



**CITY OF SUNNYVALE  
REPORT  
Planning Commission**

**June 23, 2008**

**SUBJECT:**           **2008-0494:** Application located at **840 Durshire Way** (near Magpie Ln.) in an R-0 (Low Density Residential) Zoning District.

Motion                   Design Review for a first story addition and new second story to an existing one-story home for a total of 3,251 square feet and 54% FAR (Floor Area Ratio) where 45% FAR may be allowed without Planning Commission review.

**REPORT IN BRIEF**

**Existing Site Conditions**           One-Story Single-Family Home

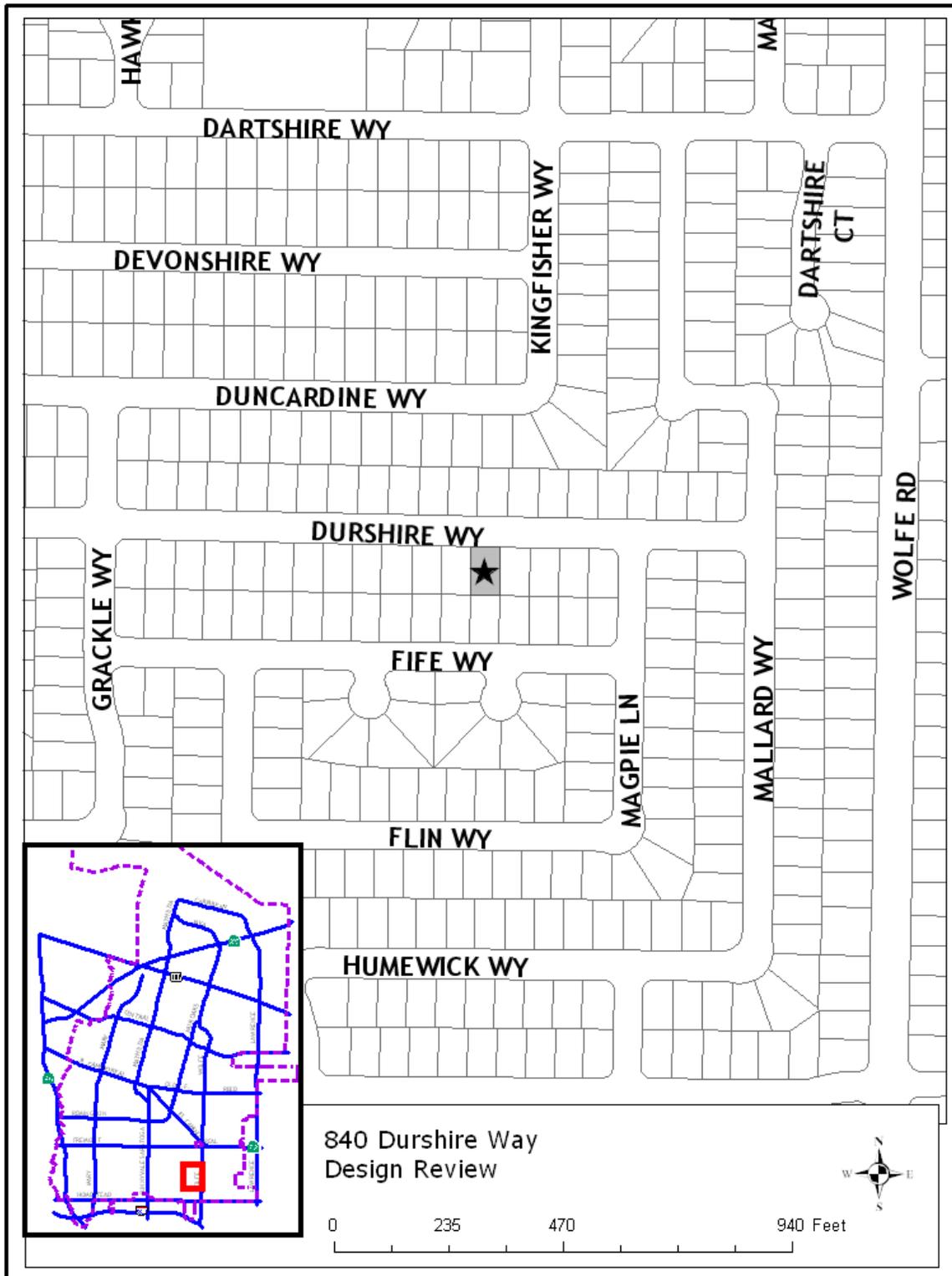
**Surrounding Land Uses**

|       |                    |
|-------|--------------------|
| North | Single-Family Home |
| South | Single-Family Home |
| East  | Single-Family Home |
| West  | Single-Family Home |

**Issues**                               Architectural Compatibility with Neighborhood

**Environmental Status**           A Class 3 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines.

**Staff Recommendation**           Approve with Conditions



**PROJECT DATA TABLE**

|   | <b>EXISTING</b>            | <b>PROPOSED</b>  | <b>REQUIRED/<br/>PERMITTED</b>    |
|---|----------------------------|------------------|-----------------------------------|
| <b>General Plan</b>                         | Residential<br>Low Density | Same             | Residential Low<br>Density        |
| <b>Zoning District</b>                      | R-0                        | Same             | R-0                               |
| <b>Lot Size (s.f.)</b>                      | 6,000                      | Same             | 6,000 min.                        |
| <b>Gross Floor Area (s.f.)</b>              | 1,979                      | 3,251            | 2,700 max. without<br>PC review   |
| <b>Lot Coverage (%)</b>                     | 33%                        | 38.7%            | 40% max. with a<br>two-story home |
| <b>Floor Area Ratio (FAR)</b>               | 33%                        | 54%              | 45% max. without<br>PC review     |
| <b>Building Height (ft.)</b>                | 14'5"                      | 24'              | 30' max.                          |
| <b>No. of Stories</b>                       | 1                          | 2                | 2 max.                            |
| <b>Setbacks</b>                             |                            |                  |                                   |
| <b>Front (First)<br/>(Second)</b>           | 20'1"<br>N/A               | 20'1"<br>30'1"   | 20' min.<br>25' min.              |
| <b>Left Side (First)<br/>(Second)</b>       | 7'<br>N/A                  | 7'<br>7'         | 4' min.<br>7' min.                |
| <b>Right Side (First)<br/>(Second)</b>      | 6' 3"<br>N/A               | 6' 3"<br>35'3"   | 4' min.<br>7' min.                |
| <b>Total Side Yard (First)<br/>(Second)</b> | 13' 3"<br>N/A              | 13' 3"<br>42' 3" | 12' total min.<br>18' total min.  |
| <b>Rear (First)<br/>(Second)</b>            | 25'<br>N/A                 | 25'<br>25'       | 20' min.<br>20' min.              |
| <b>Parking</b>                              |                            |                  |                                   |
| <b>Total Spaces</b>                         | 4                          | 4                | 4 min.                            |
| <b>Covered Spaces</b>                       | 1                          | 2                | 2 min.                            |

**ANALYSIS****Description of Proposed Project**

The applicant proposes a single-story addition of 315 square feet and a new 957 square foot second story to an existing 1,979 square foot home resulting in

a total of 3,325 square feet. There is also a 32 square foot front porch which is not counted towards the floor area calculation. The proposed residence will total 54% floor area ratio (FAR); additions that exceed 45% FAR require review by the Planning Commission.

### **Background**

**Previous Actions on the Site:** On December 10, 2007 the Planning Commission approved a similar Design Review application for a second story addition. At that meeting no members of the public spoke and the Commission unanimously approved the application. The previously approved 2007 plans can be referenced in Attachment D.

Due to structural engineering issues with the existing home, the applicant has now redesigned the second story. This change is not in substantial conformity with the previous approval so the application must be reviewed again by the Commission.

### **Environmental Review**

A Class 3 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines. Class 3 Categorical Exemptions includes minor additions to existing homes.

### **Design Review**

**Site Layout:** The lot sizes vary only slightly within the immediate neighborhood, ranging from approximately 6,200 square feet down to 6,000 square feet. The addition conforms to all setback and lot coverage standards for the R-0 Zoning District.

The following Guidelines were considered in analysis of the project site design:

| <b>Single Family Home Design Techniques<br/>(Site Layout)</b>  | <b>Comments</b>   |
|--|---|
| <i>3.4 S. Generally, locates second floor additions over the living portions of existing homes rather than over garages to maintain a visual balance between the first and second floor building masses. Especially avoid placing second floor additions over existing first floor garages that project out in front of the remainder of the home.</i> | A majority of the second story is positioned over living portions of the home to create a balance between the two floors. |

**Architecture:** The current application is similar to the 2007 approval, except for the following changes:

- The massing of the second story has been shifted from the left side of the home to the right.
- The total height has been reduced by approximately one foot.
- The total square footage has been reduced by 87 square feet.
- The FAR has been reduced by 2% (56% down to 54%)

The new home will be contemporary in architectural style with various hipped and gable end roof elements integrated along each façade. The new second-story steps back from the first story on the front and left sides. The predominant material of the existing and proposed home is stucco. A 50-year dimensional composition or equivalent wood shingle roof material is required to be utilized per Conditions of Approval.

The following Guidelines were considered in the analysis of the project architecture:

| <b>Single Family Home Design Techniques (Architecture)</b>   | <b>Comments</b>   |
|--|---|
| <p><b>2.2 Basic Design Principles 2:</b><br/><i>Respect the scale, bulk and character of homes in the adjacent neighborhood.</i></p> | <p>While most of the residences on the street are one-story, the surrounding neighborhood contains many two-story homes. The height of the proposed home is approximately 24', close to the minimum necessary for a two-story home.</p>                                 |
| <p><b>2.2 Basic Design Principles 3:</b><br/><i>Design homes to respect their immediate neighbors.</i></p>                           | <p>The addition is not expected to impose on the adjoining neighbors or their privacy since the proposed second story will have minimal windows facing adjoining properties to the east and west. The rear of the home is set back 25' from the rear property line.</p> |
| <p><b>3.5 Roofs J:</b> <i>Use roof forms for additions that blend comfortably with the roofs of the existing homes.</i></p>          | <p>The addition has hipped roofs that blends with the existing roof form on the residence.</p>  |

| <b>Single Family Home Design Techniques (Architecture)</b>   | <b>Comments</b>   |
|--|---|
| <b>3.7 Materials G:</b> <i>Wall materials for additions should generally match those of the existing building.</i> | The proposed wall materials are compatible with the existing materials. |

**Parking/Circulation:** The proposed project meets parking requirements with two covered spaces and two uncovered spaces in the driveway area.

**Compliance with Development Standards/Guidelines:** The proposed home meets all the required setbacks and lot coverage requirements. The R-0 Zone does not restrict the overall floor area or FAR for a home, but instead utilizes floor area as a threshold that triggers Planning Commission review for homes over 45% FAR. The two-story house also would not interfere with solar access to the rooftop of any structure on nearby properties as required per the Sunnyvale Municipal Code Chapter 19.56.020

**Expected Impact on the Surroundings:** Staff does not expect that the proposed two-story addition will have a significant impact to the neighborhood. While the immediate street has only one other two-story residence, the surrounding neighborhood contains a mix of one and two-story homes that vary in size.

### **Fiscal Impact**

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No fiscal impacts other than normal fees and taxes are expected.

### **Public Contact**

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| <b>Notice of Public Hearing</b>  | <b>Staff Report</b>  | <b>Agenda</b>  |
|--|--|--|
| <ul style="list-style-type: none"> <li>• Published in the <i>Sun</i> newspaper</li> <li>• Posted on the site</li> <li>• 12 notices mailed to property owners and residents adjacent to the project site</li> </ul> | <ul style="list-style-type: none"> <li>• Posted on the City of Sunnyvale's Website</li> <li>• Provided at the Reference Section of the City of Sunnyvale's Public Library</li> </ul> | <ul style="list-style-type: none"> <li>• Posted on the City's official notice bulletin board</li> <li>• City of Sunnyvale's Website</li> </ul> |

## **Conclusion**

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**Findings and General Plan Goals:** Staff was able to make the required Findings based on the justifications for the Design Review. Findings and General Plan Goals are located in Attachment A.

**Conditions of Approval:** Conditions of Approval are located in Attachment B.

## **Alternatives**

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1. Approve the Design Review with the attached conditions.
2. Approve the Design Review with modified conditions.
3. Deny the Design Review.

## **Recommendation**

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Alternative 1.

Prepared by:

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Steve Lynch  
Project Planner

Reviewed by:

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Andrew Miner  
Principal Planner

Attachments:

- A. Recommended Findings
- B. Recommended Conditions of Approval
- C. Site and Architectural Plans
- D. 2007 Approved Site and Architectural Plans

### **Recommended Findings – Design Review**

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The proposed project is desirable in that the project's design and architecture conforms to the policies and principles of the Single Family Home Design Techniques.

| <b>Basic Design Principle</b>   | <b>Comments</b>  |
|---|--|
| <i>2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns</i>        | The orientation of the home is consistent with other homes in the neighborhood.  |
| <i>2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.</i> | As designed and conditioned, the proposed home is compatible with the neighboring homes in appearance and scale.   |
| <i>2.2.3 Design homes to respect their immediate neighbors</i>                            | The proposed home meets or exceeds all the required setbacks.  |
| <i>2.2.4 Minimize the visual impacts of parking.</i>                                      | The residence has two-car parking in the covered garage area and two uncovered parking spaces in the front driveway.   |
| <i>2.2.5 Respect the predominant materials and character of front yard landscaping.</i>   | Front yard landscaping will be supplied at the discretion of the home owner, although the entire required front yard area will be landscaped (except driveway area). |
| <i>2.2.6 Use high quality materials and craftsmanship</i>                                 | The new home will utilize stucco and wood trim (same as existing home).  |
| <i>2.2.7 Preserve mature landscaping</i>  | No significant trees will be removed as art of this proposal.  |

**Recommended Conditions of Approval – Design Review**

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In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following conditions of approval of this Permit:

Unless otherwise noted, all conditions shall be subject to the review of approval of the Director of Community Development.

**1. GENERAL CONDITIONS**

- A. This project must be in substantial conformance with the approved plans. Any major site and architectural plan modifications shall be treated as an amendment of the original approval and shall be subject to approval at the Planning Commission hearing except that minor changes of the approved plans may be approved at staff level by the Director of Community Development.
- B. The Conditions of Approval shall be reproduced on one page of the plans submitted for a building permit for this project.
- C. The Design Review shall be null and void one year from the date of approval by the final review authority at a public hearing if the approval is not exercised, unless a written request for an extension is received prior to the expiration date.

**2. COMPLY WITH OR OBTAIN OTHER PERMITS**

- A. Obtain Building Permits

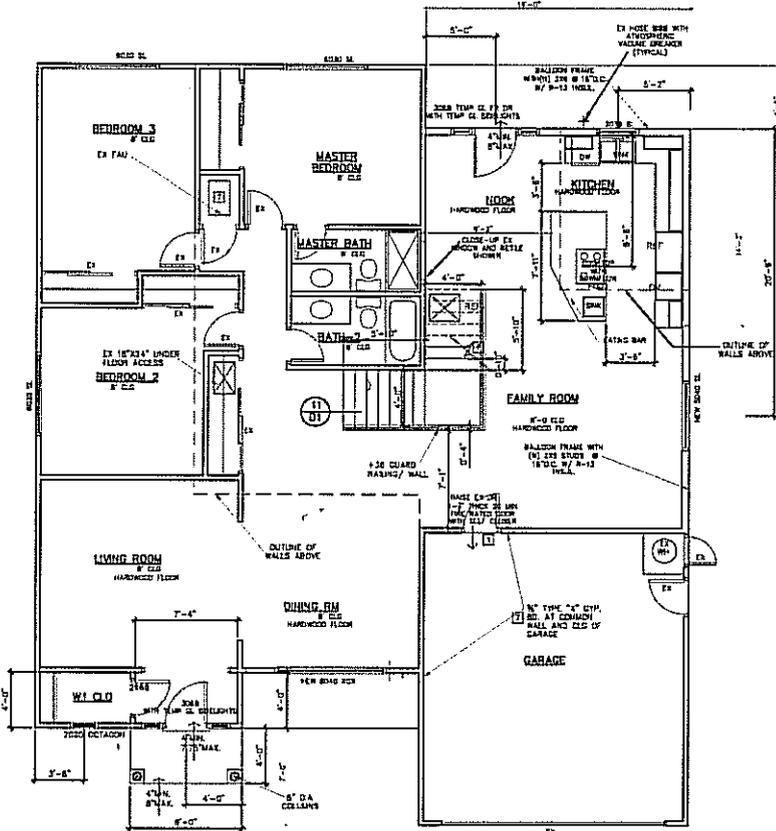
**3. DESIGN/EXTERIOR COLORS AND MATERIALS**

- A. Roof material shall be a 50-year dimensional composition or wood shingle, or equivalent warranty material, providing texture and shadow effect, as approved by the Director of Community Development.

**4. UNDERGROUND UTILITIES**

- A. All utilities (service drops) on the site shall be undergrounded.





PROPOSED LOWER FLOOR PLAN

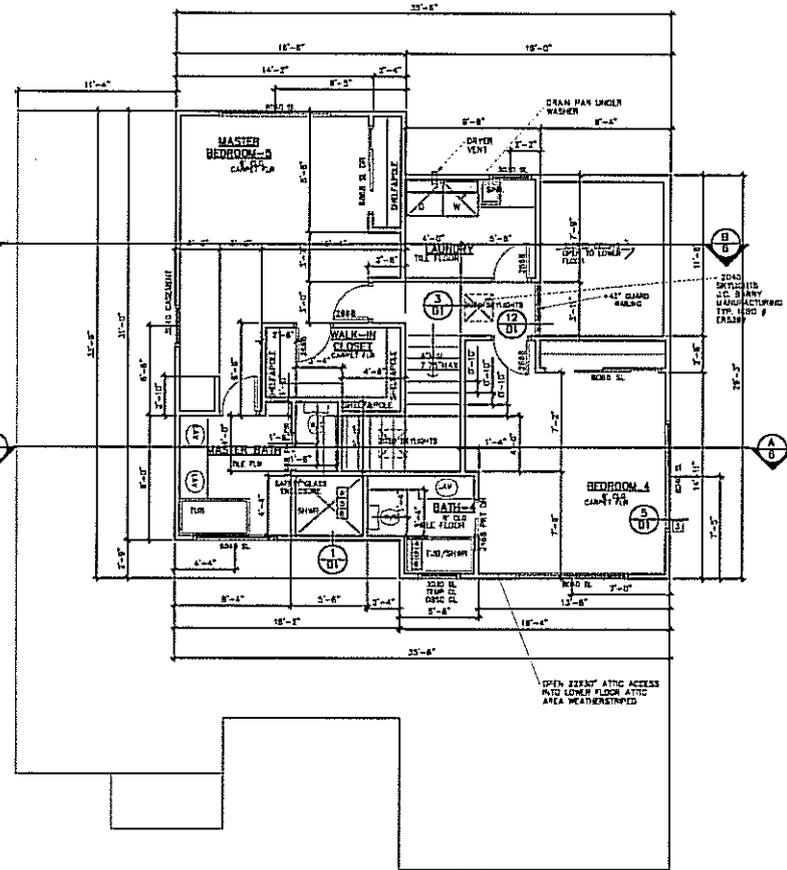
1/4" = 1'-0"

- 1 4" MIN / 2.5" MAX REFR.
- 2 NEW RADING AT 42" HEIGHT.
- 3 EGRESS WINDOW.
- 4 THE SHOWER-TILE OVER MORTAR BASE OVER WATER PROOF MEMBRANE OVER WATER RESISTANT GYP RD OVER 1/2" OF 1/2" STOPS-HITCH SHOWER PAN & INSTALL TILE FLOOR OVER MORTAR BED SLOPE AT 1/8" TO DRAIN TO FLOOR.
- 5 PROVIDE PRESSURE CONTROLLED HOT WATER SHOWER VALVE.
- 6 TEMPERED GLASS SHOWER DOOR AND TEMPERED GLASS SHOWER ENCLOSURE AS OCEANS.
- 7 1/2" TYPE 7" GYP RD AT STORAGE AREAS UNDER BEAMS AND WALLS CONJOIN TO GARAGE.

ALL NEW/OLD REPAIRS & SPECIAL PROTECTION FROM AN APPROVED INSPECTOR & TESTING AGENCY OR THE PROMISE OF RECORD



LEGEND



PROPOSED UPPER FLOOR PLAN

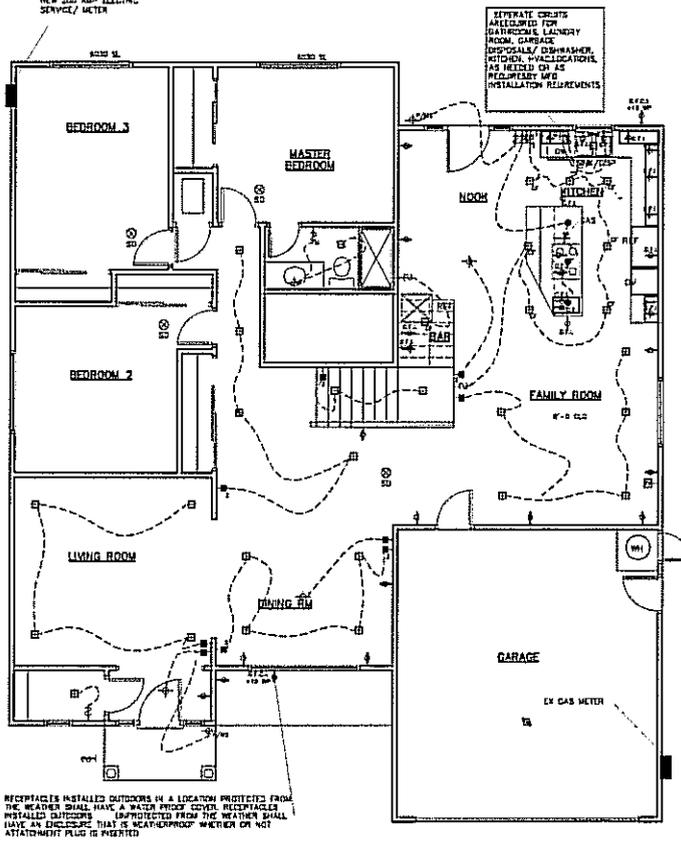
1/4" = 1'-0"

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| A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R | S | T | U | V | W | X | Y | Z | AA | AB | AC | AD | AE | AF | AG | AH | AI | AJ | AK | AL | AM | AN | AO | AP | AQ | AR | AS | AT | AU | AV | AW | AX | AY | AZ | BA | BB | BC | BD | BE | BF | BG | BH | BI | BJ | BK | BL | BM | BN | BO | BP | BQ | BR | BS | BT | BU | BV | BW | BX | BY | BZ | CA | CB | CC | CD | CE | CF | CG | CH | CI | CJ | CK | CL | CM | CN | CO | CP | CQ | CR | CS | CT | CU | CV | CW | CX | CY | CZ | DA | DB | DC | DD | DE | DF | DG | DH | DI | DJ | DK | DL | DM | DN | DO | DP | DQ | DR | DS | DT | DU | DV | DW | DX | DY | DZ | EA | EB | EC | ED | EE | EF | EG | EH | EI | EJ | EK | EL | EM | EN | EO | EP | EQ | ER | ES | ET | EU | EV | EW | EX | EY | EZ | FA | FB | FC | FD | FE | FF | FG | FH | FI | FJ | FK | FL | FM | FN | FO | FP | FQ | FR | FS | FT | FU | FV | FW | FX | FY | FZ | GA | GB | GC | GD | GE | GF | GG | GH | GI | GJ | GK | GL | GM | GN | GO | GP | GQ | GR | GS | GT | GU | GV | GW | GX | GY | GZ | HA | HB | HC | HD | HE | HF | HG | HH | HI | HJ | HK | HL | HM | HN | HO | HP | HQ | HR | HS | HT | HU | HV | HW | HX | HY | HZ | IA | IB | IC | ID | IE | IF | IG | IH | II | IJ | IK | IL | IM | IN | IO | IP | IQ | IR | IS | IT | IU | IV | IW | IX | IY | IZ | JA | JB | JC | JD | JE | JF | JG | JH | JI | JJ | JK | JL | JM | JN | JO | JP | JQ | JR | JS | JT | JU | JV | JW | JX | JY | JZ | KA | KB | KC | KD | KE | KF | KG | KH | KI | KJ | KL | KM | KN | KO | KP | KQ | KR | KS | KT | KU | KV | KW | KX | KY | KZ | LA | LB | LC | LD | LE | LF | LG | LH | LI | LJ | LK | LL | LM | LN | LO | LP | LQ | LR | LS | LT | LU | LV | LW | LX | LY | LZ | MA | MB | MC | MD | ME | MF | MG | MH | MI | MJ | MK | ML | MM | MN | MO | MP | MQ | MR | MS | MT | MU | MV | MW | MX | MY | MZ | NA | NB | NC | ND | NE | NF | NG | NH | NI | NJ | NK | NL | NM | NN | NO | NP | NQ | NR | NS | NT | NU | NV | NW | NX | NY | NZ | OA | OB | OC | OD | OE | OF | OG | OH | OI | OJ | OK | OL | OM | ON | OO | OP | OQ | OR | OS | OT | OU | OV | OW | OX | OY | OZ | PA | PB | PC | PD | PE | PF | PG | PH | PI | PJ | PK | PL | PM | PN | PO | PP | PQ | PR | PS | PT | PU | PV | PW | PX | PY | PZ | QA | QB | QC | QD | QE | QF | QG | QH | QI | QJ | QK | QL | QM | QN | QO | QP | QQ | QR | QS | QT | QU | QV | QW | QX | QY | QZ | RA | RB | RC | RD | RE | RF | RG | RH | RI | RJ | RK | RL | RM | RN | RO | RP | RQ | RR | RS | RT | RU | RV | RW | RX | RY | RZ | SA | SB | SC | SD | SE | SF | SG | SH | SI | SJ | SK | SL | SM | SN | SO | SP | SQ | SR | SS | ST | SU | SV | SW | SX | SY | SZ | TA | TB | TC | TD | TE | TF | TG | TH | TI | TJ | TK | TL | TM | TN | TO | TP | TQ | TR | TS | TT | TU | TV | TW | TX | TY | TZ | UA | UB | UC | UD | UE | UF | UG | UH | UI | UJ | UK | UL | UM | UN | UO | UP | UQ | UR | US | UT | UU | UV | UW | UX | UY | UZ | VA | VB | VC | VD | VE | VF | VG | VH | VI | VJ | VK | VL | VM | VN | VO | VP | VQ | VR | VS | VT | VU | VV | VW | VX | VY | VZ | WA | WB | WC | WD | WE | WF |
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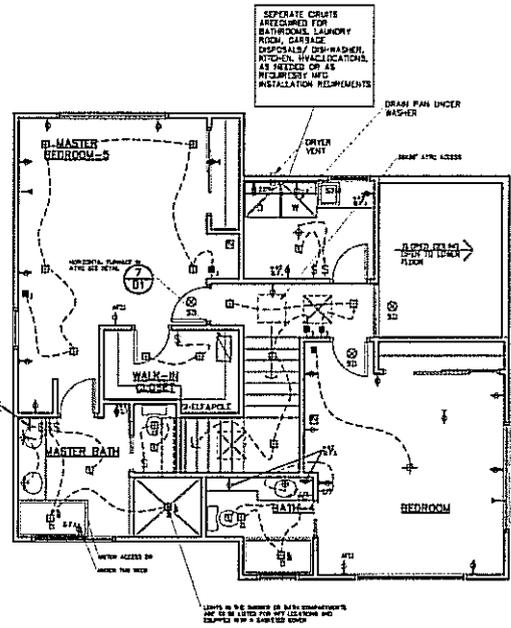


ELECTRICAL/MECHANICAL/PLUMBING NOTES

1. PROVIDE ELECTRICAL SYSTEM GROUNDS AS PER THE LATEST EDITION OF THE CALIFORNIA ELECTRICAL CODE (C.E.C.).
2. SMOKE DETECTORS IN DWELLING UNITS SHALL BE HARDWIRED AND MOUNTED ON THE CEILING OR WALLS AT A POINT CENTRALLY LOCATED IN THE CORRIDORS OR AREAS GIVING ACCESS TO EACH SEPARATE SLEEPING UNIT. IF THE DWELLING UNIT HAS MORE THAN ONE SLEEPING A DETECTOR SHALL BE INSTALLED ON EACH STORY AND IN BASEMENTS WHERE APPLICABLE. WHEN SLEEPING AREAS ARE ON THE SAME LEVEL AND IN CLOSE PROXIMITY TO THE STAIRWAY, THE DETECTORS SHALL SOUND AN AUDIBLE ALARM FOR ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED. THE SMOKE DETECTORS SHALL BE ACTIVE MONITORED WITH BATTERY BACKUP AND SHALL BE INTERCONNECTED. SEE THE LATEST EDITION OF THE CALIFORNIA FIRE CODE (C.F.C.).
3. RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL IS GREATER THAN 24 FEET TO A RECEPTACLE PER ELECTRICAL CODE (ARTICLE 310-13).
4. MEASURING VERTICALLY, ALL INTERIOR WALL OUTLETS SHALL BE 12" ABOVE 5/8" FLOOR AND ALL WALL SWITCHES SHALL BE 42" MIN. TO 48" MAX. (ON MATCH CENTER) ABOVE 5/8" FLOOR TO THE CENTER OF THE INSTALLED WIRING BOX. (TYPICAL UNLESS NOTED OTHERWISE ON THE PLANS)
5. OUTLETS LOCATED OUTDOORS OR IN THE GARAGE SHALL BE G.F.I. & 18" ABOVE FINISH GRADE/SLAB TO THE CENTER OF WIRING BOX.
6. HEIGHT OF ALL INTERIOR AND EXTERIOR WALL MOUNTED LIGHTING FIXTURES INDICATED ON THE PLANS SHALL BE MEASURED VERTICALLY FROM SUB FLOOR TO THE CENTER OF WIRING BOX. ALL OTHER OUTLET HEIGHTS SHOWN ON THE PLAN SHALL BE TO THE BOTTOM OF THE WIRING BOX.
7. ALL CONDUIT OUTLETS AT GARAGE, BATH, KITCHEN, LAUNDRY AREAS AND AT THE BUILDING EXTERIOR, ARE TO BE GROUND FAULT INTERRUPT (G.F.I.) PROTECTED.
8. GENERAL LIGHTING IN KITCHENS AND BATHROOMS SHALL BE HIGH EFFICACY TYPE.
9. ALL ELECTRICAL EQUIPMENT INSTALLED OUTDOORS AND PERMANENTLY EXPOSED TO THE WEATHER SHALL BE WEATHERPROOF. RECEPTACLES INSTALLED OUTDOORS IN A LOCATION PROTECTED FROM THE WEATHER SHALL BE WEATHERPROOF COVERED. RECEPTACLES INSTALLED OUTDOORS IN A LOCATION UNPROTECTED FROM THE WEATHER SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT ATTACHMENT FLAG IS INSTALLED.
10. CONTRACTOR SHALL LABEL ALL CIRCUIT BREAKERS IN THE MAIN AND SUBPANELS.
11. SPACE CONDITIONING EQUIPMENT SHALL HAVE A SET BACK THERMOSTAT (ELECTRIC HEAT PUMPS ARE EXEMPT).
12. HVAC EQUIPMENT AS INDICATED ON THE PLANS SHALL BE CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION.
13. VENT EXTERIOR TO BUILDING EXTERIOR AS REQUIRED BY THE LATEST EDITION OF THE CALIFORNIA MECHANICAL CODE (C.M.C.).
14. WATER PRESSURE SHALL BE A MINIMUM OF 15 PSI AND A MAXIMUM OF 80 PSI. SHOLD PRESSURE EXCEEDS 80 PSI, INSTALL A PRESSURE REGULATOR PER THE LATEST EDITION OF THE CALIFORNIA PLUMBING CODE (C.P.C.).
15. WATER HEATER SHALL BE PROVIDED WITH A PRESSURE RELIEF VALVE AND DRAIN TO THE OUTSIDE.
16. PROVIDE TWO SEDING STRAPS TO STRAP WATER HEATER TO BUILDING AND INSTALL A MINIMUM R-12 INSULATION BLANKET PER 2001 CALIFORNIA CODE SECTION 910-2.5 & TITLE 24 REQUIREMENTS.
17. WATER CLOSETS SHALL BE AN APPROVED ULTRA-LOW FLOW TYPE, WHICH USES AN AVERAGE OF NO MORE THAN 1.6 GALLONS OF WATER PER FLUSH.
18. SINK AND LAVATORY FAUCETS SHALL BE EQUIPPED WITH AN AERATOR WHICH ALLOWS A FLOW OF NO MORE THAN 1.5 GALLONS PER MINUTE.
19. SHOWERS SHALL BE EQUIPPED WITH VALVED AND/OR SHOWER HEADS WHICH ALLOW A FLOW OF NO MORE THAN 4 GALLONS OF WATER PER MINUTE. TUB/SHOWER VALVES WILL BE SET TO PROVIDE WATER AT A MAXIMUM OF 120 DEGREE F (SEE CALIFORNIA PLUMBING CODE) AND SHALL HAVE A PRESSURE REDUCING VALVE.
20. THE HOT WATER INLET AND OUTLET PIPE IS TO BE INSULATED WITH AN EXTERNALLY APPLIED INSULATION. THE INSULATION SHALL BE R-3 OR GREATER (FIRST 3 FEET IN UNCONDITIONED SPACE).
21. WATER HEATING EQUIPMENT SHALL BE SHOWN ON THE PLANS AND SHALL BE CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION.
22. SHOWERS AND FAUCETS SHALL BE CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION.
23. CONTRACTOR SHALL VERIFY THAT A BACKWATER VALVE IS INSTALLED PROVIDE AN APPROVED BACKWATER VALVE ON DRAINAGE PIPING SERVING FIXTURES THAT HAVE FLOOD LEVEL RANS LESS THAN 12 INCHES ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE. (C.P.C. TABLE 901.1)
24. PRESSURE ABSORBING DEVICES OR APPROVED MECHANICAL DEVICES SHALL BE LOCATED AS CLOSE AS POSSIBLE TO EACH ACTING VALVE TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSURE OF SUCH ACTING VALVES.
25. SEPARATE CIRCUITS ARE REQUIRED FOR BATHROOM, LAUNDRY ROOM, GARAGE DISPOSAL/ DISPOSER, KITCHEN, HANG LOCATIONS AS NEEDED OR AS REQUIRED BY AFC REGULATION REQUIREMENTS.
26. AN ARC-FAULT CIRCUIT INTERRUPTER SHALL BE PROVIDED TO PROTECT ALL RECEPTACLES IN BEDROOMS. (C.E.C. ARTICLE 310-12 "B")
27. LIGHTING IN THE KITCHEN SHALL BE HIGH EFFICACY LIGHTING IN BATHROOM, GARAGES, LAUNDRY AND UTILITY ROOMS MUST BE HIGH EFFICACY LIGHTING IN BATHROOM, GARAGE, LAUNDRY AND UTILITY ROOMS. OTHER ROOMS, HALLWAYS, FAMILY ROOMS, AND BEDROOMS MUST BE HIGH EFFICACY OR CONTROLLED BY A HUMAN OR OCCUPANT SENSOR OR A DIMMER CONTROL. OUTDOOR LIGHTING MUST BE HIGH EFFICACY OR CONTROLLED BY AN OCCUPANT SENSOR WITH AN INTEGRAL PHOTO CONTROL. ALL INCANDESCENT LIGHT FIXTURES MUST BE REPLACED WITH ENERGY EFFICIENT LIGHTING AS PER NOTES OR SIMILAR DESIGNATION LISTED WITH ASTM CODE. THE MANUFACTURER MUST PROVIDE INSTRUCTIONS THAT EXPLAIN THE ENTIRE ASSEMBLY REQUIRED TO ACHIEVE AN AIRTIGHT INSTALLATION.
28. AIR DUCTS PENETRATING SEPARATE WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE 3/8" DIA. RUBBER GROMMETS AND SEAMS OF DUCT SYSTEMS SHALL BE SEALED WITH GLOTH-BACKED RUBBER ADHESIVE DUCT TAPE.
29. THE WATER HEATER AND FURNACE (WHICH GENERATE A CLOW FLAME OR SPARK) LOCATED IN THE GARAGE SHALL BE INSTALLED SUCH A THAT THE SOURCE OF IGNITION IS AT LEAST 18" ABOVE THE FLOOR.
30. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING (I.E., DRYERS, BATH AND UTILITY FANS, ETC.). MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPERABLE WINDOWS OR AIRTIGHT WALLS.
31. SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE-BALANCE OR THERMOSTATIC WIRING TYPE.
32. THE FIRST HOUR RATING OF THE WATER HEATER IS NO GALLONS AS SPECIFIED IN CEC TABLE 91-1.
33. TWO SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED FOR THE KITCHEN AND ARE LIMITED TO SURFACE WALL AND COUNTER SPACE OUTLETS FOR THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREAS. NOTE: THESE CIRCUITS SERVE OUTLET CIRCLES, RANGE HOOD, DISPOSALS, DISHWASHERS OR MICROWAVES-ONLY REFRIGERATOR/WALL OUTLETS INCLUDING THE REFRIGERATOR.
34. A DEDICATED TO AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET.
35. IN THE GARAGE, SWH-FRAMES SHALL BE SURFACE MOUNTED. THEY ARE NOT ALLOWED IN FIREWALLS, BATHROOMS, OR NET LOCATIONS.



PROPOSED LOWER FLOOR ELECTRICAL MECHANICAL PLAN  
1/4" = 1'-0"



PROPOSED UPPER FLOOR ELECTRICAL MECHANICAL PLAN  
1/4" = 1'-0"

ELEC./MECH./PLUMB-SYMBOL-LEGEND

|     |     |     |     |     |     |     |     |     |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |       |
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| SW1 | SW2 | SW3 | SW4 | SW5 | SW6 | SW7 | SW8 | SW9 | SW10 | SW11 | SW12 | SW13 | SW14 | SW15 | SW16 | SW17 | SW18 | SW19 | SW20 | SW21 | SW22 | SW23 | SW24 | SW25 | SW26 | SW27 | SW28 | SW29 | SW30 | SW31 | SW32 | SW33 | SW34 | SW35 | SW36 | SW37 | SW38 | SW39 | SW40 | SW41 | SW42 | SW43 | SW44 | SW45 | SW46 | SW47 | SW48 | SW49 | SW50 | SW51 | SW52 | SW53 | SW54 | SW55 | SW56 | SW57 | SW58 | SW59 | SW60 | SW61 | SW62 | SW63 | SW64 | SW65 | SW66 | SW67 | SW68 | SW69 | SW70 | SW71 | SW72 | SW73 | SW74 | SW75 | SW76 | SW77 | SW78 | SW79 | SW80 | SW81 | SW82 | SW83 | SW84 | SW85 | SW86 | SW87 | SW88 | SW89 | SW90 | SW91 | SW92 | SW93 | SW94 | SW95 | SW96 | SW97 | SW98 | SW99 | SW100 |
| 1-1 | 1-2 | 1-3 | 1-4 | 1-5 | 1-6 | 1-7 | 1-8 | 1-9 | 1-10 | 1-11 | 1-12 | 1-13 | 1-14 | 1-15 | 1-16 | 1-17 | 1-18 | 1-19 | 1-20 | 1-21 | 1-22 | 1-23 | 1-24 | 1-25 | 1-26 | 1-27 | 1-28 | 1-29 | 1-30 | 1-31 | 1-32 | 1-33 | 1-34 | 1-35 | 1-36 | 1-37 | 1-38 | 1-39 | 1-40 | 1-41 | 1-42 | 1-43 | 1-44 | 1-45 | 1-46 | 1-47 | 1-48 | 1-49 | 1-50 | 1-51 | 1-52 | 1-53 | 1-54 | 1-55 | 1-56 | 1-57 | 1-58 | 1-59 | 1-60 | 1-61 | 1-62 | 1-63 | 1-64 | 1-65 | 1-66 | 1-67 | 1-68 | 1-69 | 1-70 | 1-71 | 1-72 | 1-73 | 1-74 | 1-75 | 1-76 | 1-77 | 1-78 | 1-79 | 1-80 | 1-81 | 1-82 | 1-83 | 1-84 | 1-85 | 1-86 | 1-87 | 1-88 | 1-89 | 1-90 | 1-91 | 1-92 | 1-93 | 1-94 | 1-95 | 1-96 | 1-97 | 1-98 | 1-99 | 1-100 |

ELECT / MECH PLAN FLOOR PLAN

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ATTACHMENT

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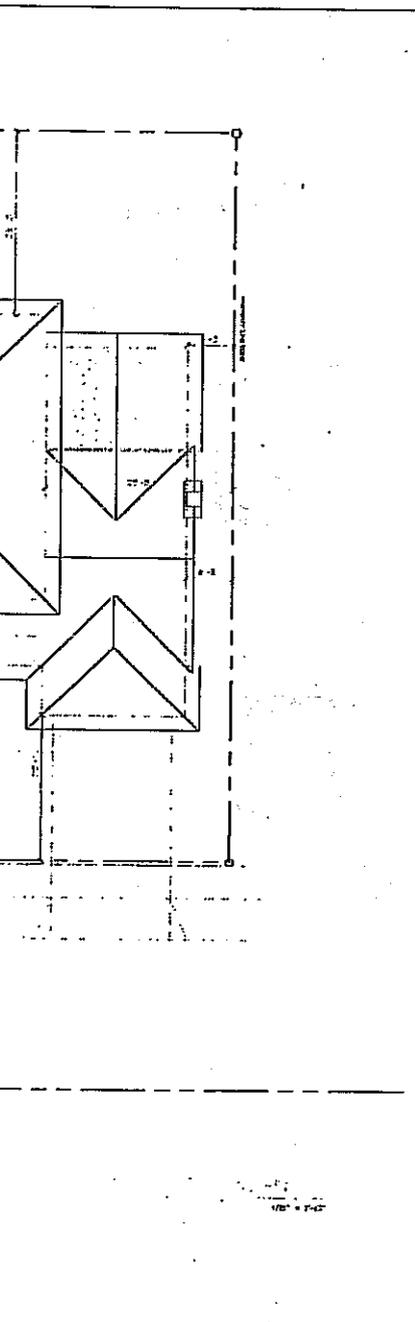


1. The owner shall provide all necessary information for the preparation of the plans, including but not limited to, a copy of the title block, a copy of the zoning ordinance, a copy of the subdivision map, and a copy of the building code. The owner shall also provide a copy of the site plan and a copy of the floor plan. The owner shall be responsible for obtaining all necessary permits and for paying all applicable fees. The owner shall also be responsible for providing access to the site for the architect and for providing a copy of the site plan to the building department. The owner shall also be responsible for providing a copy of the floor plan to the building department. The owner shall also be responsible for providing a copy of the site plan to the fire department. The owner shall also be responsible for providing a copy of the floor plan to the fire department. The owner shall also be responsible for providing a copy of the site plan to the health department. The owner shall also be responsible for providing a copy of the floor plan to the health department. The owner shall also be responsible for providing a copy of the site plan to the water department. The owner shall also be responsible for providing a copy of the floor plan to the water department. The owner shall also be responsible for providing a copy of the site plan to the sewer department. The owner shall also be responsible for providing a copy of the floor plan to the sewer department. The owner shall also be responsible for providing a copy of the site plan to the gas department. The owner shall also be responsible for providing a copy of the floor plan to the gas department. The owner shall also be responsible for providing a copy of the site plan to the electric department. The owner shall also be responsible for providing a copy of the floor plan to the electric department. The owner shall also be responsible for providing a copy of the site plan to the telephone department. The owner shall also be responsible for providing a copy of the floor plan to the telephone department. The owner shall also be responsible for providing a copy of the site plan to the cable television department. The owner shall also be responsible for providing a copy of the floor plan to the cable television department. The owner shall also be responsible for providing a copy of the site plan to the fire department. The owner shall also be responsible for providing a copy of the floor plan to the fire department. The owner shall also be responsible for providing a copy of the site plan to the health department. The owner shall also be responsible for providing a copy of the floor plan to the health department. The owner shall also be responsible for providing a copy of the site plan to the water department. The owner shall also be responsible for providing a copy of the floor plan to the water department. The owner shall also be responsible for providing a copy of the site plan to the sewer department. The owner shall also be responsible for providing a copy of the floor plan to the sewer department. The owner shall also be responsible for providing a copy of the site plan to the gas department. The owner shall also be responsible for providing a copy of the floor plan to the gas department. The owner shall also be responsible for providing a copy of the site plan to the electric department. The owner shall also be responsible for providing a copy of the floor plan to the electric department. The owner shall also be responsible for providing a copy of the site plan to the telephone department. The owner shall also be responsible for providing a copy of the floor plan to the telephone department. The owner shall also be responsible for providing a copy of the site plan to the cable television department. The owner shall also be responsible for providing a copy of the floor plan to the cable television department.

2. The architect shall provide all necessary information for the preparation of the plans, including but not limited to, a copy of the title block, a copy of the zoning ordinance, a copy of the subdivision map, and a copy of the building code. The architect shall also provide a copy of the site plan and a copy of the floor plan. The architect shall be responsible for obtaining all necessary permits and for paying all applicable fees. The architect shall also be responsible for providing access to the site for the owner and for providing a copy of the site plan to the building department. The architect shall also be responsible for providing a copy of the floor plan to the building department. The architect shall also be responsible for providing a copy of the site plan to the fire department. The architect shall also be responsible for providing a copy of the floor plan to the fire department. The architect shall also be responsible for providing a copy of the site plan to the health department. The architect shall also be responsible for providing a copy of the floor plan to the health department. The architect shall also be responsible for providing a copy of the site plan to the water department. The architect shall also be responsible for providing a copy of the floor plan to the water department. The architect shall also be responsible for providing a copy of the site plan to the sewer department. The architect shall also be responsible for providing a copy of the floor plan to the sewer department. The architect shall also be responsible for providing a copy of the site plan to the gas department. The architect shall also be responsible for providing a copy of the floor plan to the gas department. The architect shall also be responsible for providing a copy of the site plan to the electric department. The architect shall also be responsible for providing a copy of the floor plan to the electric department. The architect shall also be responsible for providing a copy of the site plan to the telephone department. The architect shall also be responsible for providing a copy of the floor plan to the telephone department. The architect shall also be responsible for providing a copy of the site plan to the cable television department. The architect shall also be responsible for providing a copy of the floor plan to the cable television department.

3. The contractor shall provide all necessary information for the preparation of the plans, including but not limited to, a copy of the title block, a copy of the zoning ordinance, a copy of the subdivision map, and a copy of the building code. The contractor shall also provide a copy of the site plan and a copy of the floor plan. The contractor shall be responsible for obtaining all necessary permits and for paying all applicable fees. The contractor shall also be responsible for providing access to the site for the architect and for providing a copy of the site plan to the building department. The contractor shall also be responsible for providing a copy of the floor plan to the building department. The contractor shall also be responsible for providing a copy of the site plan to the fire department. The contractor shall also be responsible for providing a copy of the floor plan to the fire department. The contractor shall also be responsible for providing a copy of the site plan to the health department. The contractor shall also be responsible for providing a copy of the floor plan to the health department. The contractor shall also be responsible for providing a copy of the site plan to the water department. The contractor shall also be responsible for providing a copy of the floor plan to the water department. The contractor shall also be responsible for providing a copy of the site plan to the sewer department. The contractor shall also be responsible for providing a copy of the floor plan to the sewer department. The contractor shall also be responsible for providing a copy of the site plan to the gas department. The contractor shall also be responsible for providing a copy of the floor plan to the gas department. The contractor shall also be responsible for providing a copy of the site plan to the electric department. The contractor shall also be responsible for providing a copy of the floor plan to the electric department. The contractor shall also be responsible for providing a copy of the site plan to the telephone department. The contractor shall also be responsible for providing a copy of the floor plan to the telephone department. The contractor shall also be responsible for providing a copy of the site plan to the cable television department. The contractor shall also be responsible for providing a copy of the floor plan to the cable television department.

4. The engineer shall provide all necessary information for the preparation of the plans, including but not limited to, a copy of the title block, a copy of the zoning ordinance, a copy of the subdivision map, and a copy of the building code. The engineer shall also provide a copy of the site plan and a copy of the floor plan. The engineer shall be responsible for obtaining all necessary permits and for paying all applicable fees. The engineer shall also be responsible for providing access to the site for the architect and for providing a copy of the site plan to the building department. The engineer shall also be responsible for providing a copy of the floor plan to the building department. The engineer shall also be responsible for providing a copy of the site plan to the fire department. The engineer shall also be responsible for providing a copy of the floor plan to the fire department. The engineer shall also be responsible for providing a copy of the site plan to the health department. The engineer shall also be responsible for providing a copy of the floor plan to the health department. The engineer shall also be responsible for providing a copy of the site plan to the water department. The engineer shall also be responsible for providing a copy of the floor plan to the water department. The engineer shall also be responsible for providing a copy of the site plan to the sewer department. The engineer shall also be responsible for providing a copy of the floor plan to the sewer department. The engineer shall also be responsible for providing a copy of the site plan to the gas department. The engineer shall also be responsible for providing a copy of the floor plan to the gas department. The engineer shall also be responsible for providing a copy of the site plan to the electric department. The engineer shall also be responsible for providing a copy of the floor plan to the electric department. The engineer shall also be responsible for providing a copy of the site plan to the telephone department. The engineer shall also be responsible for providing a copy of the floor plan to the telephone department. The engineer shall also be responsible for providing a copy of the site plan to the cable television department. The engineer shall also be responsible for providing a copy of the floor plan to the cable television department.



**SITE LOCATION MAP**

**SITE DATA AND ZONING**

A.P.N.: 309-38-06  
 LOT SIZE: 6000 SQ. FT.  
 10% ALLOWABLE COVERAGE (2 STORY) = 2400 SF  
 PROPOSED COVERAGE = 2325.93  
 MAX. 45% MAX = 2700 SF  
 FAR PROPOSED =

| ZONE: R2 | SETBACKS | FIRST FLOOR     | SECOND FLOOR    |
|----------|----------|-----------------|-----------------|
| FRONT    | 20'      | 25'             |                 |
| SIDES    | 4' MIN   | 7' MIN          |                 |
| REAR     | 20'      | 12' COMB. TOTAL | 12' COMB. TOTAL |
| HEIGHT   | 30' MAX  | 25'             |                 |

**SQUARE FOOTAGE**

| DESCRIPTION  | EX. (S.F.) | ADD (S.F.) | TOT (S.F.) |
|--------------|------------|------------|------------|
| 1ST FLR      | 1973.02    | 315.00     | 1606.1     |
| 2ND FLR      |            | 1044.83    | 1044.83    |
| TOTAL LIVING |            |            | 2592.93    |
| PORCH        |            | 32         | 32         |
| GARAGE       | -105.83    |            | -105.83    |
| TOTALS       | 1973.02    | 1391.91    | 3370.76    |

**CODES:**  
 THIS PROJECT SHALL COMPLY WITH THE 2001 EDITION OF THE CALIFORNIA BLDG. CODE (TITL 24), WHICH ADOPTS THE 1997 U.B.C., U.A.L.C. & U.F.C. & THE 1996 N.E.C.

**SHEET INDEX**

- SITE PLAN, ROOF PLAN
- SHADOW STUDY
- SHADOW STUDY
- EXISTING FLOOR PLAN AND ELEVATIONS
- NEW FLOOR PLAN
- EXTERIOR ELEVATIONS

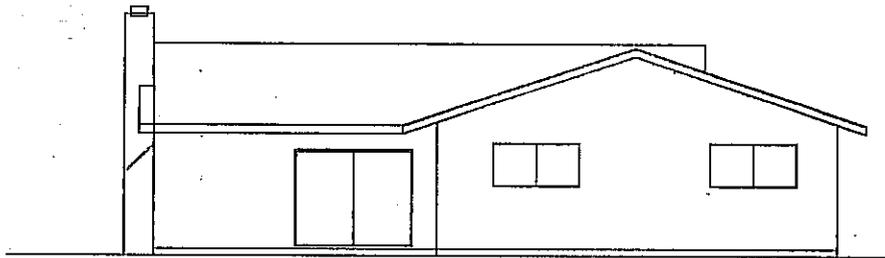
**CONSTRUCTION DATA**

BUILDING TYPE: VI C.C.C. (2001)  
 NUMBER OF STORIES: 2  
 OCCUPANCY GROUP: R3  
 FIRE SPRINKLER: YES

**SCOPE OF WORK**

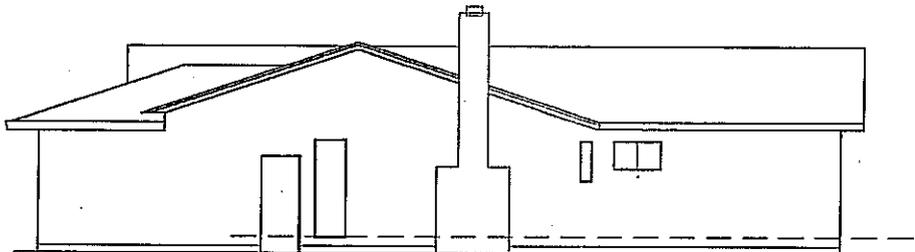
ADD INTO THE EX FRONT PORCH ADD A NEW PORCH, ADD TO THE EX FAMILY ROOM WITH A NEW KITCHEN, CONVERT THE EX KITCHEN INTO A NEW DINING ROOM AND REMODEL THE BATH INTO A NEW HALF BATH, ADD A NEW SECOND STORY WITH 3 NEW BATHROOMS, 3 BEDROOMS, AND A NEW LAUNDRY.

RICHARD HARE  
 DRAFTING AND PLANNING, INC.  
 840 S. BISHOP AVENUE, CARLETON, CA 94508  
 (415) 271-7288  
 ATUL SUDHAKAR  
 2000 S. BISHOP AVENUE, SUITE 100  
 SUNNYVALE, CA 94087  
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 OF 7



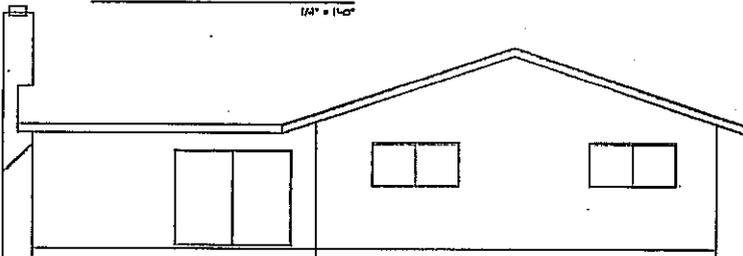
REAR ELEVATION

1/4" = 1'-0"



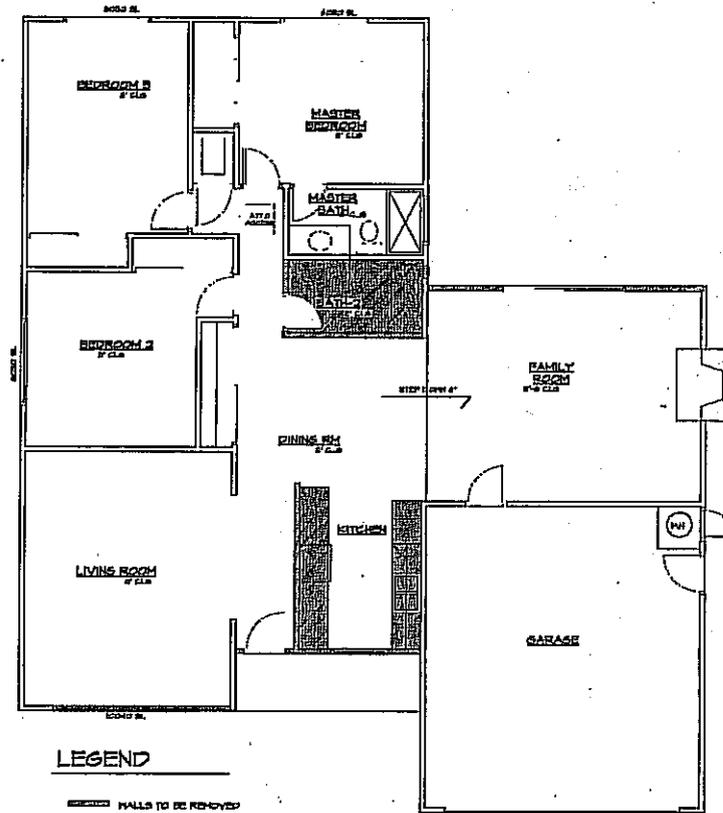
RIGHT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"



EX. FLOOR PLAN/DEMO PLAN

1/4" = 1'-0"

|  |   |
|--|---|
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|  | ▲ |

EX. ELEVATIONS  
EX. FLOOR PLAN



**BROOKHARD HARD**  
DRAWING AND PLANNING, INC.  
ARCHITECTURAL, ENGINEERING, CO., INC.  
77-7928

SEVA SUDHAKAR  
2840 DORSHIRE WAY  
SUNNYVALE, CA 94085

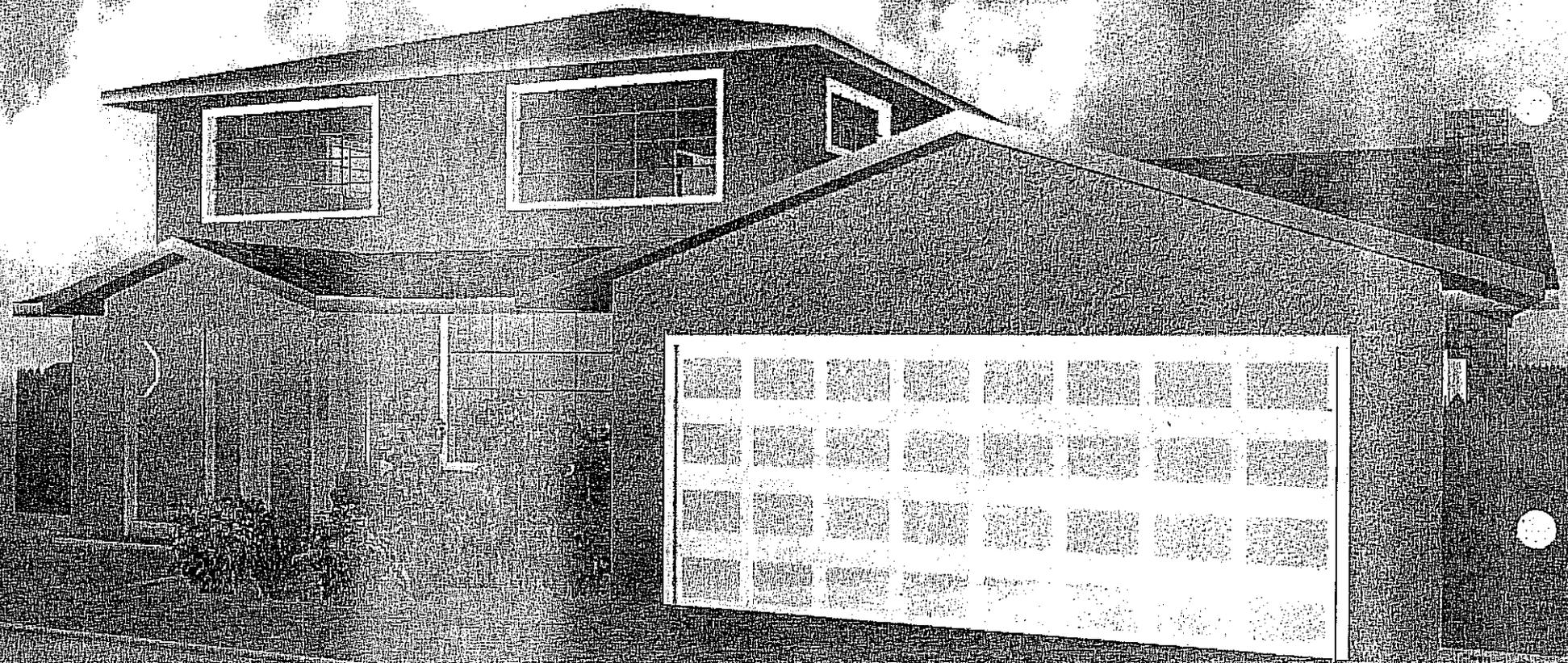
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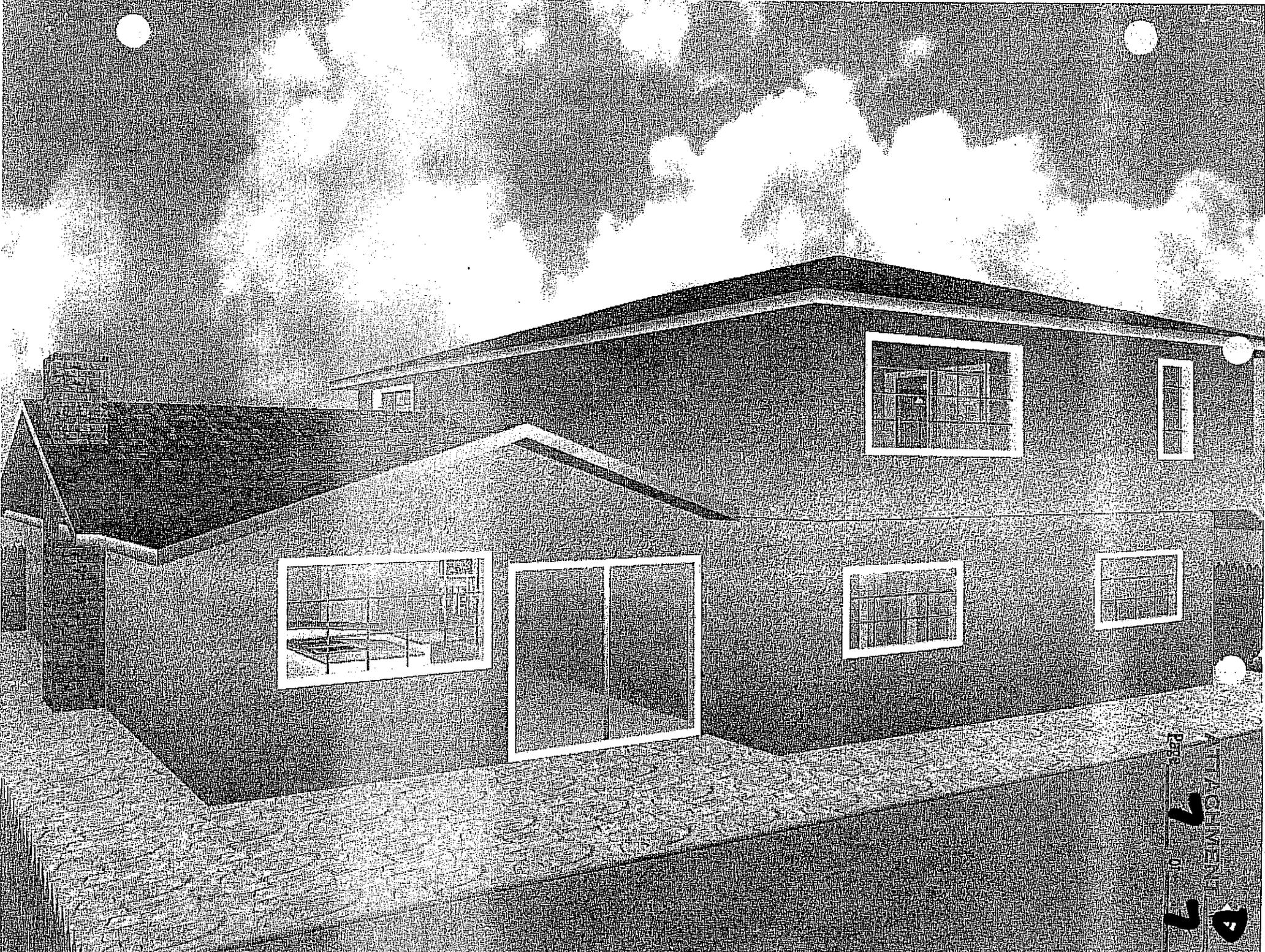




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NEW YORK  
NY



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ATTACHMENT 7

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