DRIVE AISLE:

Prior to building permit issuance and as part of the building permit review, provide a site plan for City's approval showing implementation of the redesign of the one-way aisle and associated angle parking adjacent to Building M in order to avoid motorists backing out of the school site and impacting the public street, due to current circulation issues that impact public streets. [COA] [PUBLIC WORKS]

- BP-6. BICYCLE PARKING:  
Prior to building permit issuance and as part of the building permit review, provide a site plan for City's approval showing installation of on-site bicycle parking in accordance with Sunnyvale Municipal Code Chapter 19.46.150. This includes 3 bicycle racks, which results in a total of 17 bicycle parking spaces for King's Academy. [COA] [PUBLIC WORKS/PLANNING]

**EP: THE FOLLOWING SHALL BE ADDRESSED AS PART OF AN ENCROACHMENT PERMIT APPLICATION.**

- EP-1. ENCROACHMENT PERMIT:  
The project shall apply for an encroachment permit including a traffic control plan in accordance with the latest CA MUTCD for any work within the public right-of-way. Storage of all construction related materials, parking and equipment shall take place on site and the public streets shall be maintained free of construction debris. [COA] [PUBLIC WORKS]

**DC: THE FOLLOWING SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.**

- DC-1. BLUEPRINT FOR A CLEAN BAY:  
The project shall be in compliance with stormwater best management practices for general construction activity until the project is completed and either final occupancy has been granted. [SDR] [PLANNING]

**PF: THE FOLLOWING SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS AND/OR SHALL BE MET PRIOR TO RELEASE OF UTILITIES OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.**

- PF-1. BUS SHELTER UPGRADE:  
The required bus shelter upgrade shall be completed prior to first building occupancy. [COA] [PLANNING]
- PF-2. BICYCLE PARKING UPGRADE:  
The required bicycle parking upgrade shall be installed prior to first building occupancy. [COA] [PUBLIC WORKS/PLANNING]

- PF-3. ONE-WAY DRIVE AISLE UPGRADE:  
The required one-way drive aisle upgrade adjacent to Building M shall be completed prior to first building occupancy. [COA] [PUBLIC WORKS]

**AT: THE FOLLOWING CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS SHALL BE COMPLIED WITH AT ALL TIMES THAT THE USE PERMITTED BY THIS PLANNING APPLICATION OCCUPIES THE PREMISES.**

- AT-1. RECYCLING AND SOLID WASTE:  
All exterior recycling and solid waste shall be confined to approved receptacles and enclosures. [COA] [PLANNING]
- AT-2. LOUDSPEAKERS PROHIBITED:  
Out-of-door loudspeakers shall be prohibited at all times. [COA] [PLANNING]
- AT-3. EXTERIOR EQUIPMENT:  
All unenclosed materials, equipment and/or supplies of any kind shall be maintained within approved enclosure area. Any stacked or stored items shall not exceed the height of the enclosure. Individual air conditioning units shall be screened with architecture or landscaping features. [COA] [PLANNING]
- AT-4. PARKING LOT MAINTENANCE:  
The parking lot shall be maintained in accordance with the approved plans and as follows:
- a) Clearly mark all employee, student, short term visitor, and compact spaces. This shall be specified on any Building Permit plans required for any improvements and completed prior to occupancy.
  - b) Maintain all parking lot striping and marking.
  - c) Assure that adequate lighting is available in parking lots to keep them safe and desirable for the use.
  - d) Require signs to direct vehicles to additional parking spaces on-site, as needed. [COA] [PLANNING]



City of Sunnyvale  
Building Permit Plan Corrections  
05/23/2013

ATTACHMENT A  
Page 1 of 2

**Project:** 2013-0207      **Plan Submittal:** 2  
**Division:** Planning

**Address:** 1101 N FAIR OAKS AV

**Description:** NEW 97 APARTMENT UNITS OVER PARKING GARAGE

**Corrections:**

1. The following fees are due at building permit issuance:

- a. TIF: \$62,338.88
- b. Park: \$1,574,354.23
- c. Sense of Place: \$103,887.00

2. The following conditions need to be addressed:

- a. ADDRESSED-BP-2: Provide a written response indicating how all the conditions are addressed.
  - BP-12: THE AC UNITS LOCATED AT GRADE NEED TO BE LOCATED BEHIND THE BUILDING FACE AND FULLY SCREEN FROM PUBLIC VIEW.PLEASE CLARIFY ON THE PLANS AND LANDSCAPE PLANS. ALSO SEE COA BP-30.
  - BP-24: SHEET A-111 DOES NOT CLEARLY INDICATE THE LOCATION OF THE PROPOSED BICYCLE PARKING. PLEASE CLEARLY IDENTIFY ON THE PLANS.
- b. NEED-Please provide a copy to the project planner. BP-3: Provide a copy of the most recent title report.
- c. ADDRESSED BP-6: Provide a BIG checklist indicating that the project has achieved 110 points.
- d. N/A - BP-7: Provide a solid waste disposal plan.
- e. ADDRESSED - BP-10: Add a note to all elevations indicating that exterior venting shall be painted to match the roof or building.
- f. NEEDED - THIS NEED TO BE SUBMITTED, REVIVED BY STAFF AND APPROVED PRIOR TO ISSUANCE OF BUILDING PERMIT. BP-13 & 14: Submit a Miscellaneous Plan Permit, application and fee (\$341.50) for a final landscape plan and include a landscape maintenance schedule. to be included
- g. REMOVAL OK -BP-15: If feasible, can the podacarpus along the west wall be retained. If they can be retained, then a tree protection plan needs to be provided.
- h. NEED - THE EXTERIOR LIGHTING PLAN ON E1.0 NEEDS TO INDICATE THAT THERE IS NO LIGHT SPILL OVER AND THE PROPOSED LIGHTING FIXTURES NEED TO COMPLY WITH THE HEIGHT REQUIREMENTS OF THE COA. BP-21: Provide an exterior lighting plan.
- i. SEE COMMENT ABOVE - BP-22: Provide a Photometric Plan. The plan should indicate no light spill over.



City of Sunnyvale  
Building Permit Plan Corrections  
05/23/2013

ATTACHMENT <sup>Case 2</sup> A  
Page 1 of 2

j. NEED- PROVIDE A DRAFT PARKINNG MANAGMENT PLAN FOR STAFF TO REVIEW PRIOR TO ISSUANCE OF BUILDING PERMIT. BP-23: Provide a parking management plan.

k. NEED - ADD SPECIFIC COA LANGUAGE TO THE COVER SHEET. BP-31: The cover sheet needs to include construction equipment notes consistent with this condition.

l. NEED-BP-32: PROVIDE A LETTER FROM THE ACOUSTICAL ENGINEER INDICATING COMPLIANCE WITH THE CITY POLICIES AND ORIGINAL RECOMMENDATIONS. BP-32: Provide a letter from the acoustical engineer indicating compliance with the City Policies and original recommendations.

m. COMPLETED - BP-37: A preconstruction Biological Survey needs to be provided. The survey should be completed as close to the commencement of construction as possible and prior to removal of the Cedar.

3. Additional requirements and clarification:

a. ADDRESSED - The elevations need to indicate all horizontal exterior venting for the units. The elevations should also note that all venting shall be painted to match the exterior.

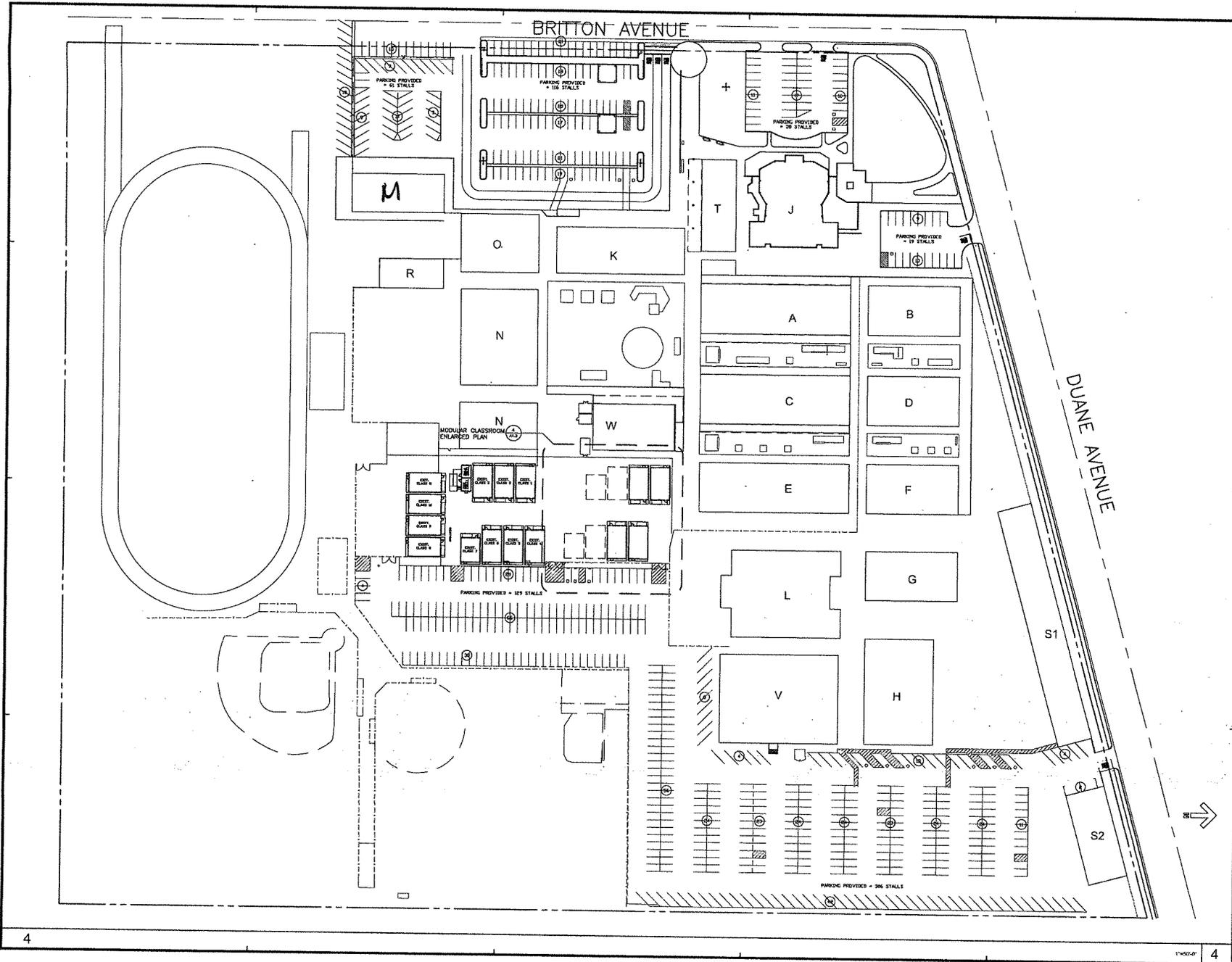
b. ADDRESSED - Provide documentation indicating that the garage mechanical venting complies with the City noise requirements for the proposed project and adjacent residential properties.

c. ADDRESSED - The building permit plans have details for foam trim. The approved plans did not include foam trim elements. The building permit details need to remove all foam trim elements and use the materials approved with the planning application.

d. NEEDED - The stucco details need to indicate a smooth/sand finish.

e. WHERE ON THE PLANS HAS THIS BEEN ADDRESSED. The transformers need to be pushed further back from the sidewalk or located adjacent to the side sidewalk.





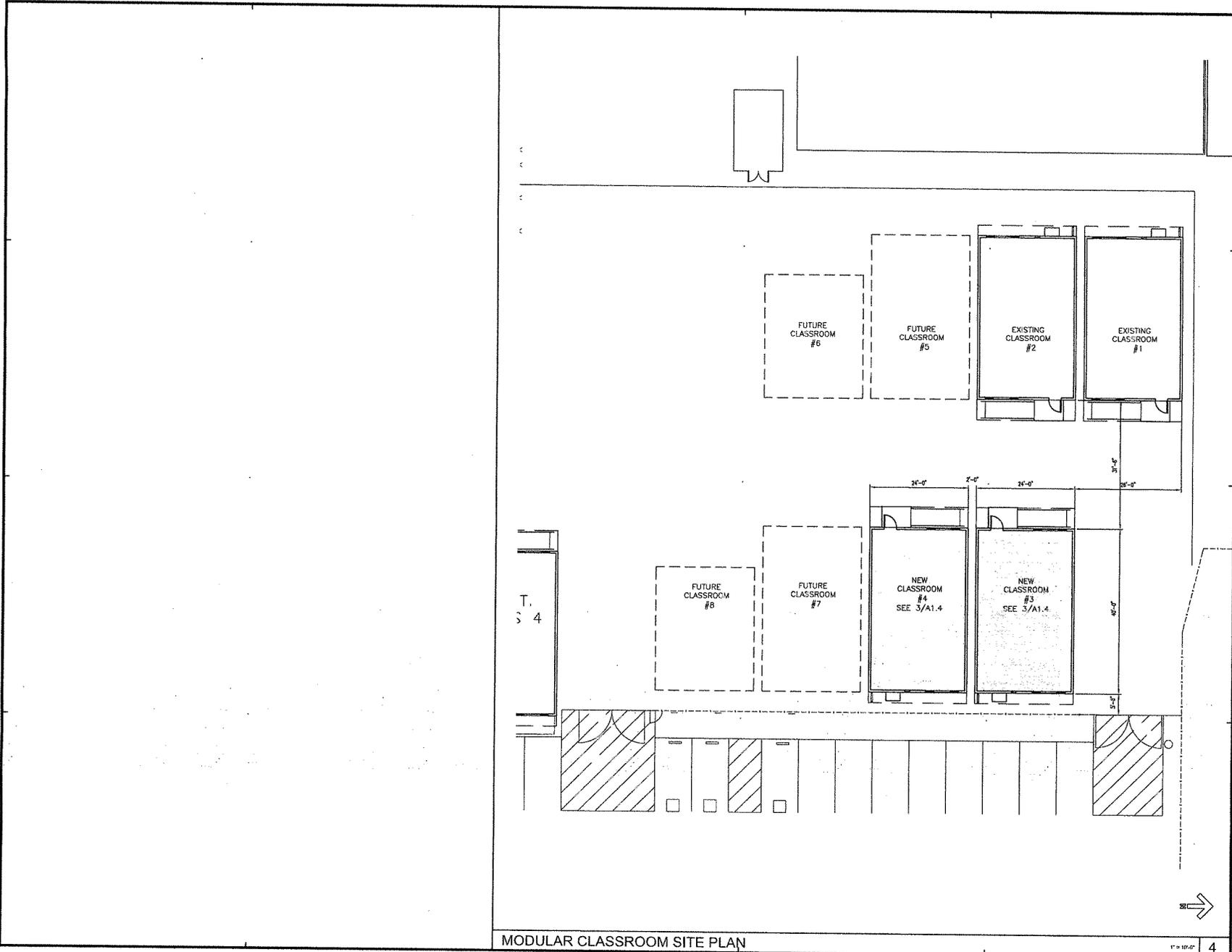
CLASSROOMS & TENNIS COURTS  
**THE KINGS ACADEMY**  
 570 BRITTON AVENUE  
 JINNYVALE, CA 94086

MILBURN  
 Architecture, Inc.  
 330 LINDA CREEK CT, GRANITE BAY, CA 95716  
 916 750-2858 FAX 916 750-1538

ATTACHMENT  
 Page 2 of 4

DATE: 4-11-13  
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MODULAR CLASSROOM SITE PLAN

1" = 10'-0" 4

CLASSROOMS & TENNIS COURTS  
**THE KINGS ACADEMY**  
 570 BRITTON AVENUE  
 SUNNYVALE, CA 94086

MILBURN  
  
 Architecture, Inc.  
 3232 LINDA CREEK CT, GRANITE BAY, CA 95746  
 916 780-5858 FAX 977 780-1858

ATTACHMENT  
 Page 3 of 4  
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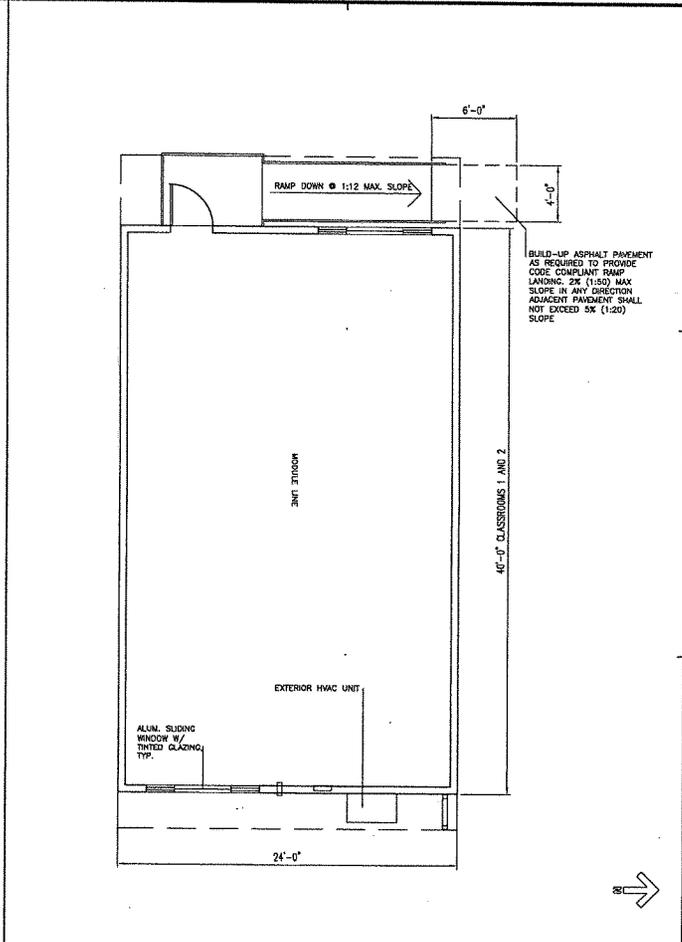
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CLASSROOMS & TENNIS COURTS  
**THE KINGS ACADEMY**  
 570 BRITTON AVENUE  
 SUNNYVALE, CA 94086

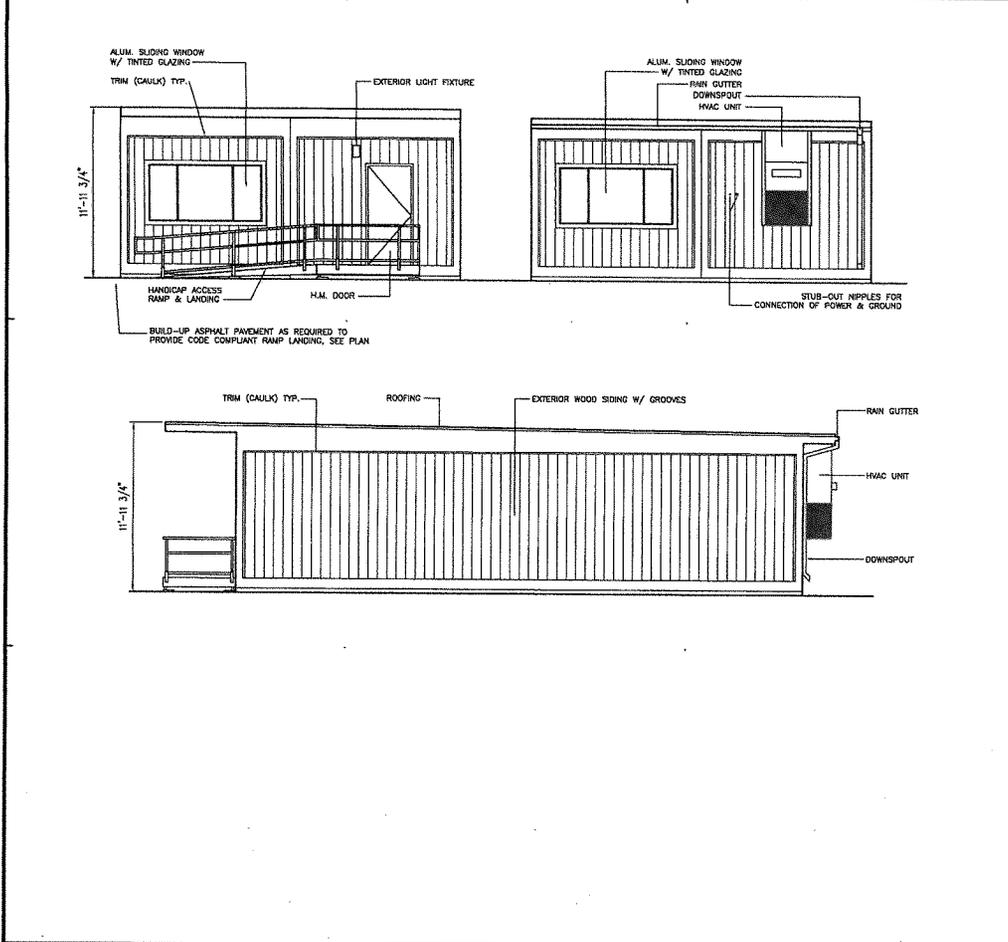


ATTACHMENT  
 Page 4 of 4

JOB NO.: 1270 SHEET NO.:  
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**A1.4**



TYPICAL MODULAR CLASSROOM PLAN 1/4" = 1'-0" 3



TYPICAL MODULAR CLASSROOM ELEVATIONS 1/4" = 1'-0" 11



16 April 2013

To: Planning Department, City of Sunnyvale  
From: The King's Academy

SUBJ: INTENDED USE OF ADDITIONAL MODULAR CLASSROOMS

All Concerned,

We would like to inform the City of Sunnyvale about our intentions regarding the proposed addition of two (2) modular classrooms at the site we lease from Fremont Union High School District—562 N. Britton Avenue, Sunnyvale.

Currently, we have a limited quantity of classrooms such that a number of our teachers are obliged to share a classroom. This means while one teacher is teaching, another may be in the same classroom trying to focus on either preparing their own lessons, or completing administrative functions like grading, electronically communicating with parents, or completing committee or accreditation work. This arrangement is awkward at best for both teachers and students, and is unsustainable for the long term unless we take steps to reduce the quantity of families we serve and release teachers from employment with our organization.

As we have the financial means, we have hoped to gradually add modular classrooms to our site to provide more working space for the teachers we already employ to serve the students who already attend. Their use of such classrooms would align with our normal hours of operation: 8:00 a.m. – 3:00 p.m., Monday-Friday, August-May. Without adding substantially to the size of our student body, we hope that, eventually, for the benefit of both teachers and students, all full-time teachers can have full use of their own classrooms. This may take a few more years and a few more classrooms to achieve.

We hope that this plan accords with City of Sunnyvale growth objectives, and that The King's Academy can continue to make a positive contribution to the Sunnyvale community and beyond.

Matt Nisbet  
Director of Operations

**FINAL  
CONDITIONS OF APPROVAL AND  
STANDARD DEVELOPMENT REQUIREMENTS  
May 30, 2012**

**Planning Application 2012-7039**

562 Britton Avenue

Use Permit to allow the installation of two new modular classrooms and 32 new students.

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

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**GC-2. USE EXPIRATION:**

The approved Use Permit for the use shall expire if the use is discontinued for a period of one year or more. [SDR] (PLANNING)

GC-3. PERMIT EXPIRATION:

The permit shall be null and void two years from the date of approval by the final review authority at a public hearing if the approval is not exercised, unless a written request for an extension is received prior to expiration date and is approved by the Director of Community Development. [SDR] (PLANNING)

GC-4. PEAK HOUR TRIP BASELINE:

King's Academy shall obtain additional City approval for further increase in students' enrollment. Any and each of the subsequent approvals are subject to its financial share towards the traffic signal improvements at the intersection of Duane Avenue/Britton Avenue. Additionally, starting with this project approval and as part of the overall school expansion plan, the City is keeping track of the incremental trips for each of the future project approvals. Currently, the proposed project would result in 26 AM peak hour trips. Once the school's cumulative trip count reaches 100 peak hour trips, the school shall be required to perform a Transportation Impact Analysis (TIA) in accordance with the Congestion Management Program (CMP) requirements.

**Note:** Future additions to the site may require the applicant to upgrade the following:

**BUS SHELTER:** The existing bus stop located on Duane Avenue abutting to the school site in order to meet current VTA standards. The upgrades would need to include the provision of a bus shelter and seating, a minimum of 10 feet by 55 feet Portland Cement Concrete (PCC) bus pad, and a minimum of 8 feet by 40 feet sidewalk adjacent to the bus stop. Trees and landscaping items should be placed back-of-walk or outside of the bus stop area.

**DRIVEWAY IMPROVEMENTS:** At the time of when school is required to perform TIA and CMP under condition item GC-4, the owner or applicant shall upgrade the existing two driveway approaches along Britton Avenue to city standard detail 6c-3 and the single driveway approach along Duane Avenue to city standard detail 6c-1 in order to comply with the Americans with disability act (ADA). [COA] [PUBLIC WORKS]

**ONE-WAY DRIVE AISLE:** Prior to building permit issuance and as part of the building permit review, provide a site plan for City's approval showing implementation of the redesign of the one-way aisle and associated angle parking adjacent to Building M in order to avoid motorists backing out of the school site and impacting the public

street, due to current circulation issues that impact public streets.  
[COA] [PUBLIC WORKS]

This Condition shall be in effect for 5 years from the date of approval of this project and shall apply to any significant site improvements or additions generating peak hour trips. [COA] [PUBLIC WORKS]

GC-5. PARKING LOT LIGHTING:

A lighting plan for the Britton parking areas shall be submitted either with the building permit plans or under separate permit. The plans shall include a light contour map. Lighting shall be located to ensure safety and shall be fully shielded to eliminate light overspill. [COA] [PLANNING]

**BP: THE FOLLOWING SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).**

BP-1. CONDITIONS OF APPROVAL:

Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]

BP-2. PUBLIC WORKS FEES:

The applicant shall pay the following fees prior to Building Permit Issuance:

- a) The applicant shall pay incremental sewer connection fee in the amount \$6,161.31 and water connection fee in the amount of \$852.24 based upon FY 2011-12 fee schedules.
- b) The applicant shall pay a fair share financial contribution in the amount of \$6,265 towards the implementation of the future traffic signal at the intersection of Duane Avenue/Britton Avenue. The requested increase in enrollment of 32 students will result in a financial share of 1.47% of the total signal cost estimate of \$425,000. [COA] [PUBLIC WORKS]

BP-3. BLUEPRINT FOR A CLEAN BAY:

The building permit plans shall include a "Blueprint for a Clean Bay" on one full sized sheet of the plans. [SDR] [PLANNING]

BP-4. LANDSCAPE PLAN:

Landscape and irrigation plans for the landscape bed on the Duane Avenue frontage shall be prepared by a certified professional, and shall comply with Sunnyvale Municipal Code Chapter 19.37

2012-7093 562 Britton Ave

requirements. Landscape and irrigation plans are subject to review and approval by the Director of Community Development through the submittal of a Miscellaneous Plan Permit (MPP). The landscape plan shall include the following elements:

- a) Cleanup of existing landscaping.
- b) Repair and installation of irrigation.
- c) Installation of appropriate ground cover.
- d) Application of 2 inches of mulch. [COA] [PLANNING]

BP-5. SHORT-TERM VISITOR PARKING:

Prior to building permit issuance and as part of the building permit review, provide a site plan for City's approval showing implementation of designated short-term/visitors' parking in the parking lots off of Britton Avenue in the vicinity of Buildings J, T, K and M, due to current circulation issues that impact public streets. Additional staff parking can be accommodated in the presently underutilized parking lot adjacent to Buildings H and V. [COA] [PUBLIC WORKS]

BP-6. BICYCLE PARKING:

Prior to building permit issuance and as part of the building permit review, provide a site plan for City's approval showing installation of on-site bicycle parking in accordance with the VTA Bicycle Technical Guidelines. This includes 4 Class I (e.g., cage or locker, etc.) and 10 Class II (e.g., racks) bicycle parking associated with increase in students' enrollment. Information on the types of bicycle parking, models, and design details and spacing provided in the referenced Technical Guidelines. [COA] [PUBLIC WORKS]

BP-7. STOP CONTROL:

The project shall install a stop control (i.e., a stop sign, stop bar, stop legend and centerline tail) in accordance with the latest CA Manual on Uniform Traffic Control Devices (MUTCD) on the main site driveways off of Duane Avenue and Britton Avenue on the school property. [COA] [PUBLIC WORKS]

**EP: THE FOLLOWING SHALL BE ADDRESSED AS PART OF AN ENCROACHMENT PERMIT APPLICATION.**

EP-1. ENCROACHMENT PERMIT:

The project shall apply for an encroachment permit including a traffic control plan in accordance with the latest CA MUTCD for any work within the public right-of-way. Storage of all construction related materials, parking and equipment shall take place on site and the

public streets shall be maintained free of construction debris. [COA]  
[PUBLIC WORKS]

**DC: THE FOLLOWING SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.**

DC-1. BLUEPRINT FOR A CLEAN BAY:

The project shall be in compliance with stormwater best management practices for general construction activity until the project is completed and either final occupancy has been granted. [SDR]  
[PLANNING]

**PF: THE FOLLOWING SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS AND/OR SHALL BE MET PRIOR TO RELEASE OF UTILITIES OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.**

PF-1. LANDSCAPING AND IRRIGATION:

All landscaping and irrigation as required as part of this project shall be installed prior to occupancy. [COA] [PLANNING]

PF-2. CIRCULATION IMPROVEMENTS:

The circulation improvements required on the building permit set of plans shall be installed prior to occupancy of the new classrooms. These include Short-Term Visitor Parking, Bicycle Parking, and Stop Control. [COA] [PUBLIC WORKS]

PF-3. PARKING LOT LIGHTING:

Parking lot lighting shall be installed prior to occupancy of the new classrooms. [COA] [PLANNING]

**AT: THE FOLLOWING CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS SHALL BE COMPLIED WITH AT ALL TIMES THAT THE USE PERMITTED BY THIS PLANNING APPLICATION OCCUPIES THE PREMISES.**

AT-1. RECYCLING AND SOLID WASTE:

All exterior recycling and solid waste shall be confined to approved receptacles and enclosures. [COA] [PLANNING]

AT-2. EXTERIOR EQUIPMENT:

All unenclosed materials, equipment and/or supplies of any kind shall be maintained within approved enclosure area. Any stacked or stored items shall not exceed the height of the enclosure. Individual air conditioning units shall be screened with architecture or landscaping features. [COA] [PLANNING]

AT-3. PARKING LOT MAINTENANCE:

The parking lot shall be maintained in accordance with the approved plans and as follows:

- a) Clearly mark all employee, student, short term visitor, and compact spaces. This shall be specified on any Building Permit plans required for any improvements and completed prior to occupancy.
- b) Maintain all parking lot striping and marking.
- c) Assure that adequate lighting is available in parking lots to keep them safe and desirable for the use.
- d) Require signs to direct vehicles to additional parking spaces on-site, as needed.
- e) Clearly mark all compact spaces as per approved plans. [COA] [PLANNING]