



**CITY OF SUNNYVALE
REPORT
Planning Commission**

September 22, 2008

SUBJECT: **2008-0637- Downtown Sunnyvale Mixed Use, LLC**
 [Applicant/Owner]: Application located at **2502 Town Center Lane** in the DSP-18 (Downtown Specific Plan Block 18) Zoning District. (APN: 209-34-009, 010, 015, 016, 017, 018 and 209-35-001, 005, 007, 010, 011, 012)

Motion: Special Development Permit for revisions to the Sunnyvale Town Center Redevelopment project’s site plan.

REPORT IN BRIEF

Existing Site Conditions Partially developed site including: Target and Macy’s stores and City owned parking garage.

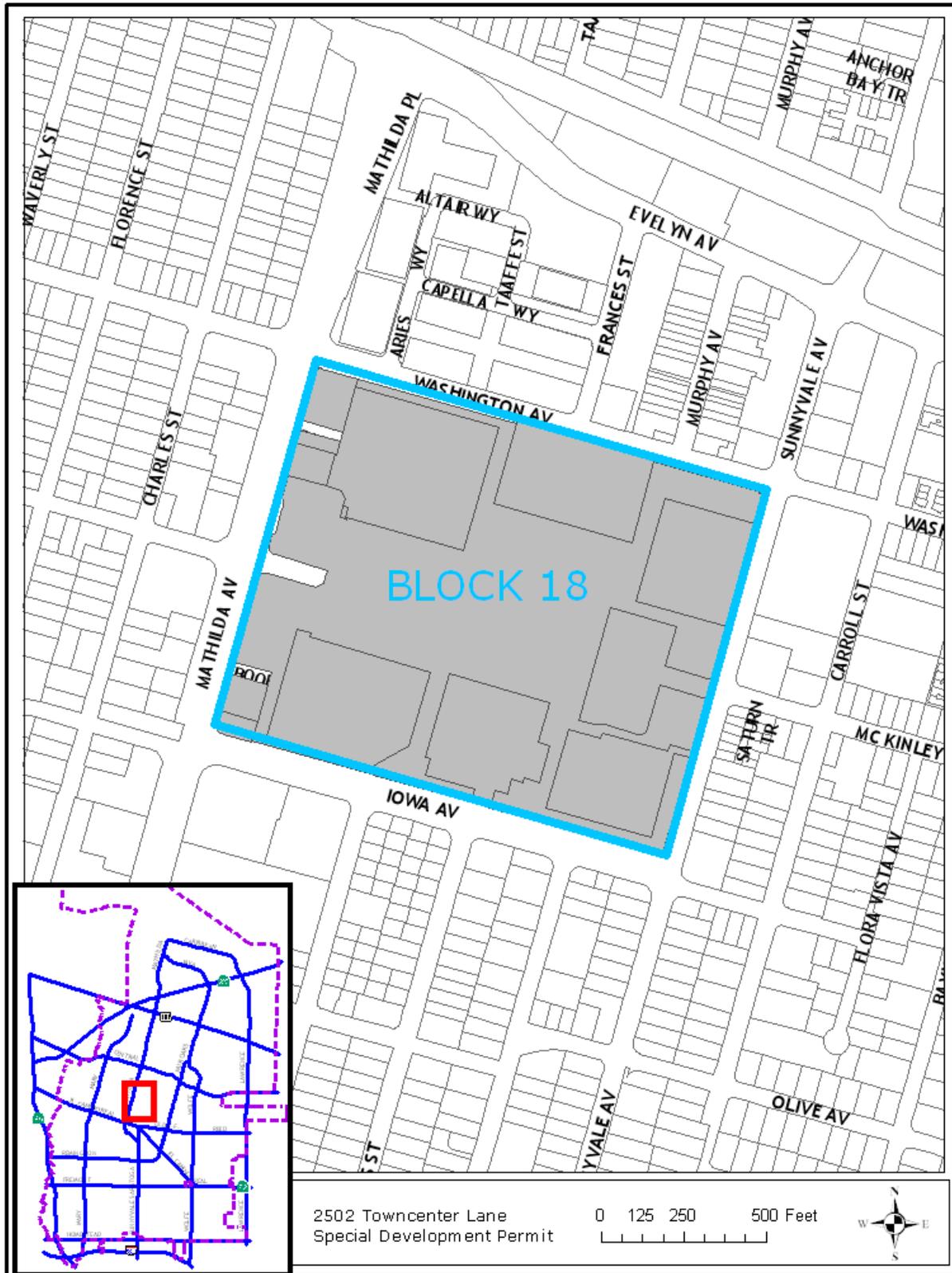
Surrounding Land Uses

North	(across Washington) Town and Country Center, 100 Block South Murphy Avenue (retail/entertainment)
South	(across Iowa) Primarily residential with some office and other commercial uses
East	(across Sunnyvale) Mixture of small businesses and residential
West	(across Mathilda) Office, retail, residential

Issues Appropriate location of additional parking level on revised site plan.

Environmental Status The project location is within the boundaries of a previously certified Program Environmental Impact Report and previously adopted Mitigated Negative Declaration for the Downtown Improvement Program.

Staff Recommendation Approve revised site plan.



PROJECT DATA TABLE

	APPROVED	PROPOSED	REQUIRED/ PERMITTED
General Plan	DSP	Same	N/A
Zoning District	DSP - Block18	Same	N/A
Lot Size (acres)	36.5	Same	No min.
Lot Coverage	Approx. 75%	Approx. 75%	Per SDP
Parking			
• Total No. of Spaces	5,218	5,468	Per SDP min. *

* Typical Sunnyvale Municipal Code requirements do not apply to a large-scale, mixed-use project. Final parking requirements will be determined by a traffic consultant (Fehr & Peers) with approval by the Transportation and Traffic Division.

ANALYSIS**Description of Proposed Project**

A Special Development Permit (SDP) has been filed for the Town Center redevelopment project (Downtown Sunnyvale) for a revision to the approved site plan. The requested change includes a modification to the parking structure in Block 6 to add one level (fifth level) of above ground parking. The structure was previously approved for four levels.

Background

On February 6, 2007, the City Council approved an SDP for the redevelopment of the Sunnyvale Town Center site. As part of that approval, a condition was added that requires the developer to return to the Planning Commission for any major changes to the approved site plan.

Since that time the applicant has been working closely with staff to develop the final plan details and modify the plans to satisfy the conditions of approval. As a result the applicant has introduced a number of changes (major and minor) to the approved plans. The Planning Commission has twice reviewed major changes to the site plan in July 2007 and to Redwood Square in March 2008.

The architecture for Block 6, as well as Downtown Specific Plan Amendments, will be reviewed by the Planning Commission on October 13, 2008 and the City Council on October 21, 2008. The Commission is not being asked to review architecture at this time (separate SDP). The SDP under review includes only a request for a site plan revision to add one parking level (deck) to the Block 6 structure.

Project Justification: The developer has stated the reason for the additional parking level is a result of final negotiations between Macy's, Target, and themselves. During these negotiations it became evident that Macy's wanted the potential for additional parking spaces within proximity of their store. Macy's fundamental concern is that the Downtown Sunnyvale project will be highly successful and parking will not be available to their customers.

Macy's and the developer have agreed that the additional level may not be necessary to construct at the time the development is opened but could be necessary at a future date. Macy's is requiring that the site plan revision be approved prior to signing of the final agreements between the two parties. This agreement is expected to be executed the week of September 22, 2008. In addition, the construction of the Block 6 structure will begin later this year so the construction plans must incorporate a design for the additional level. The additional level will be built only if there is a shortage of parking in the development and Macy's concerns become a reality.

Environmental Review

The subject project is located within the boundaries of the previously certified 2003 Downtown Improvement Program Update Final Environmental Impact Report (EIR). The Final EIR considered the impacts of development for buildout of the Downtown, including the types and maximum intensity of uses for Block 18. The effects of buildout are discussed in terms of cumulative impacts of development and include such issues as traffic volume, cultural resources, and air quality. The Final EIR includes mitigation measures that address the potentially significant impacts identified in the EIR analysis and are applicable to all future development in Downtown. This modification to the approved site plan does not require additional environmental review.

Special Development Permit

Approved Project Details: The approved site plan shows the final locations of the approved entitlements for Block 18, including 292 residential units generally situated above retail buildings, 322,000 square feet of office space generally above retail, 931,385 square feet of commercial retail and entertainment uses, including a cinema, and a 200 room hotel. Parking is provided throughout the project by four large parking garages (including the City owned structure to the east of Target), one level of structured parking beneath the new Target store, and on-street parking, for a total supply of 5,434 spaces. The project covers all of Block 18, except for the 0.48 acre Bank of the West site that is currently developed with a 7,000 square foot building.

The July 2007 amendment to the site plan approved additional intensities for Block 18 which included a new hotel with a maximum of 200 rooms and 40,000 square feet of additional office space.

The approved plans show four parking structures located in Blocks 1, 2, 5, and 6. The structures in Blocks 1 and 2 are currently under construction and the structure in Block 5 (City owned/Target structure) currently exists. The structures will serve Downtown retail patrons, office employees, as well as residents and their guests. The structures in Blocks 1 and 2 are four levels above grade and one level below. The July 2007 site plan for Block 6 shows four levels of above grade parking and one level below.

Proposed Site Plan: The developer has proposed a revised site plan that includes an additional parking deck in the Block 6 parking structure. The structure was approved for four levels of parking and the request is for a fifth level. No retail or other square footage will be added or reduced as a result of this site plan revision.

The approved structure is approximately 43 feet high to the top of the fourth level and 53 feet high to the top of the elevator/stairwell features. The proposed level would likely add 10-12 additional feet, bringing the height of the top of the fifth level up to 55 feet high. Attachment C shows a conceptual perspective of the additional level. This plan indicates that the new level would be stepped back from the Washington Avenue side (north elevation) and stepped back from the hotel portion.

The previously approved Block 6 structure contains 1,153 parking spaces. The proposed new level includes an additional 250 spaces for a total of 1,400 spaces. All access points, stairwells, and architecture will remain the same.

Parking Analysis: The addition of one parking level will not impact the total parking requirements of the project. The applicant will submit a shared parking analysis for the October 13, 2008 Planning Commission hearing. This analysis will outline the parking impacts resulting from the requested changes (i.e. hotel, underground parking, outdoor seating) and the total parking proposed. The additional level would provide parking in excess of the minimum requirement for Block 18 and would increase the overall supply of public parking in the downtown.

Site Plan Analysis: Throughout the 2003 Downtown Specific Plan (DSP) planning process, public input included concerns about overall building heights and project intensities that were proposed as part of the preferred project. In response to those concerns, a combination of staff recommendations and City Council decisions resulted in reduced building heights in the approved DSP. Blocks 13, 18, and 20 were lowered in maximum height from 100 feet to 50 feet. Block 18 was an exception, with its height lowered from 100 feet to 75 feet.

The proposed site plan change is within the scope of the overall analysis for the 2003 Program EIR and the DSP approval for Block 18. The additional level is within the permitted maximum height of 75 feet and maximum of five stories.

Additionally, the amendment is in harmony with the Program EIR in locating parking in above and below grade structures.

Architecture: The architecture for the parking structures as well as the hotel will be reviewed at a separate Planning Commission hearing on October 13, 2008.

Compliance with Development Standards: Under this SDP the applicant is not requesting any deviations from the Sunnyvale Municipal Code.

Expected Impact on the Surroundings

During the 2003 DSP approval process, there was significant discussion about suitability and intensity of development in Block 18. A significant portion of this discussion was concerning the Mathilda Avenue office corridor and number of housing units. There was less discussion of the Sunnyvale Avenue frontage, which became the projected location of taller buildings including the cinema and Block 6 structure. The site plan modification made in July 2007 also added the five story hotel in Block 6.

The proposed parking level, while consistent with DSP intensities, will create a taller project overall and could have a more significant impact on the adjacent uses across Sunnyvale Avenue. These uses include: financial institution, parking lot (City owned), and mixed use senior housing with retail/office space on the ground floor (Plaza de Las Flores). The approved cinema across McKinley is proposed to be 63 feet high and the hotel is proposed at approximately 75 feet high.

Considering the existing height limits under the DSP and the adjacent land use intensities, the proposed scale of development would be consistent with the intended character of Block 18 and the DSP. The following table compares land use, height, FAR, and density (General Plan level community character elements), for seven similar downtown blocks.

Comparison to Adjacent DSP Sub-Districts

Location	Use	Max. Height	FAR Estimate at Buildout (Does not include parking structures)	Density (units/acre)
Block 1 (Mozart)	Office/retail	100	285% (existing)	N/A
Block 1a (Town & Country)	Residential/Retail	85 ft.	125-200%	78
Block 2 (Murphy)	Retail/Office	36 ft.	89% (excludes parking lots)	N/A
Block 7	Retail/Residential	50 ft.	109% (existing)	28
Block 13 (Mathilda only, 2/3 of block)	Office/Retail Only	50 ft. Mathilda 30 ft. Taaffe	240%	N/A
Block 15 and 16 combined	Very High Density Residential	50 ft. Mathilda 30 ft. Charles	180%	56
Block 18 (Existing)	Mixed Use	75 ft. 80 cinema	110%	N/A

Fiscal Impact

No fiscal impacts are expected as a result of this SDP. If parking is found to be needed after this development is open, the addition of another 250 public parking spaces would be a fiscal benefit by supporting additional customers and therefore additional retail sales.

Public Contact

Planning Commission Study Session: A study session was held with the Planning Commission on September 8, 2008. At the meeting, Commissioners stated a concern over potential impacts to the Sunnyvale Avenue area, perceived stark appearance of the garage architecture, and the need for landscaping to soften the facade.

At the City Council study session on July 15, 2008 plans showing the additional parking level were not available for review but a short discussion of the request transpired.

Public Hearing notices were sent to property owners and tenants in an approximate 500 foot expanded radius of the project area, as well as the

following: all neighborhood associations, all Downtown business property and business owners, stakeholder list from 2008, and other interested parties.

Notice of Public Hearing	Staff Report	Agenda
<ul style="list-style-type: none"> • Published in the <i>Sun</i> newspaper • Posted on the site • 1,902 notices mailed to the property owners, residents, tenants, as well as other interested parties within expanded 500 ft. of the DSP Boundary 	<ul style="list-style-type: none"> • Posted on the City of Sunnyvale's Website • Provided at the Reference Section of the City of Sunnyvale's Public Library 	<ul style="list-style-type: none"> • Posted on the City's official notice bulletin board • City of Sunnyvale's Website

Findings

Findings and General Plan Goals: Staff was able to make the required Findings based on the justifications for the Special Development Permit. Findings and General Plan Goals are located in Attachment A.

Recommended Conditions of Approval: Conditions of Approval are located in Attachment B.

Alternatives

1. Approve the Special Development Permit for revisions to the site plan with the amended conditions.
2. Approve the Special Development Permit for revisions to the site plan with modified conditions.
3. Deny the Special Development Permit.

Recommendation

Alternative 1: Approve the Special Development Permit with the amended conditions.

Staff believes the addition of the parking level, while not included in the 2007 approved plans, could have many beneficial impacts for the redevelopment project as well as the greater Downtown area. In particular, the new level will provide additional parking during peak periods of the development and will provide additional parking for existing Downtown businesses within proximately to Murphy Avenue.

Reviewed by:

Trudi Ryan
Planning Officer

Prepared by: Steve Lynch, Project Planner

Approved by:

Hanson Hom
Director of Community Development

Attachments:

- A. Recommended Findings
- B. Recommended Conditions of Approval
- C. Revised Site Plan

General Plan Goals and Policies

Downtown Specific Plan

DSP B3: *Improve the Town Center area by reinforcing connections into and through the mall and improve the quality of the tenant mix and mall's physical environment.*

The reconnected street grid and demolition of the core of the mall will provide extensive connections and provide opportunity to attract new quality tenants in support of the remaining department stores and small businesses in downtown. The additional level of parking will aid in the customer parking as well as retail tenant leasing.

DSP C4: *C.4. Encourage shared parking in the downtown to minimize the amount of land devoted for parking areas and manage parking so it does not dominate mode choice decisions or the built environment.*

The additional level of parking will help to encourage shared parking by consolidating parking into consolidated structures.

DSP C6: *Provide adequate access to parking in the downtown.*

An additional parking level will aid in customers finding available parking in the Downtown area.

Community Design Sub-Element

C.5: *Ensure that buildings are appropriate to their context and designed to be compatible with surrounding properties and special districts.*

C.5a: *Encourage new construction to be consistent with the horizontal or vertical building orientation or building shape of special districts or streetscapes.*

Considering the existing height limits allowed under the DSP and the adjacent land use intensities, the proposed scale of development would be consistent with the intended character of Block 18 and the surrounding DSP blocks.

Recommended Findings - Special Development Permit

1. The proposed use attains the objectives and purposes of the General Plan of the City of Sunnyvale. The project meets the goals and policies of the General Plan, as enumerated above, subject to further review of architectural plans

through a separate SDP application, and subject to the addition of conditions of approval as needed to address design issues .

2. The proposed use ensures that the general appearance of proposed structures, or the uses to be made of the property to which the application refers, will not impair either the orderly development of, or the existing uses being made of, adjacent properties through its mix of permitted uses, provisions for additional permits for sensitive uses, architectural design, supply of parking, and investments in street frontage improvements and traffic signals. The proposal, as conditioned, minimizes development impact on the surrounding properties and allows development complementary to Sunnyvale Downtown goals and image. The redevelopment of the property will in fact be a positive benefit to surrounding uses and improve the general appearance and form of Block 18.

Recommended Conditions of Approval for SDP

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following conditions of approval of this Permit:

Approval of this Special Development permit includes all previous Conditions of Approval from Special Development Permit #2007-0030, 2007-0516, 2007-0611, 2008-0097. Unless otherwise noted, all conditions shall be subject to the review and approval by the Director of Community Development.

Revised Site Plan

RSP6. Final architectural plans (e.g. elevations, colors, materials, details) for Block 6 are subject to review and approval by the Planning Commission through an additional SDP. Architectural elements and landscape features shall be incorporated to reduce the perceived mass and bulk of the structure and to soften the façade, particularly along Sunnyvale Avenue.

SUNNYVALE TOWN CENTER

Strategic, Old Town



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 441 W. 15th St., Suite 200
 Grand Rapids, MI 49503-4700



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THE SUEZBRO PARTNERSHIP
 Leverage. Influence. Lead. Elevate.
 600 Westwood Blvd.
 Grand Rapids, MI 49503-4700

DEVON
 1000 Parkside Dr.
 Grand Rapids, MI 49503-4700

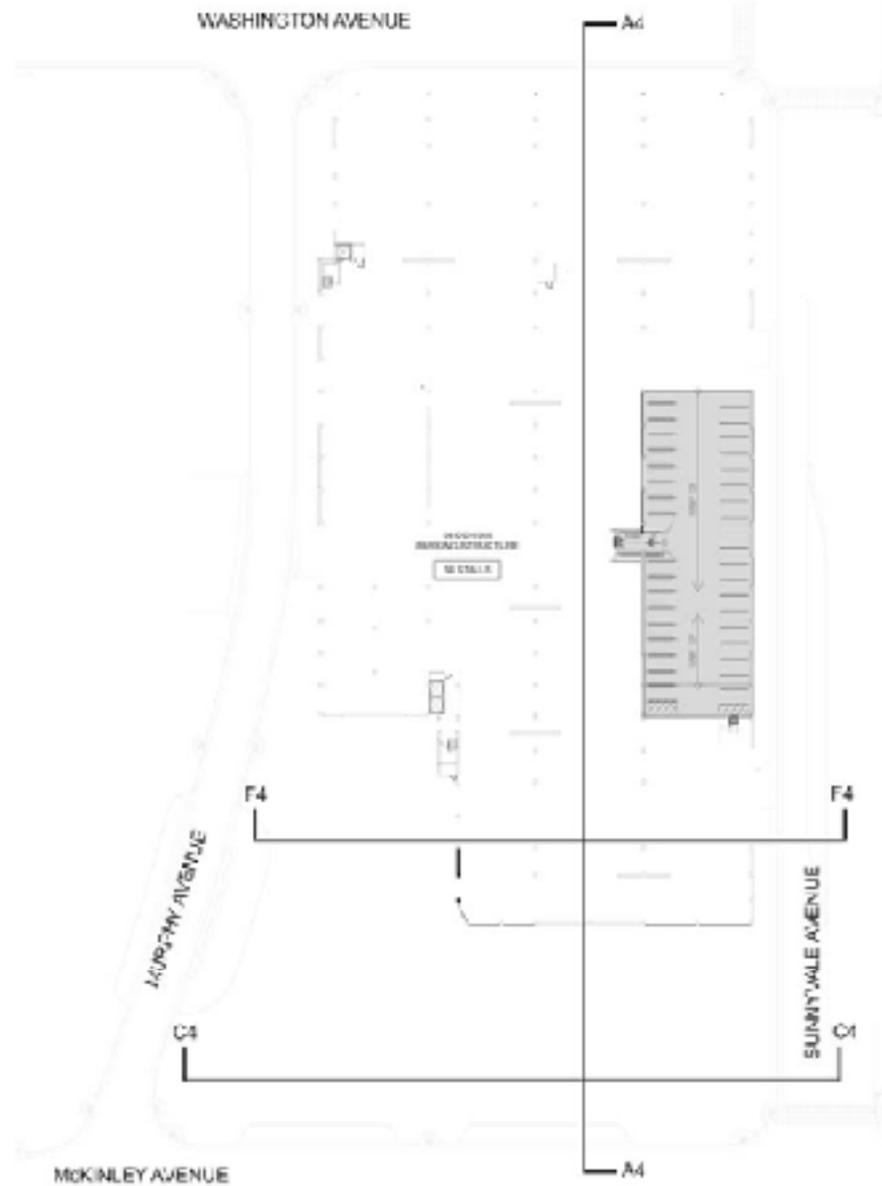
DEVON COMMUNITARIAN
 1000 Parkside Dr.
 Grand Rapids, MI 49503-4700

DEVON COMMUNITARIAN
 1000 Parkside Dr.
 Grand Rapids, MI 49503-4700

SAND HILL PROPERTY COMPANY
 1000 Parkside Dr.
 Grand Rapids, MI 49503-4700

BL	---	---
TL	---	---
TR	---	---

SUNNYVALE
 SITE PLAN
 BASEMENT LEVEL



RESERVED PARKING	200
STREET PARKING	120
LEVEL 1	200
LEVEL 2	200
LEVEL 3	200
TOTALS	1,120
POSSIBLE SPACES	1,000

FLOOR	CONCRETE PAVING	ASPHALT PAVING	TOTAL
FLOOR 1	200	200	400
FLOOR 2	1,120	120	1,240
FLOOR 3	200	120	320
FLOOR 4	200	120	320
FLOOR 5	1,120	120	1,240
TOTALS	4,740	480	5,220

FLOOR	SPACES
FLOOR 1	200
FLOOR 2	200
FLOOR 3	200
FLOOR 4	200
FLOOR 5	200
TOTALS	1,000

includes 20 of the 1st window spaces
 Does not include 1st & 2nd window spaces
 Does not include 1st & 2nd window spaces

FLOOR	OFFICE	RESIDENTIAL	TRADER	RETAIL	RETAIL	RETAIL	RETAIL	RETAIL
FLOOR 1	200	120						
FLOOR 2	200	120						
FLOOR 3			1,120	120				
FLOOR 4			1,120	120				
FLOOR 5			1,120	120				
TOTALS	400	240	4,360	480	200	200	200	200

A1 SITE PLAN - BASEMENT LEVEL
 SCALE: 1" = 10'-0"

SUNNYVALE TOWN CENTER

Sunnyvale, California



ARCHITECTURE & ENGINEERING
 4411 N. BAYVIEW AVENUE, SUITE 200
 SAN JOSE, CALIFORNIA 95041-4700



PARKING DECK 0 (BLOCK 9)

PERMITTED VEHICLE	200
BIKE	200
EV	200
TOTAL	600
PERMITTED VEHICLE	200

PARKING TOTALS

ROOM #	OFFICE/RESIDENT	OFFICE/RESIDENT	OFFICE/RESIDENT	TOTAL
ROOM 1	200	200	200	600
ROOM 2	1100	100	200	1400
ROOM 3	200	200	200	600
ROOM 4	200	200	200	600
ROOM 5	1100	100	200	1400
ROOM 6	200	200	200	600
ROOM 7	200	200	200	600
TOTAL:	4412	400	600	5412

BASEMENT PARKING

ROOM 1	200
ROOM 2	200
ROOM 3	200
ROOM 4	200
ROOM 5	200
ROOM 6	200
ROOM 7	200
TOTAL:	1400

NOTE: BASEMENT SHALL BE VEHICLE ONLY.

SITE DATA

ROOM #	OFFICE	RESIDENT	TOTAL	OFFICE	RESIDENT	TOTAL	OFFICE	RESIDENT	TOTAL
ROOM 1	200	200	400	200	200	400	200	200	400
ROOM 2	1100	100	1200	1100	100	1200	1100	100	1200
ROOM 3	200	200	400	200	200	400	200	200	400
ROOM 4	200	200	400	200	200	400	200	200	400
ROOM 5	1100	100	1200	1100	100	1200	1100	100	1200
ROOM 6	200	200	400	200	200	400	200	200	400
ROOM 7	200	200	400	200	200	400	200	200	400
TOTAL:	4412	400	4812	4412	400	4812	4412	400	4812

A4 SITE PLAN - LEVEL 0

SCALE: 1" = 100'

PERKINS+WILL
 330 N. LAKE ST.
 CHICAGO, IL 60601

PERKINS+WILL
 1100 AVENUE OF THE STARS
 SUITE 2000
 FORT MYERS, FL 33902

PERKINS+WILL
 1100 AVENUE OF THE STARS
 SUITE 2000
 FORT MYERS, FL 33902

PERKINS+WILL
 1100 AVENUE OF THE STARS
 SUITE 2000
 FORT MYERS, FL 33902

PERKINS+WILL
 1100 AVENUE OF THE STARS
 SUITE 2000
 FORT MYERS, FL 33902

PERKINS+WILL
 1100 AVENUE OF THE STARS
 SUITE 2000
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 SUITE 2000
 FORT MYERS, FL 33902

SUNNYVALE TOWN CENTER
 Streetscape, Civil Service



WALTER BAKER & PARTNERS LLP
 445 N. 3rd Street, Suite 200
 San Jose, CA 95131
 Phone: 408.438.4700



POSSIBLE FUTURE 5TH LEVEL
 (166 SPACES MIN.)

PARKING DECK 0 (BLOCK 1)

DECK 0 - 1ST FLOOR	200
DECK 0 - 2ND FLOOR	200
LEVEL 1	200
LEVEL 2	200
LEVEL 3	200
TOTAL	1,000
POSSIBLE FUTURE	166

PARKING TOTALS

DECK/FLOOR	SPACE COUNT	CALCULATED	CALCULATED	TOTAL
DECK 0	200	200	200	1,000
DECK 1	1,310	128	200	1,638
DECK 2	200	8	200	208
DECK 3	200	20	200	220
DECK 4	1,320	1,320	1,320	1,320
DECK 5	200	200	200	200
TOTAL	4,420	466	1,020	5,906

BASEMENT PARKING

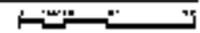
DECK 0	200
DECK 1	200
DECK 2	200
DECK 3	200
DECK 4	200
DECK 5	200
TOTAL	1,200

Included: 0 of the 1st and 2nd spaces
 Do not include block C parking spaces
 Do not include all of possible way

SITE DATA

DECK/FLOOR	OFFICE	sq. feet/ftm	TYPE	EMPL	CRIM	PERFECT	GRAND	HOTEL
DECK 0	200	200					200	
DECK 1	200	200					200	
DECK 2	200	200					200	
DECK 3	200	200					200	
DECK 4	200	200					200	
DECK 5	200	200					200	
TOTAL	1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200

A5 SITE PLAN - LEVEL 5



WALK
 WALKING PARTNERSHIP
 1000 University Ave
 Berkeley, CA 94702
 Phone: 415.863.4400

Partners - Bath
 1000 University Ave
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 Phone: 415.863.4400

SHARED PARTNERSHIP
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SUNNYVALE TOWN CENTER

Sunnyvale, California



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 4411 N. 1ST STREET, SUITE 200, SAN JOSE, CA 95131
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PARKING DECK 0 (BLOCK 0)

PERMITTED VEHICLE	200
BIKE	200
STREET LIGHT	200
UTILITY	200
STREET	200
TOTAL	1,000
PERMITTED VEHICLE	200

PARKING TOTALS

ROOM #	OFFICE HOURS	CALCULATED PERCENTAGE	CALCULATED SPACES	TOTAL
ROOM 1	200	200	200	1,000
ROOM 2	1,110	1,110	300	1,410
ROOM 3	200	200	200	400
ROOM 4	200	200	200	400
ROOM 5	1,110	1,110	300	1,410
ROOM 6	200	200	200	400
TOTAL	4,410	4,410	1,200	5,610

BASEMENT PARKING

ROOM 1	200
ROOM 2	200
ROOM 3	200
ROOM 4	200
ROOM 5	200
ROOM 6	200
TOTAL	1,200

Notes: 1. Does not include Block C parking spaces. 2. Does not include Block C parking spaces. 3. Does not include Block C parking spaces.

SITE DATA

ROOM #	OFFICE	OFFICE (sq ft)	TYPICAL	EMPHATIC	CALCULATED	PERMITTED	OFFICE (sq ft)	TOTAL
ROOM 1	200	1,110				200	20,100	
ROOM 2	1,110	1,110				400	20,100	
ROOM 3	200	200	1,110,000			200	20,100	
ROOM 4	200	200				200	20,100	
ROOM 5	1,110	1,110				400	20,100	
ROOM 6	200	200				200	20,100	1,200
TOTAL	4,410	4,410	1,110,000	20,100	4,410	1,200	20,100	1,200

A6 SITE PLAN - LEVEL 6

SCALE: 1" = 10' - 0"

PERKINS+WILL
 330 N. LAKE STREET, SUITE 2000, CHICAGO, IL 60610
 TEL: 312.344.4000 FAX: 312.344.4001

Parkwitz + Roth
 1000 BROADWAY, 10TH FLOOR, NEW YORK, NY 10018
 TEL: 212.693.2000 FAX: 212.693.2001

SHAW-WOODHEAD PARTNERSHIP
 600 PLYMOUTH STREET, SAN FRANCISCO, CA 94102
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DEVCON INC. ARCHITECTS
 1000 BROADWAY, 10TH FLOOR, NEW YORK, NY 10018
 TEL: 212.693.2000 FAX: 212.693.2001

DEVCON CONSULTANTS
 1000 BROADWAY, 10TH FLOOR, NEW YORK, NY 10018
 TEL: 212.693.2000 FAX: 212.693.2001

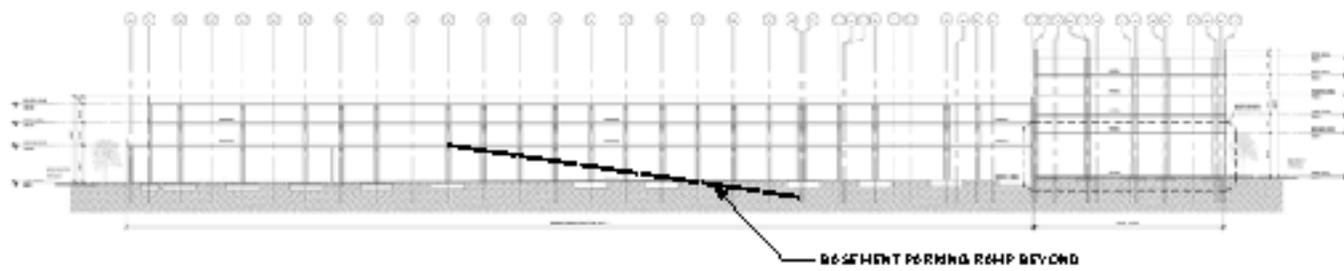
SAND HILL PROPERTY COMPANY
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 TEL: 212.693.2000 FAX: 212.693.2001

SUNNYVALE

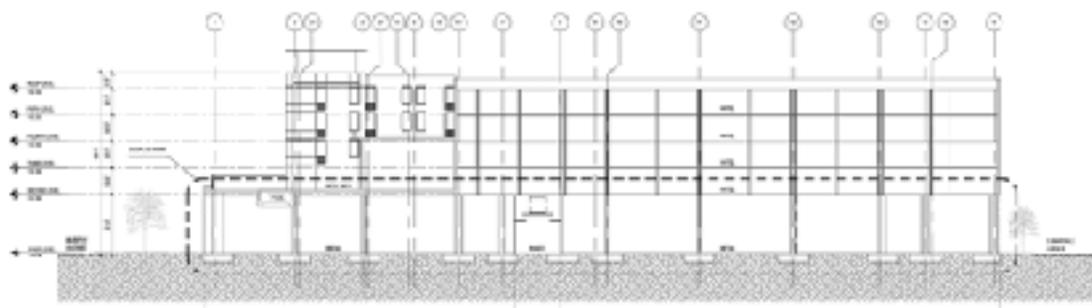
SITE PLAN LEVEL 6

DATE: 10/10/07

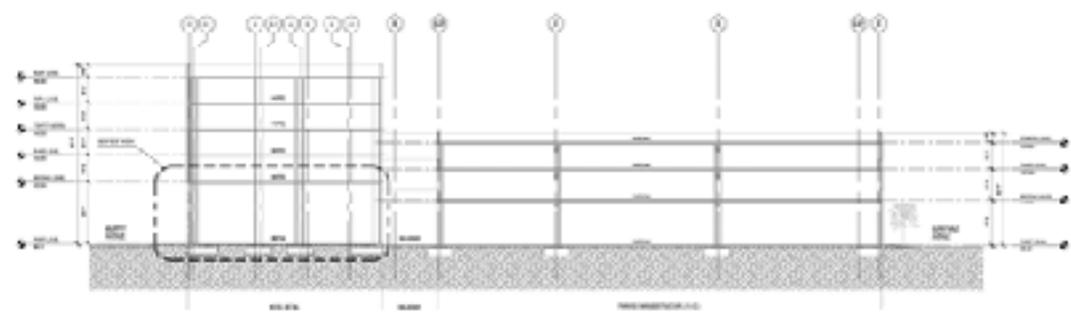
30/07



A4 SITE SECTION
 1/8" = 1'-0"



C4 SITE SECTION
 1/8" = 1'-0"



F4 SITE SECTION
 1/8" = 1'-0"

SUNNYVALE TOWN CENTER
 Sunnyvale, California

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PERKOWITZ + BATH
 PERKOWITZ + BATH, LP
 1000 BAY BLVD., SUITE 1000
 SAN FRANCISCO, CALIFORNIA 94133
 TEL: 415.774.4700

Perkowitz + Bath
 1000 BAY BLVD., SUITE 1000
 SAN FRANCISCO, CALIFORNIA 94133
 TEL: 415.774.4700

SUNSHINE PARTNERSHIP
 SUNSHINE PARTNERSHIP, INC.
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 SAN FRANCISCO, CALIFORNIA 94133
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DEVCON
 DEVCON CONSTRUCTION
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SAND HILL PROPERTY COMPANY
 SAND HILL PROPERTY COMPANY
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 SAN FRANCISCO, CALIFORNIA 94133
 TEL: 415.774.4700

SUNNYVALE

SITE SECTIONS

31.01

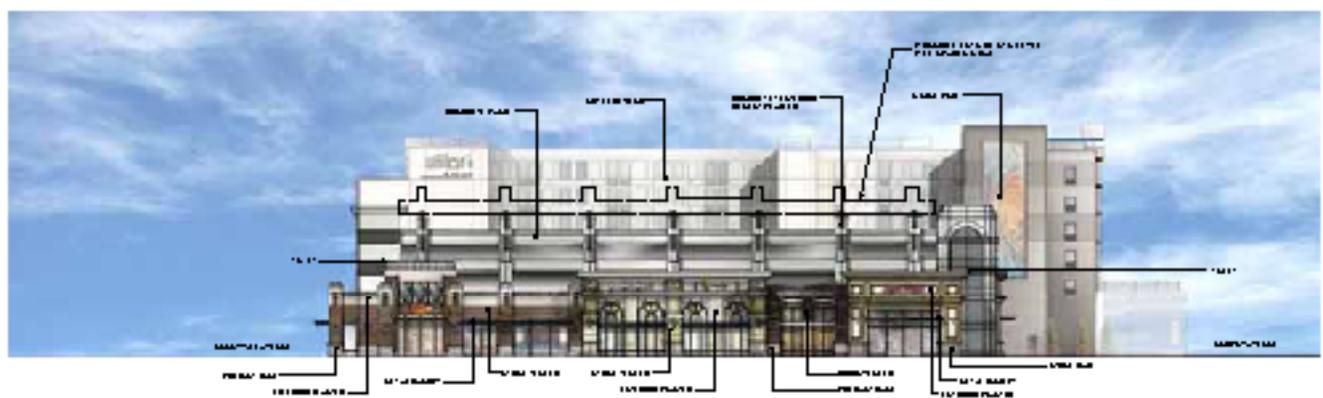
SUNNYVALE TOWN CENTER
Sunnyvale, California



WALTER BERKELEY & PARTNERS LLP
Architects
1000 West California Street, Suite 1000
Sunnyvale, CA 94087-1000
Tel: 415.335.4100



1 ELEVATION ALONG MCKINLEY AVENUE
SCALE: 1/8" = 1'-0"



2 ELEVATION ALONG WASHINGTON AVENUE
SCALE: 1/8" = 1'-0"

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1000 West California Street, Suite 1000
Sunnyvale, CA 94087-1000
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NO.	DESCRIPTION	DATE
1	REVISION	
2	REVISION	
3	REVISION	

**SUNNYVALE
TOWN
CENTER**

Sunnyvale, California



ARCHITECTURE & INTERIORS LTD.
445 W. Elgin St., Suite 200, San Jose
Tel: 408.298.4700



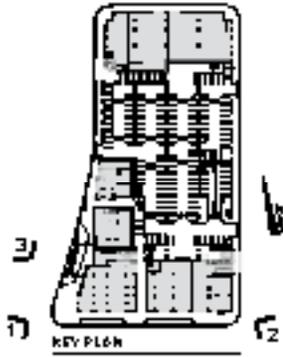
1 FROM SOUTHWEST CORNER



2 FROM SOUTHEAST CORNER



3 TO SOUTHWEST CORNER



PERKOWITZ + BATH
ARCHITECTS
1000 BAYVIEW BLVD., SUITE 100
SAN JOSE, CA 95128
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DEVCON
CONSTRUCTION
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TEL: 408.298.4700

SHAW HILL PROPERTY COMPANY
1000 BAYVIEW BLVD., SUITE 100
SAN JOSE, CA 95128
TEL: 408.298.4700

DATE	ISSUE	NO.



KEY PLAN

1 FROM SOUTHWEST CORNER

**SUNNYVALE
TOWN
CENTER**

Sunnyvale, California



ARCHITECTURE & INTERIORS BY
JAY H. KIM & ASSOCIATES, INC.
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PERKOWITZ + BATH
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SUNNYVALE, CALIFORNIA 94086-4700

SAND HILL PROPERTY COMPANY
1000 W. CALLE DE SAN JUAN, SUITE 200
SUNNYVALE, CALIFORNIA 94086-4700

NO.	DATE	DESCRIPTION
1	08/11/08	ISSUED FOR PERMITS
2	08/11/08	ISSUED FOR PERMITS
3	08/11/08	ISSUED FOR PERMITS

**SUNNYVALE
TOWN
CENTER**
Sunnyvale, California



ARCHITECTURE & ENGINEERING
1000 W. CALLE DE LA UNIÓN, SUITE 200
SUNNYVALE, CALIFORNIA 94086-4700
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1 FROM NORTHWEST CORNER (CURRENT)



2 FROM NORTHEAST CORNER (CURRENT)



1 FROM NORTHWEST CORNER (PROPOSED)



2 FROM NORTHEAST CORNER (PROPOSED)



KEY PLAN

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SAND HILL PROPERTY COMPANY
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SUNNYVALE, CALIFORNIA 94086-4700

NO.	DATE	DESCRIPTION
1		
2		
3		

REVISIONS

DATE

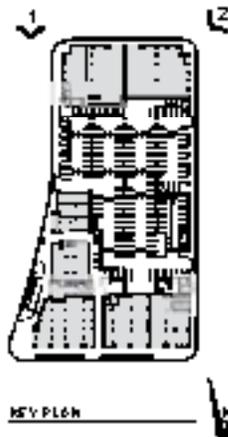
BY

FOR

33.06



1 FROM NORTHWEST CORNER



2 FROM NORTHEAST CORNER

PROJECT

**SUNNYVALE
TOWN
CENTER**

Sunnyvale, California



ARCHITECTURE & INTERIORS BY
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PERKOWITZ + BATH

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NEW YORK, NY 10011
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NO.	REVISION	DATE
1		
2		

REVISIONS

REVISIONS