



**CITY OF SUNNYVALE
REPORT
Planning Commission**

January 12, 2009

SUBJECT: **2008-1056:** Application for related proposals located at **615 Dunholme Way** (near Floyd Ave.) in an R-0 (Low Density Residential) Zoning District.

Motion **Parcel Map** to subdivide one lot into two lots;

Introduction of an Ordinance **Rezone** from R-0 (Low Density Residential) to R-0/PD (Low Density Residential/Planned Development) Zoning District;

Motion **Special Development Permit** to construct an additional single family home.

REPORT IN BRIEF

Existing Site Conditions One single-family home

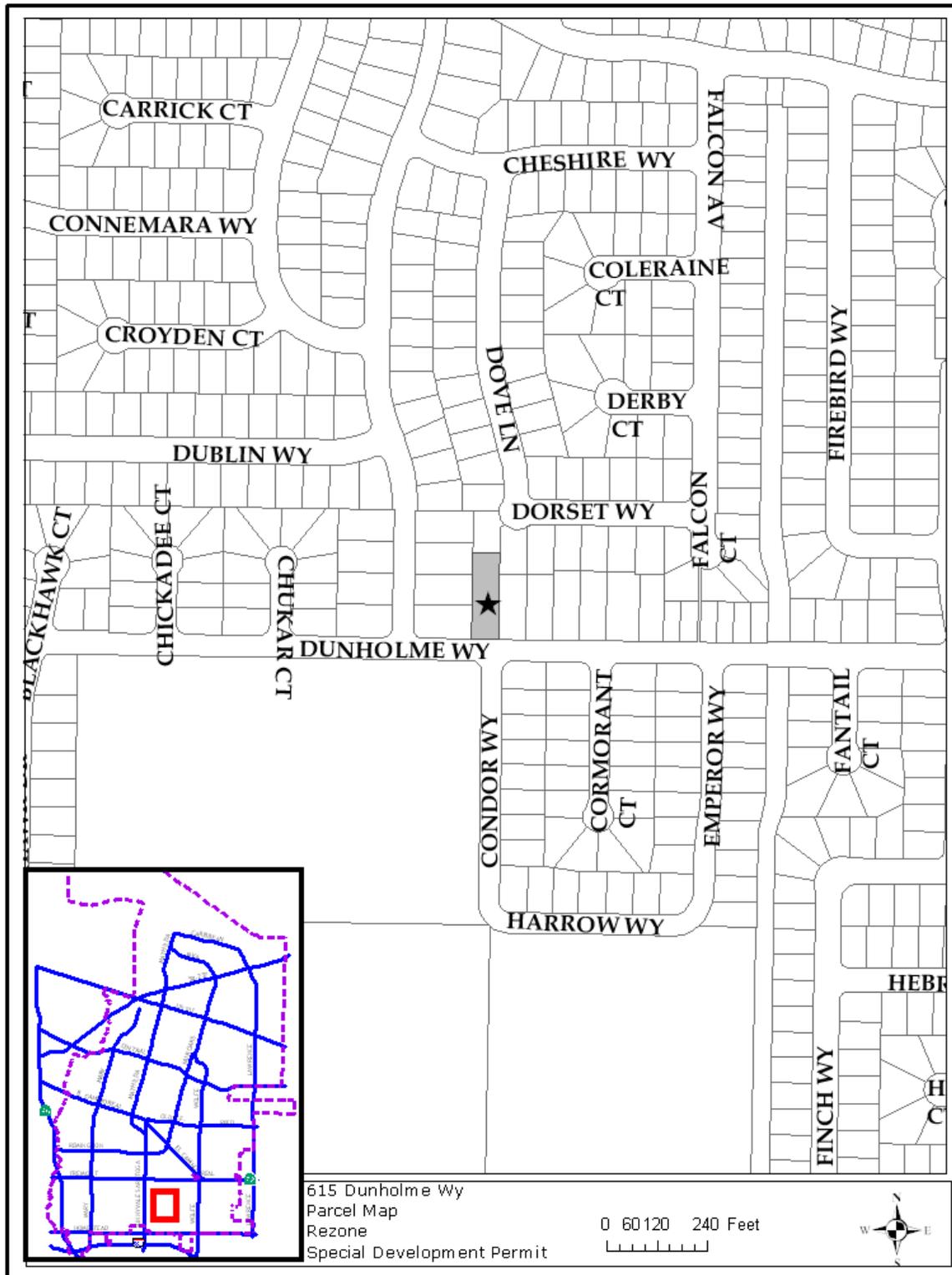
Surrounding Land Uses

North	Single-family homes
South	Single-family homes and Stocklmeir Elementary School
East	Single-family homes
West	Single-family homes

Issues Privacy and compatibility with neighborhood

Environmental Status A Class 32 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines.

Staff Recommendation Recommend to City Council Rezoning to R-0/PD, and approve Special Development Permit and Parcel Map for two single-family homes with conditions.



PROJECT DATA TABLE

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
General Plan	Residential Low Density	Same	Residential Low Density
Zoning District	R-0	R-0/PD	R-0/PD
Lot Size (s.f.)¹	12,941	Lot A: 7,281 Lot B: 5,660 ² <i>Average: 6,471</i>	6,000 min. or by SDP
Lot Width (ft.)	64'	Lot A: 44' ² Lot B: 64'	57' min. or by SDP
Gross Floor Area (s.f.)	3,247	Lot A: 3,247 Lot B: 2,547 <i>Total: 5,794</i>	5,823 max.
Lot Coverage (%)	25.1%	Lot A: 44.6% Lot B: 25.4% <i>Overall: 36.2%</i>	Lot A: 45% max, for one-story homes Lot B: 40% max, for two-story homes
Floor Area Ratio (FAR)	16.2%	Lot A: 44.6% Lot B: 45% <i>Overall: 44.8%</i>	45% max. without PC review
No. of Units	1	2	2 max.
Density (units/acre)	3.4	6.7	7 max.
Meets 75% min?	No	Yes	---
Bedrooms/Unit	4	Lot A: 4 Lot B: 4	---
No. of Buildings On-Site	2 (home and detached garage)	Lot A: 2 Lot B: 1 <i>Total: 3</i>	---
Building Height (ft.)	16'	Lot A: 16' Lot B: 29'-6"	30' max.
No. of Stories	1	Lot A: 1 Lot B: 2	2 max.
Setbacks (First/Second Facing Property)			
Front	91'	Lot A: 0 Lot B: 20'/25'	20'/25' min.
Right Side	5'	Lot A: 5' Lot B: 5'/7'	5'/7' min.



	EXISTING	PROPOSED	REQUIRED/ PERMITTED
Left Side	7'	Lot A: 7' Lot B: 20'/20'	7'/11' min.
Rear	6' (22.8%) ³	Lot A: 6' (22.8%) ³ Lot B: 17'-2" (6%) /17'-2"	10' (25%)/20' min.
Landscaping (sq. ft.)			
Total Landscaping	Unknown	6,220	---
Landscaping/Unit	Unknown	Lot A: 2,066 Lot B: 2,289	---
Usable Open Space/Unit	Unknown	Lot A: 912 Lot B: 504	---
Parking			
Total Spaces	4	8	8 min.
Covered Spaces	2	4	4 min.
Stormwater			
Impervious Surface Area (s.f.)	4,924	6,829	---
Impervious Surface (%)	38%	52.8%	---



Starred items indicate deviations from Sunnyvale Municipal Code requirements.

- ¹ The site plan refers to Lot A as the proposed lot located towards the rear and Lot B as the lot located directly in front with the new home on it.
- ² Sunnyvale Municipal Code (SMC) section 19.30.020 allows the consideration of reduced lot sizes and lot widths through a Use Permit or Special Development Permit, so long as the overall density is consistent with the Zoning District. The proposed density is consistent with the R-0 Zoning District; therefore, the reduced lot sizes and lot widths are not considered deviations.
- ³ The existing detached garage was permitted and built with a substandard rear yard setback. Therefore, the rear yard setback is legal nonconforming and is not a deviation.

ANALYSIS

Description of Proposed Project

The project site consists of one parcel, which is currently developed with a one-story single-family home and detached two-car garage that is sited towards the back of the lot. The applicant proposes to retain the existing home and build an

additional two-story single-family home towards the front of the lot. Each home will consist of four bedrooms, and each lot will include individual two-car garages and private yards. Access to both homes will be provided by a common driveway facing Dunholme Way through a shared easement.

The applicant proposes to Rezone the site from R-0 (Low Density Residential) to R-0/PD (Low Density Residential/Planned Development), which does not change the existing permitted maximum density of the site but allows the application to seek relief from specified Zoning standards. The proposed project has been designed to meet most of the development standards for the R-0 Zoning District, such as parking, height, lot coverage and floor area ratio (FAR). However, the applicant proposes the following deviations from the R-0 Zoning standards:

- Front yard setback for Lot A, and
- Second-floor rear yard setback for Lot B

In addition, the applicant proposes a reduced lot area for Lot B, and reduced lot width for Lot A. Reduced lot sizes are not considered deviations, as the Zoning Code has provisions to allow reduced lot areas and lot widths when overall density is met, subject to review of a Use Permit or Special Development Permit. The proposed Parcel Map is required to subdivide the existing lot into two individual lots.

Background

Previous Actions on the Site: The existing home was built in 1948 and the detached two-car garage was subsequently built in 1966. The site is not considered to be a heritage resource. There are no other Planning applications on record for the property.

Environmental Review

A Class 32 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines. Class 32 Categorical Exemptions include urban infill sites that do not exceed the overall density allowed by the General Plan.

Rezoning

Change Under Consideration: The subject property is located within the R-0 (Low Density Residential) Zoning District. The applicant is requesting the addition of a PD (Planned Development) Combining District requiring a Rezone to R-0/PD (Low Density Residential/Planned Development).

Objective: The applicant is requesting a Planned Development Combining District (PD) in conjunction with the existing R-0 zoning for the site. The request does not change the permitted density of the site but instead is a common tool utilized throughout Sunnyvale for the development of infill and small lot development projects. PD is intended to allow for flexibility in meeting the City's development standards and in some instances to place stricter controls on new development. Below are the City Council Policy Guidelines 1.1.11 for approving a PD zoning request that are applicable to this project:

- *To allow for a proposed use that is compatible with the neighborhood but requires deviations from development standards for a successful project.*
- *To allow for the development and creation of lots that are less than the minimum size required in the base zoning district.*

In order to create an additional ownership lot, the proposed project includes setback deficiencies, which would otherwise be considered through a Variance. However, the proposed density is consistent with the overall density allowed by the General Plan, and is compatible with the densities found within the neighborhood. Additionally, the project exceeds other development standards, such as total landscaping and usable open space and includes reduced lot coverage for both lots.

Special Development Permit

Detailed Description of Use: The proposed project will create two individual ownership lots (net gain of one) at a density of 6.7 units per acre. The maximum allowed density under the R-0 Zoning designation is 7 units per acre. The proposed project satisfies the housing goal of achieving at least 75 percent of the maximum allowable density.

Site Layout: The existing lot is developed with a one-story single-family home and detached two-car garage that is sited towards the back of the property. The front portion of the property is vacant, and includes driveway surface and landscaping. The existing home consists of four bedrooms, an office and two bathrooms. While the existing home meets the development standards for the R-0 Zoning District, the detached garage was constructed in 1966 with a substandard rear yard setback of 6 feet, where 10 feet minimum is currently required. No modifications are proposed to the existing home and detached garage.

In staff's review of the permit history for this site, an existing 384 square foot patio cover was found to be constructed without permits towards the back of the home. The patio cover currently meets all setback requirements and provides for covered recreational area for the residents. In addition, a 12-foot tall wooden pergola was constructed over the driveway without permits. The

applicant proposes to remove the pergola structure as part of this project, as the pergola does not meet the side yard setback requirement along the left side (Attachment B, Recommended Conditions of Approval).

The applicant proposes to retain the existing home and garage, legalize the unpermitted patio cover and construct a new two-story single-family home towards the front of the lot. The new home will include four bedrooms, three bathrooms and a two-car garage. Street access will be provided by a shared driveway along Dunholme Way.

Lot Area and Lot Width: Sunnyvale Municipal Code (SMC) section 19.30.020 allows the consideration of reduced lot areas and lot widths through a Special Development Permit. The reduced standards are not considered deviations, so long as the overall density is consistent with the Zoning District. The standard R-0 Zoning District requires a minimum lot area of 6,000 square feet for newly created lots. Additionally, the required minimum lot width is 57 feet.

The applicant proposes the following reduced standards through the proposed Special Development Permit:

- Lot area of 5,660 square feet for Lot B, and
- Lot width of 44 feet for Lot A.

Staff finds that the reduced lot standards are reasonable, as the project is consistent with the allowed density for the R-0 Zoning District. Additionally, staff finds that the average lot size of 6,470 square feet is greater than the minimum 6,000 square feet required.

Lot Coverage and FAR: The maximum lot coverage for the R-0 Zoning District is 40%, where the overall lot coverage for the entire lot is proposed as 36.2%. Individually, the lot coverage requirements differ between a one-story and two-story home. Lot A is proposed with 44.6% lot coverage where 45% is the maximum allowed for one-story homes. Lot B is proposed with 36.2% lot coverage where 40% is the maximum allowed for two-story homes. Therefore, the overall and individual lot coverages meet the requirements for the R-0 Zoning District.

With regards to FARs, the maximum FAR permitted in the R-0 Zoning District is 45% without Planning Commission review. The applicant proposes an overall FAR of 44.8%, with individual FARs that range from 44.6% to 45%. Staff also finds that the proposed FARs are appropriate for the site and neighborhood.

Individual Setbacks and On-Site Relationship: Setback requirements are assessed for each single-family lot. The two lots have been configured to resemble a “flag lot”, with one lot tucked behind the other. Therefore, the front yard of Lot A abuts the rear yard for Lot B and the distance between the two

homes is 27 feet 2 inches. Due to the unique lot configuration and the applicant's attempt to provide adequate landscaping and parking for Lot B, options to meet all setback requirements are limited. Therefore, the applicant proposes the following deviations from the R-0 Zoning standards:

- Front yard setback for Lot A – 10 feet where 20 feet minimum is required,
- Second-floor rear yard setback for Lot B – 17 feet 2 inches where 20 feet minimum is required.

As reduced setbacks are proposed between the two homes, consideration must be taken regarding their on-site relationship and potential privacy impacts. The second floor of the new home on Lot B will face a bedroom and the living room of the one-story home on Lot A. Although the windows along the second floor elevation facing the one-story home are required to be full-sized to meet egress, staff finds that the privacy impacts to the existing one-story home on Lot A can be reduced if the balcony feature is removed from the new home (Attachment B, Recommended Conditions of Approval).

Therefore, staff finds that the proposed setback deviations are justified, as the proposed yard areas provide adequate separation between the two homes and the privacy impacts are minimized with staff's recommended condition to remove the balcony feature. In addition, the reduced setbacks will not negatively impact the streetscape, as the deviations are internal to the site.

Relationship to Adjacent Neighbors: The new two-story home on Lot B will have the most impact to the neighbor along the left side, which abuts the rear yard of an existing two-story home. In an attempt to reduce the privacy impacts on the private rear yard of the adjacent neighbor, the applicant designed the new home to exceed the minimum setback requirements along the left side, by providing a second-story setback of 20 feet. Additionally, there is an existing 4-foot wide landscaping strip along the left property line that contains mature Italian Cypress trees that will help to provide additional privacy for the adjacent neighbor. The City's Fire Department requires 1 to 2 feet of the landscaping strip to be modified into turf block in order to allow fire access to the rear home. As conditioned, staff will work with the applicant to retain as many of the existing Italian Cypress trees along the left property line as possible, while providing sufficient fire access. Staff further recommends that all second floor windows along the left side not needed for egress shall be high sill (Attachment B, Recommended Conditions of Approval).

The new two-story home on Lot B is adjacent to the front yard and carport of a one-story home along the right property line. While minimum second-story setbacks for the new home are proposed along the right side, the siting of the new home on the lot will not adversely impact the privacy of the adjacent home because the applicant has also designed the second floor windows along the right side to be high sill windows. Therefore, staff finds that the privacy

impacts to the adjacent neighbors are minimized with adequate setbacks and design considerations.

Stormwater Management: This project has less than 10,000 square feet of impervious surface; therefore, it is not subject to Stormwater Management Best Management Practices (BMP) requirements for either Group I or Group II projects. A recommended condition of approval directs that roof drains be directed to landscape areas rather than directly to the storm drain and include BMP to the extent possible for other impervious surfaces on site.

Easements and Undergrounding: Per SMC 19.38.090, service drops shall be placed underground (Attachment B, Recommended Conditions of Approval).

Architecture: The neighborhood is a mix of traditional and contemporary architectural styles, with one and two-story homes. The existing home on Lot A can be considered contemporary with stucco siding and barrel-style roofing material, and the doors and windows are accented with trim. The new home on Lot B will utilize similar materials and will be painted to complement the colors of the existing home. Visual interest includes stone veneer, window trim and sills, and wall trim that will wrap around the whole home.

The street elevation will be most influenced by the new two-story home and the existing one-story home located towards the back of the property will be minimally visible. The front entry of the new home will face Dunholme Way and a secondary entrance will face the interior driveway. The new home will meet all setback requirements and will be compatible with the existing streetscape pattern. Therefore, staff finds that the proposed architectural design is in keeping with the existing neighborhood and contributes positively to the street frontage.

In order to reduce the amount of impervious surface area, staff recommends that all driveway areas, back-up areas and pedestrian pathways along the front yards of both lots be made of pervious pavers or concrete. The design and materials shall be subject to review and approval by the Director of Community Development (Attachment B, Recommended Conditions of Approval).

Solar Access: The applicant has submitted a solar access and shadow analysis. Due to solar orientation, the proposed two-story home will not shade any portions of the adjacent one-story home.

The following Guidelines were considered in the analysis of the project architecture.

Single Family Home Design Techniques (Architecture)	Comments
<i>2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns</i>	The new home on Lot B, which will be visible from the street frontage, will have a front entry that is oriented towards the front. Therefore, the new home is in keeping with the orientation of the other homes found in the neighborhood.
<i>2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood</i>	The neighborhood is a mix of one and two-story homes, with traditional and contemporary architectural styles. The proposed project is consistent with the scale and bulk of the other homes, and is in keeping with the architectural styles found in the neighborhood.
<i>2.2.3 Design homes to respect their immediate neighbors</i>	The proposed project has been designed to minimize the privacy impacts of the adjacent neighbors as much as possible. A majority of the windows facing adjacent properties are high sill, and the new two-story home will not shade the roof of the adjacent one-story home.
<i>2.2.6 Use high quality materials and craftsmanship</i>	The primary exterior materials include stucco wall siding and barrel-style roofing, with varied architectural elements that utilize high quality materials.
<i>3.6 A. New homes and additions to existing structures should be located to minimize blockage of sun access to living spaces and actively used outdoor areas on adjacent homes.</i>	The applicant has submitted a solar access and shadow analysis which demonstrates that the new two-story home will not shade any portions of the adjacent one-story home.

Landscaping: The site currently has seven protected trees, which include a mix of Cypress and Emerald Green species along the side property lines and a Mexican Palm tree located towards the front of the lot. Protected trees are those that measure 38 inches or greater in circumference when measured at four and a half feet from the ground. The applicant proposes to remove one protected Emerald Green tree located on Lot B, in order to accommodate the new home.

Two additional healthy Cypress trees along the left property line and the right side of the driveway may need to be removed in order to allow for sufficient fire access to the rear unit. As conditioned, the applicant will work with staff to retain as many existing trees on-site as possible. An arborist report, completed by Arborist Online on November 20, 2008, was submitted by the applicant and recommended protective fencing be installed during construction (Attachment B, Recommended Conditions of Approval).

A conceptual landscaping plan has been submitted by the applicant, which shows additional ground cover and new trees to be planted on-site. The preliminary landscaping plan appears to be sufficient. The final landscaping plan will be reviewed by the City's Arborist to determine the appropriate tree species and ensure that the all vision triangles are maintained. As a standard City condition, each protected tree that will be removed shall be replaced with a specimen tree of at least 36-inch box size (Attachment B, Recommended Conditions of Approval).

Usable Open Space: Although there are no usable open space requirements for properties located within an R-0 Zoning District, each lot has at least 504 square feet of enclosed usable open space located in the rear yards. This is consistent with Council Policy 1.1.12, which recommends that small lot subdivisions provide at least 500 square feet of usable open space. Therefore, staff finds that the usable open space provided for each lot is sufficient.

Parking/Circulation: The proposed project meets the minimum parking requirements for single-family homes. Each lot provides two covered garage spaces and two uncovered spaces.

As previously noted, street access will be provided by a one-way shared driveway along Dunholme Way. Two-way driveways are uncommon on single-family residential lots and are more common in multi-family developments, which would include more vehicles utilizing the driveway. Although the home on Lot A will have to back out a long distance, the applicant has provided an additional back-up area on Lot A for vehicles to do a three-point turn and exit onto Dunholme Way nose-first. The plans were reviewed by the Traffic Division, who deemed that all parking spaces and back-up areas are adequate to ensure access and sufficient room for vehicles to maneuver. Additionally, the Traffic Division did not find that the project warrants a two-way driveway.

Compliance with Development Standards/Guidelines: The proposed project meets most of the development standards required for the R-0 Zoning District, with the exception of the following deficiencies:

- Front yard setback for Lot A, and
- Second-floor rear yard setback for Lot B

Staff finds that the proposed deviations are consistent with the Council Policy 1.1.11 to allow approval of a Planned Development Combining District, as the project meets the overall density requirement and is compatible with the existing density and pattern in the neighborhood. Additionally, the project meets the design guidelines established by the Single Family Home Design Techniques and has been designed with minimal impacts to the existing residents.

Expected Impact on the Surroundings: Staff believes that the project is in keeping with the character of the existing neighborhood and contributes positively to the overall streetscape. The most impacted by this development are the adjacent neighbors along the right and left side. Staff finds that the applicant attempted to reduce the visual and privacy impacts to these neighbors as much as possible, in the overall site design and building elevations.

Parcel Map

Description of Parcel Map: The project includes the subdivision of one parcel into two. There is no common lot as a part of the project, but there is a driveway easement to allow for the residents of Lot A to cross the property of Lot B for ingress and egress onto Dunholme Way. Maintenance agreements will be required to ensure its maintenance by all parties in the development (Attachment B, Recommended Conditions of Approval).

Fiscal Impact

No fiscal impacts other than normal fees and taxes are expected. A traffic impact fee is assessed for the net gain of one unit, resulting in an estimated fee of \$2,049.18, which is assessed at the time of payment. The park dedication in-lieu fees are also required for the net gain of one unit, resulting in an approximate fee of \$14,374.80. Park dedication fees must be paid prior to approval of the final parcel map.

Public Contact

Planning Commission Study Session – November 10, 2008: On November 10, 2008, the Planning Commission reviewed the project at a Study Session. The plans for the new two-story home at that time included substandard front yard setbacks, and the home was approximately 100 square feet larger than presently proposed. The applicants were present for the meeting. The general comments at the study sessions included:

- Modify home to meet all setback requirements.

- The size of the new two-story home may overpower the existing one-story (consider reducing the size).
- Explore pervious pavers for driveways/walkways.
- Circulation of the one-way driveway appears to be too tight and would require the residents of Lot A to back-out a long distance (consider a two-way driveway).

The applicant attempted to address these concerns as much as possible by re-designing the home on Lot B to meet all perimeter setback requirements and reducing the size of the home by almost 100 square feet. Additionally, a back-up area was added to Lot A to allow for vehicles to exit onto Dunholme Way nose-first. As conditioned by staff, all driveway and walkways will utilize pervious pavers.

The distance proposed between the two homes is 27 feet, where 20 feet minimum would be required if the homes were on the same lot. Therefore, staff finds that there is adequate distance between the two homes.

Neighborhood Meeting – December 14, 2008: The applicant conducted a neighborhood meeting at the project site on Sunday, December 14, 2008, which was attended by Planning staff and approximately 10 residents. The applicant shared the plans with the neighbors, including streetscape drawings, and collected comments from the neighbors. The following is a summary of the comments received at the neighborhood meeting:

- Reduce privacy impacts to the adjacent neighbor along the left property line by retaining as many existing Cypress trees on-site and designing second-floor windows to be high sill.
- Adequate parking should be provided on-site.
- Traffic impacts on Dunholme Way should be minimal, as there is an existing elementary school across the street.
- Minimize dirt/dust and noise during construction.

Staff finds that the addition of one single-family home to the site will not result in significant traffic impacts, and does not warrant a traffic study by the City's Traffic Division. With regards to on-site parking, the project meets the minimum number of on-site parking spaces. The long driveway can further accommodate additional vehicles on-site. Additionally, standard construction guidelines address the concerns regarding impacts to neighbors.

Letters from Neighbor: At the time of the staff report, staff received two letters of opposition from neighbors. One letter was received on November 17, 2008, from a neighbor living about a block away on Condor Way, which states concerns regarding the compatibility of the new two-story home within the neighborhood. Staff found several two-story homes within this neighborhood,

with the adjacent home to the left and across the street on Condor Way having two-stories.

A second letter was received by staff on December 3, 2008 from a neighbor to the north on Dove Lane, stating concerns regarding traffic and density. These issues have been addressed in the staff report. (Attachment G, Letters from Neighbor).

Notice of Negative Declaration and Public Hearing	Staff Report	Agenda
<ul style="list-style-type: none"> • Published in the <i>Sun</i> newspaper • Posted on the site • 62 notices mailed to the property owners and residents within 300 ft. of the project site 	<ul style="list-style-type: none"> • Posted on the City of Sunnyvale's Website • Provided at the Reference Section of the City of Sunnyvale's Public Library 	<ul style="list-style-type: none"> • Posted on the City's official notice bulletin board • City of Sunnyvale's Website

Conclusion

Findings and General Plan Goals: Staff was able to make the required Findings based on the justifications for the Rezoning, Special Development Permit and Parcel Map. Findings and General Plan Goals are located in Attachment A.

Conditions of Approval: Conditions of Approval are located in Attachment B.

Alternatives

Recommended to City Council:

1. Introduce an Ordinance to Rezone 615 Dunholme Way from R-0 to R-0/PD, and approve the Special Development Permit and Parcel Map with attached conditions.
2. Introduce an Ordinance to Rezone 615 Dunholme Way from R-0 to R-0/PD and approve the Special Development Permit and Parcel Map with modified conditions.
3. Deny the Rezone, Special Development Permit and Parcel Map.

Recommendation

Recommend Alternative 1 to the City Council.

Reviewed by:



Trudi Ryan, Planning Officer

Prepared by: Noren Caliva, Project Planner

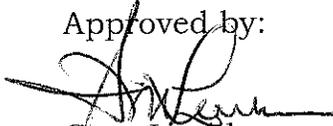
Reviewed by:



Hanson Hom

Planning Officer

Approved by:



Gary Luebbers

City Manager

Attachments:

- A. Recommended Findings
- B. Recommended Conditions of Approval
- C. Site and Architectural Plans
- D. Tentative Map
- E. Draft Rezoning Ordinance
- F. Letter from Applicant
- G. Letters from Neighboring Residents

Recommended Findings - Rezone

In order to approve a Rezoning request the City Council is required by Zoning Code Section 19.92.050 to make a finding that "the amendment, as proposed, changed, or modified, is deemed to be in the public interest." The proposed Rezoning is consistent with this finding because it is consistent with the proposed General Plan land use designation and density, while also assisting the City in meeting its housing goals by providing one additional ownership unit (two units total).

Recommended Findings – Special Development Permit

Goals and Policies that relate to this project are:

Land Use and Transportation Element

Policy C2.2 *Encourage the development of ownership housing to maintain a majority of housing in the City for ownership choice.*

Policy N1.2 *Require new development to be compatible with the neighborhood adjacent land uses and the transportation system.*

Housing and Community Revitalization Sub-Element

Policy C.1 *Continue efforts to balance the need for additional housing with other community values, such as preserving the character of established neighborhoods, high quality design, and promoting a sense of identity in each neighborhood.*

Goal D *Maintain diversity in tenure, type, size and location of housing to permit a range of individual choices for all current residents and those expected to become city residents.*

1. The proposed use attains the objectives and purposes of the General Plan of the City of Sunnyvale as the project provides for compatible infill development while attaining the zoning standards and guidelines designed to meet community standards for livability, character and quality. The project is also consistent with the permitted density.
2. The proposed use ensures that the general appearance of proposed structures, or the uses to be made of the property to which the application refers, will not impair either the orderly development of, or the existing uses being made of, adjacent properties as proposed use is desirable, and will not be materially detrimental to the public welfare or injurious to the property, improvements or uses within the immediate vicinity and within the Zoning District because the proposed project meets the character of the neighborhood by providing density consistent with the other R-0 zoned properties adjacent to the site.

Recommended Findings - Tentative Map

In order to approve the Tentative Map, the proposed subdivision must be consistent with the general plan. Staff finds that the Tentative Map is in conformance with the General Plan. However, if any of the following findings can be made, the Tentative Map shall be denied. Staff was not able to make any of the following findings and recommends approval of the Tentative Map.

1. That the subdivision is not consistent with the General Plan.
2. That the design or improvement of the proposed subdivision is not consistent with the General Plan.
3. That the site is not physically suitable for the proposed type of development.
4. That the site is not physically suitable for the proposed density of development.
5. That the design of the subdivision or proposed improvements is likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
6. That the design of the subdivision or type of improvements is likely to cause serious public health problems.
7. That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.
8. That the map fails to meet or perform one or more requirements or conditions imposed by the "Subdivision Map Act" or by the Municipal Code

Staff was not able to make any of the findings (B.1-8), and recommends approval of the Parcel Map.

Recommended Conditions of Approval – Rezone, Special Development Permit and Parcel Map

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following conditions of approval of this Permit:

Unless otherwise noted, all conditions shall be subject to the review of approval of the Director of Community Development.

1. GENERAL CONDITIONS

- A. Project shall be in conformance with the plans approved at the public hearing(s). Minor changes may be approved by the Director of Community Development, major changes may be approved at a public hearing.
- B. The Conditions of Approval shall be reproduced on a page of the plans submitted for a Building permit for this project.
- C. The Special Development Permit for the use shall expire if the use is discontinued for a period of one year or more.
- D. The Special Development Permit shall be null and void two years from the date of approval by the final review authority at a public hearing if the approval is not exercised, unless a written request for an extension is received and approved prior to expiration date.
- E. Only fences, hedges and shrubs or other natural objects 3 feet or less in height may be located within a “vision triangle”.

2. COMPLY WITH OR OBTAIN OTHER PERMITS

- A. Obtain necessary permits including a Development Permit from the Department of Public Works for all proposed off-site improvements.
- B. Obtain a Building permit.

3. DESIGN/EXTERIOR COLORS AND MATERIALS

- A. Final exterior building materials and color scheme are subject to review and approval of the Planning Commission/Director of Community Development prior to issuance of a building permit.
- B. The existing 4-foot landscaping strip along the left side property line shall be modified to include 1 to 2 feet of turf block in sections to allow for adequate fire access and while also retaining some of the trees, as deemed appropriate by the Department of Public Safety.
- C. Lot A shall be modified with the following:

1. The existing pergola structure on Lot A shall be removed, or modified to meet all development standards.
- D. Lot B shall be modified with the following:
1. All second floor windows not needed for egress shall be high sill.
 2. The second floor balcony shall be removed and replaced with siding to match the remaining home.

4. EASEMENTS AND DEDICATIONS

- A. Maintenance agreements shall be required to ensure the maintenance of the driveway and back-up areas by all parties in the development agreement. The Agreement is subject to review and approval by the Director of Community Development and Director of Public Works.

5. FEES

- A. Pay Traffic Impact fee estimated at \$2,049.18, prior to issuance of a Building Permit (SMC 3.50).
- B. Pay Park Dedication in-lieu fee estimated at \$14,374.80, prior to the approval of the final map.

6. LANDSCAPING

- A. The applicant shall work with City staff to retain as many of the existing trees along the left property line as possible, while allowing for adequate fire access.
- B. Any “protected trees”, (as defined in SMC 19.94) approved for removal, shall be replaced with a specimen tree of at least 36-inch box size.
- C. A tree protection plan shall be submitted for all “protected” trees that will remain on-site, showing protective fencing as recommended by the arborist report prepared by Arborist Online, dated November 20, 2008.
- D. All driveway areas, back-up areas and pedestrian pathways along the front yards shall be made of pervious pavers or concrete. The design and materials shall be subject to review and approval by the Director of Community Development.
- E. All roof drains shall be directed to landscape areas rather than directly to storm drain and include Best Management Practices to the extent possible for other impervious surfaces on site.

7. PARKING

- A. Each unit shall have two covered and two uncovered parking spaces.
- B. Garage spaces shall be maintained at all times so as to allow parking of two automobiles.

8. UNDERGROUND UTILITIES

- A. Service drops shall be placed underground.

9. PARCEL MAP CONDITIONS

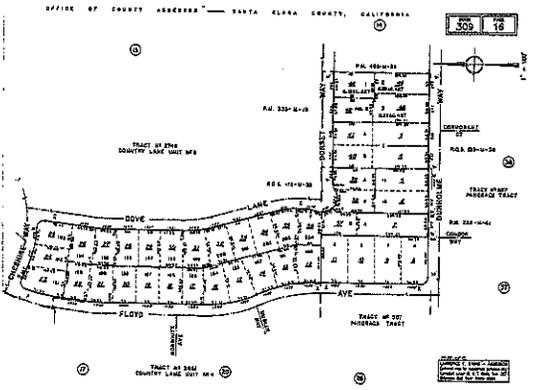
- A. Full development fees shall be paid for each project parcel or lot shown on the Parcel Map and the fees shall be calculated in accordance with City Resolutions current at the time of payment.
- B. Comply with all applicable code requirements as noted in the Standard Development Requirements.
- C. Any existing deficient public improvements shall be upgraded to current City standards, as required by the Director of Public Works. Submit a preliminary utility and drainage plan. The plan should show existing and proposed sewer, storm drain and water mains and laterals that serve or will serve the new development. The plans should also show existing and proposed demolition and construction of public improvements (water meters for domestic and irrigation with backflow device, overhead utilities, etc.). Any existing deficient public improvement shall be upgraded to current City standards.
- D. Provide individual water meters for each home.
- E. Post bonds and execute a subdivision agreement prior to map recordation.



OWNER:
MRS. TINA THOA T. TRAN
615 DUNHOLME WAY
SUNNYVALE, CA. 94087
PHONE: (408) 499-4904

PROPOSED SITE PLAN

DATE: 10/21/08
SCALE:
DRAWN: Gam
JOB:
1
OF SHEETS



PROJECT INFORMATION

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES:

A) CBC CALIFORNIA BUILDING CODE 2007 E) UMC UNIFORM MECH. CODE 2007
 B) CBC CALIFORNIA ELECTR. CODE 2007 F) UPC UNIFORM PLUMB. CODE 2007
 C) CBC CALIFORNIA MECH. CODE 2007 H) NBC NATIONAL BLECT. CODE 2007
 (AS AMENDED BY STATE OF CA.)
 (AND ALL STATE OF CALIFORNIA CITY COUNTY & MUNICIPAL CODES)

H) ICC INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
 I) STATE OF CALIFORNIA 2006 ENERGY EFFICIENCY STANDARDS

PROJECT PROPOSAL FOR LOT A

1. EXISTING RESIDENCE 2. SUB DIVISION OF EXISTING LOT

PROJ. LOC./OWNER
 MR. TINA THOA T. TRAN
 615 DUNHOLME WAY
 SUNNYVALE, CA 94088
 PH: (408) 499-4904

PROPERTY INFORMATION
 A) PARCEL NUMBER 308-18-207
 B) ZONING DISTRICT R-O/PD
 C) NEW LOT SIZE LOT 2
 7281 S.F.
 D) GENERAL PLAN LOW DENSITY
 RESIDENTIAL

PARKING REQ'D
 2 MINIMUM

CBC 2007/CONSTRUCTION INFORMATION
 A) CONSTRUCTION TYPE V8 D) FIRE SPRINKLERS: NONE
 B) NUMBER OF STORIES 1 F) STYLE SPR
 C) OCCUPANCY GROUP R2U3

BUILDING SQ. FTG./LOT COVERAGE/FLOOR AREA RATIO (FAR)
 1) (E) RESIDENCE 2,248 SQUARE FT.
 2) (E) GARAGE 616 SQUARE FT.
 3) LOT SQUARE FOOTAGE 7281 SQUARE FT.

A) MAX. LOT COVERAGE 45% OR 3278 S.F.
 B) ACTUAL LOT COVERAGE 44.6% OR 3247 S.F.
 (GARAGE INCLUDED)
 A) MAX. FAR 45% OR 3278 S.F.
 B) ACTUAL FAR 44.6% OR 3247 S.F.

PROJECT INFORMATION

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES:

A) CBC CALIFORNIA BUILDING CODE 2007 E) UMC UNIFORM MECH. CODE 2007
 B) CBC CALIFORNIA ELECTR. CODE 2007 F) UPC UNIFORM PLUMB. CODE 2007
 C) CBC CALIFORNIA MECH. CODE 2007 H) NBC NATIONAL BLECT. CODE 2007
 (AS AMENDED BY STATE OF CA.)
 (AND ALL STATE OF CALIFORNIA CITY COUNTY & MUNICIPAL CODES)

H) ICC INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
 I) STATE OF CALIFORNIA 2006 ENERGY EFFICIENCY STANDARDS

PROJECT PROPOSAL FOR LOT A

1. NEW 2 STORY RESIDENCE ON NEW LOT AND WITH 2 CAR GARAGE

PROJ. LOC./OWNER
 MRS. TINA THOA T. TRAN
 615 DUNHOLME WAY
 SUNNYVALE, CA 94088
 PH: (408) 499-4904

PROPERTY INFORMATION
 A) PARCEL NUMBER 308-18-207
 B) ZONING DISTRICT R-O/PD
 C) NEW LOT SIZE LOT 2
 8660 S.F.
 D) GENERAL PLAN LOW DENSITY
 RESIDENTIAL

PARKING REQ'D
 2 MINIMUM

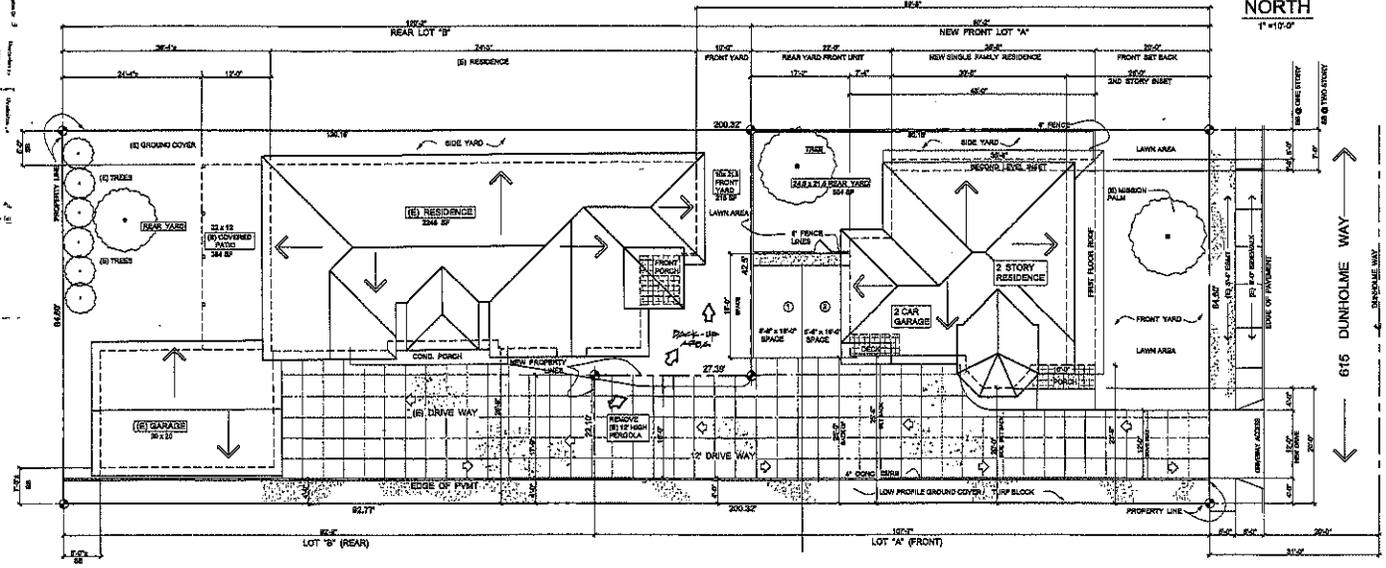
CBC 2007/CONSTRUCTION INFORMATION
 A) CONSTRUCTION TYPE V8 D) FIRE SPRINKLERS: NONE
 B) NUMBER OF STORIES 2 F) STYLE SPR
 C) OCCUPANCY GROUP R2U3

BUILDING SQ. FTG./LOT COVERAGE/FLOOR AREA RATIO (FAR)
 1) NEW 2 STORY RESIDENCE 2,122 SQUARE FT.
 1ST FLOOR 1045 S.F.
 2ND FLOOR 1077 S.F.
 2) NEW 2 CAR GARAGE 427 SQUARE FT.
 3) LOT SQUARE FOOTAGE 8660 SQUARE FT.
 4) FRONT PORCH 43 SQUARE FT.
 5) REAR YARD AREA 616 SQUARE FT.

A) MAX. LOT COVERAGE 48% OR 2647 S.F.
 B) ACTUAL LOT COVERAGE 43% OR 2647 S.F.
 A) MAX. FAR 45% OR 2647 S.F.
 B) ACTUAL FAR 45% OR 2647 S.F.

LIST OF DRAWINGS

NO.	DATE	DESCRIPTION
1	SEPTEMBER 2 2008	PROPOSED SITE PLAN
2	SEPTEMBER 2 2008	(A) SITE PLAN
3	SEPTEMBER 2 2008	LANDSCAPING PLAN
4	SEPTEMBER 2 2008	(C) RESIDENCE
5	SEPTEMBER 2 2008	ELEVATIONS
6	SEPTEMBER 2 2008	LOT FLOOR PLAN
7	SEPTEMBER 2 2008	2ND FLOOR PLAN
8	SEPTEMBER 2 2008	ROOF PLAN



PROPOSED SITE PLAN
SCALE: 1"=10'-0"

LOT A COVERAGE FRONT

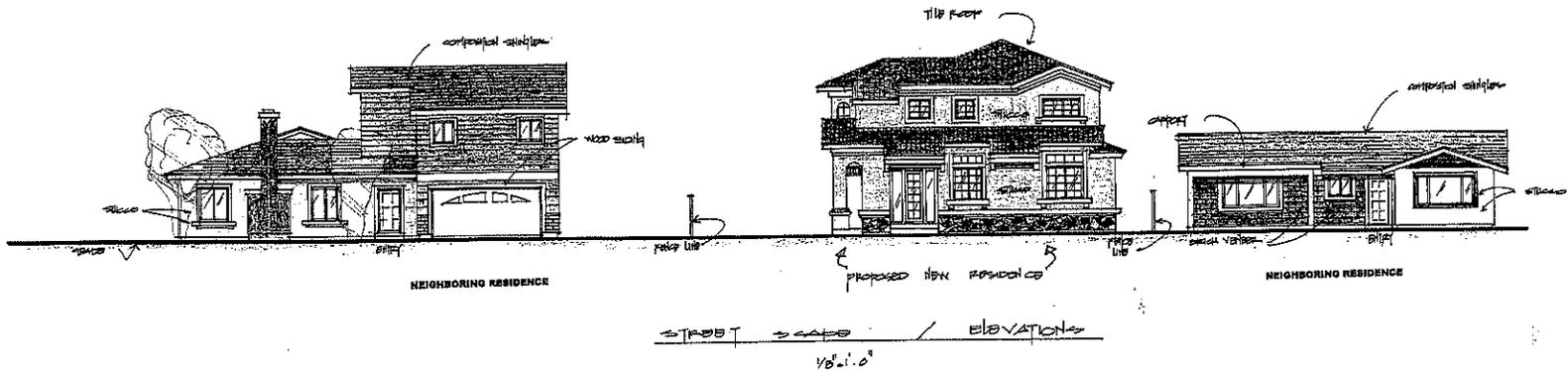
NO.	DESCRIPTION	S.F.	%
1)	Landscaping	2355	40%
2)	Building coverage	1477	25%
3)	Paving	1620	35%
TOTAL		5782	100%

LOT B COVERAGE FRONT

NO.	DESCRIPTION	S.F.	%
1)	Landscaping	2877	40%
2)	Building coverage	3269	45%
3)	Paving	1934	15%
TOTAL		7180	100%

ATTACHMENT C
Page 1 of 8

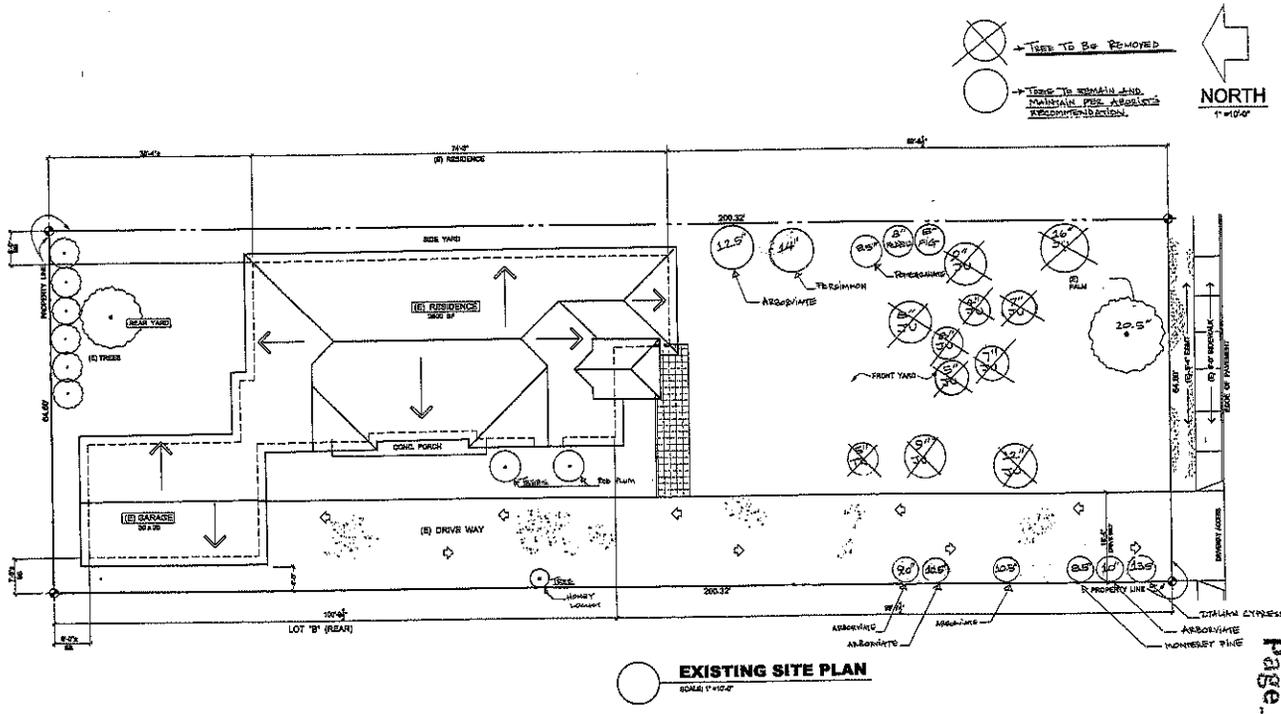
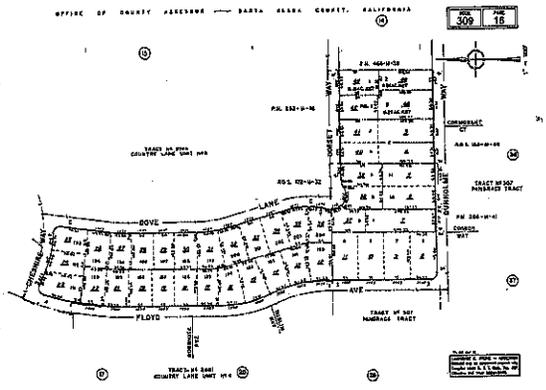
PC 1/12/09



REVISIONS
DATE

OWNER: MS. TINA THOA T. TRAN 615 DUNHOLME WAY SUNNYVALE, CA 94087 Phone: (415) 434-1204
EXISTING RESIDENCE & SUBDIVISION OF EXISTING LOT
DATE:
SCALE:
DRAWN:
JOB:
B

ATTACHMENT C
 Page 2 of 8



REVISIONS
DATE:
OWNER: MS. TINA THOA T. TRAN 615 DUNHOLME WAY SUNNYVALE, CA. 94087 PHONE: (408) 499-4994
EXISTING SITE PLAN
DATE: 08/22/08
SCALE:
DRAWN: Gem
JOB:
ATTACHMENT 8 Page 3 of 8
2 OF SHEETS

Professional Design Consultants
3033 Moorpark Ave. #200 San Jose, CA 95128
(408) 261-1400



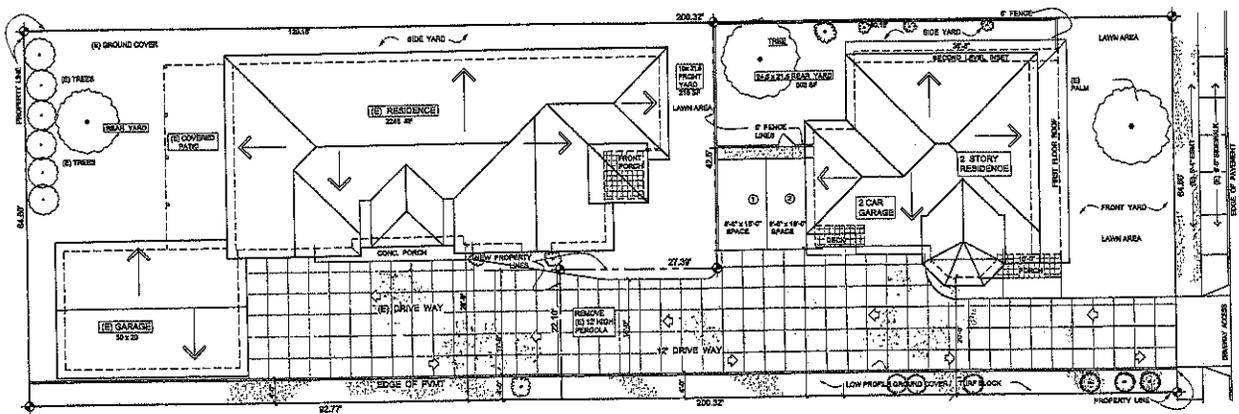
OWNER:
MS. TINA THOA T. TRAN
615 DUNHOLME WAY
SUNNYVALE, CA. 94087
PHONE: (408) 499-4904

LANDSCAPING PLAN

DATE: 10/21/08
SCALE:
DRAWN: Gm
JOB:



NOTES: 1. See SHEET #12 TO BE
REMOVED AND MAINTAINED
FOR FUTURE RECONSTRUCTION.



LANDSCAPING PLAN
SCALE: 1"=10'-0"

615 DUNHOLME WAY
DRIVEWAY

ATTACHMENT 8
Page 4 of 8



SUPPLEMENT TO TITLE 24 FOR RESIDENTIAL WORKROOMS
CONTRACTOR TO INSURE THE FOLLOWING:

1. ROOF WEATHERING WITH FLUENT BARBERS UNDERSTANDING OF WEATHERING SHALL BE PROVIDED.
2. ALL WINDOWS SHALL HAVE A MINIMUM 20% COEFFICIENT OF LIGHT TRANSMITTANCE AND DUCT TIGHTNESS.
3. ALL WEATHER TIGHTENING DETAILS SHALL BE AS SHOWN AND APPROVED.
4. THE WEATHER PRODUCTS MUST BE AN APPROVED AND HAVE A MEET OR EXCEEDS RATING.
5. WALL WEATHERING DETAILS SHALL HAVE A MINIMUM 20% COEFFICIENT OF LIGHT TRANSMITTANCE.
6. ALL WALL, CEILING AND FLOOR DETAILS SHALL BE WEATHERED.

SPECIAL BATHROOM NOTES:

- A. WATER CLOSETS SHALL BE ULTRA LOW FLOWS TYPE AND PROVIDE A MAXIMUM FLUSH VOLUME OF 1.6 GALLONS PER FLUSH, CALIFORNIA ENERGY COMMISSION.
- B. BROWN/BEIGE LAVATORY AND SINK FAUCETS SHALL HAVE MAXIMUM FLOW RATE OF 2.2 GPM CALIFORNIA ENERGY COMMISSION.
- C. BROWN/BEIGE AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR 2-STEP/2-STEP CONTROL VALVE TYPE. HANDLE POSITION FROM SHALL BE PROVIDED ON EACH VALVE AND SHALL BE ADJUSTED PER MANUFACTURERS INSTRUCTIONS TO SELECT A MINIMUM WATER SETTING OF 130 DEGREES F OR DEGREE F, SECTION.

PLUMBING NOTES:
ALL NEW ELECTRICAL WORK TO BE INSTALLED IN ACCORDANCE WITH THE CITY BUILDING DEPT. AND PLUMBING DEPT.

- A. ALL NEW WORK SHALL BE PERMITTED AND INSPECTED BY THE CITY BUILDING DEPT. AND PLUMBING DEPT.
- B. ALL PLUMBING ON ALL SINKS AND DRAIN VALVES ON ALL TOILETS SHALL HAVE A FLOW RATE COMPLIANCE WITH THE STATE OF CALIFORNIA C.E.C. CONSERVATION STANDARDS.
- C. ALL PLUMBING SHALL BE 1/2" O.D. 1/2" O.D. WALL CONSTRUCTION (UNLESS OTHERWISE NOTED).
- D. ALL NEW HOT AND COLD WATER LINES SHALL BE COPPER PIPE FOR THE TYPE OF WORK, USE APPROVED CONNECTIONS.
- E. PLUMBING SIZE REQUIRED:
 - 1) TOILETS _____ 1/2" MIN. WASTE
 - 2) SHOWERS _____ 1/2" MIN. WASTE
 - 3) SINKS _____ 1/2" MIN. WASTE
 - 4) TUBS _____ 1/2" MIN. WASTE
 - 5) HOT/COLD WATER LINES _____ 1/2" MIN. COPPER
- F. PLUMBING VENTS AND CLEARANCES:
 - 1) VENT PIPES TO BE MIN. 2" CONNECTION VENT THREE ROOF MAX.
 - 2) FOUR PORTS PER VENT.
- G. PROVIDE AT EACH ROOF VENT, A 28 GAUGE GALVANIZED STEEL FLASHING WITH 1/2" ROOF.
- H. CLEANOUTS SHALL BE INSTALLED WHERE SHOWN ON THE DRAWING OR WHERE REQUIRED BY CODE AND AT ALL BENDS, ANGLES AND LOWER TERMINALS. TOP OF COVER PLATES SHALL BE FLUSH WITH THE FINISHED FLOOR OR GRADE.
- I. ALL WALLS BEHIND SHOWERS AND TUBS TO HAVE APPROVED WATER PROOF DRESS BOARD ON WOODEN SUBFLOOR PRIOR TO INSTALLATION OF FLOORING AND FINAL LAYER OF ENAMEL, BASE PAINT OR VINYL TILE BACKING.
- J. TOILETS: PROVIDE 27" CLEAR WIDTH FOR WATER CLOSET COMPARTMENTS AND 34" MIN. CLEARANCE IN FRONT OF WATER CLOSET.
- K. WATER HEATERS SHALL BE PROVIDED WITH PRESSURE TEMPERATURE RELIEF VALVE WITH DRAIN TO OUTSIDE.
- L. ALL NEW & EXISTING WATER HEATERS TO BE SECURED STRAPPED TO WALL AT TOP AND BOTTOM WITH 3/8" GAUGE GALVANIZED METAL STRAPS PER UBC 1997.

TITLE 24 ENERGY REQUIREMENTS

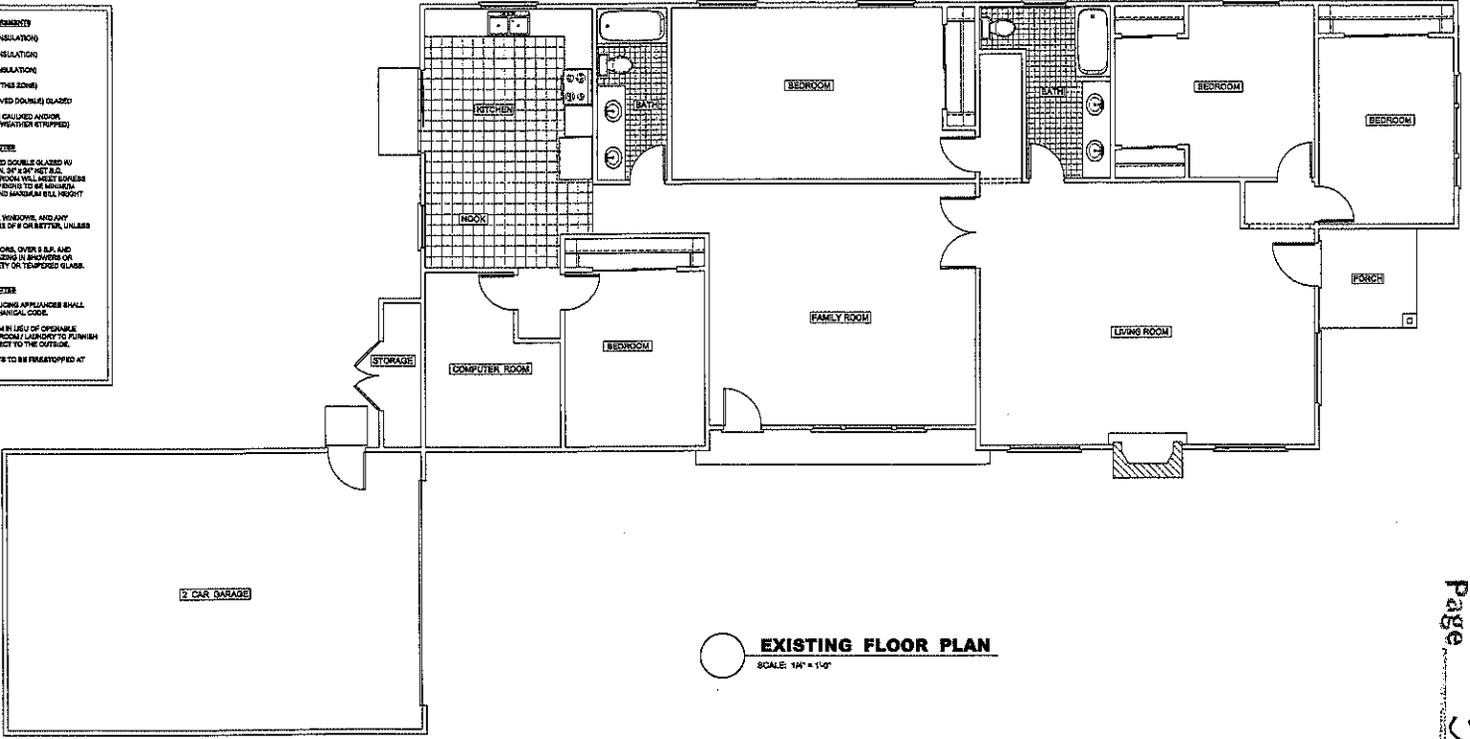
1. ALL NEW CEILING: _____ R-19 INSULATION
2. ALL NEW WALLS: _____ R-19 INSULATION
3. ALL NEW FLOORS: _____ R-19 INSULATION
4. CONG. BLK FLOORS: _____ 4" IN THICKNESS
5. NEW WINDOWS: _____ APPROVED DOUBLE GLAZED
6. OPENING AROUND: _____ TO BE CALLED AND/OR FULLY WEATHER (STRIPPED ETC).

WINDOW NOTES

1. ALL NEW WINDOWS TO BE APPROVED DOUBLE GLAZED W/ BEDROOM WINDOWS HAVING A MIN. 20% COEFFICIENT OF LIGHT TRANSMITTANCE. OPENING WINDOWS IN BEDROOMS SHALL MEET ENERGY REQUIREMENTS WITH UPBENS TO 60 MINUTE 57 SQ. FT. MINIMUM HEIGHT OF 48" AND HANGERS SHALL BE 48" ABOVE FINISHED FLOOR.
2. ALL HEADERS USED OVER DOORS, WINDOWS, AND ANY NECESSARY OPENINGS TO BE 4 X 12 OR 6 X 8 MINIMUM, UNLESS OTHERWISE SPECIFIED.
3. ALL GLAZING OR WITHIN 24" OF DOORS, WINDOWS, OVER 3' H.P. AND WITHIN 18" OF FLOOR AND ALL GLAZING IN SHOWERS OR BATHUBS TO BE APPROVED SAFETY OR TEMPORED GLASS.

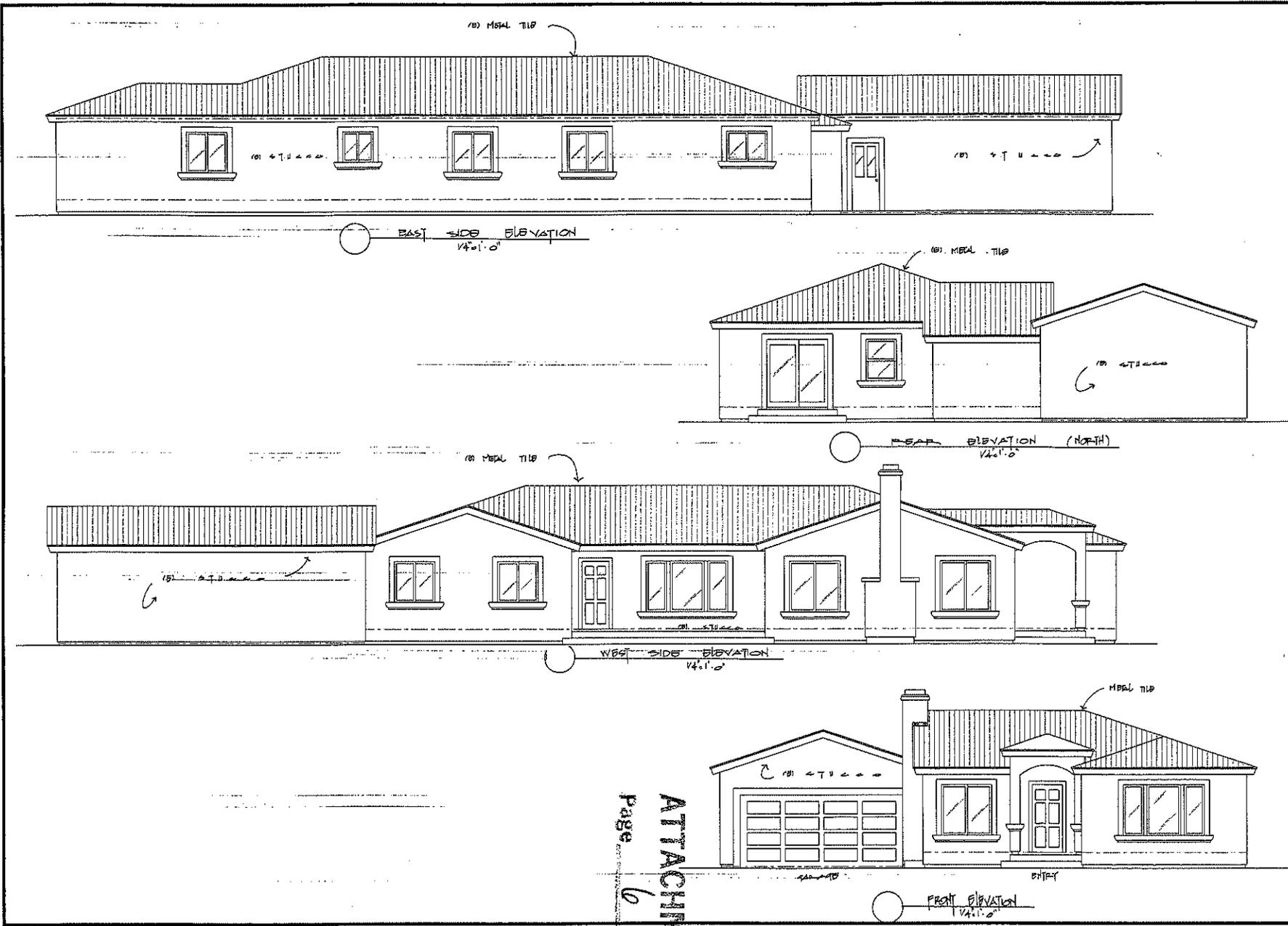
Mechanical Notes

1. INSTALLATION OF ALL HEAT PRODUCING APPLIANCES SHALL COMPLY WITH THE UNIFORM MECHANICAL CODE.
2. MECHANICAL VENTILATION SYSTEM IN USE OF OPERABLE WINDOWS IN BATHROOM TOILET ROOM LAUNDRY TO FURNISH FIVE AIR CHANGES PER HOUR DIRECT TO THE OUTSIDE.
3. ALL COMBUSTION AIR DUCT SYSTEMS TO BE FLEETPROOF AT CEILING AND FLOORING.



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

ATTACHMENT 8
 Page 5 of 8



REVISIONS

DATE:

Professional Design Consultants
 2023 Mountain View, CA 94038
 (415) 254-7000

CHRISTOPHER BISHNIS

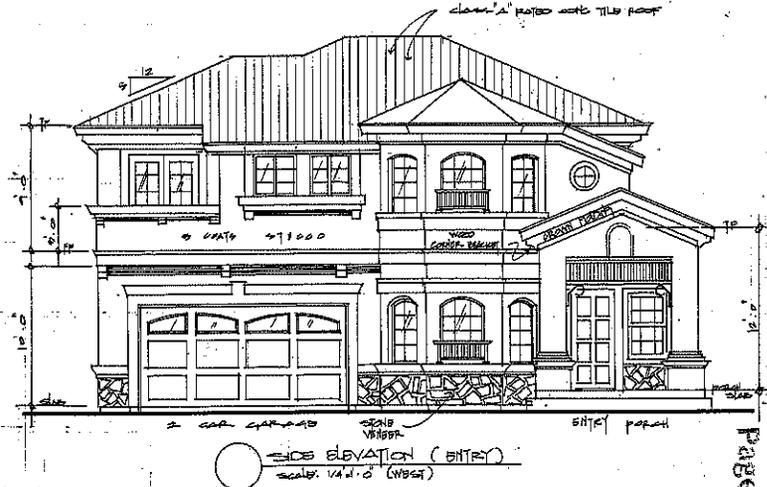
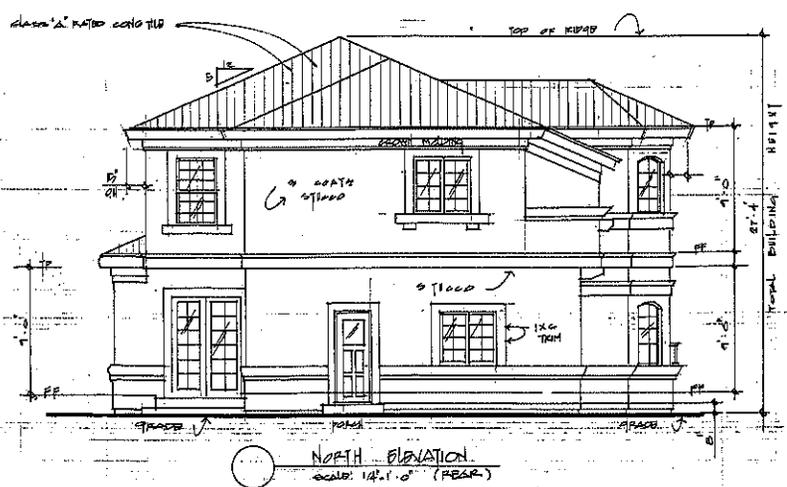
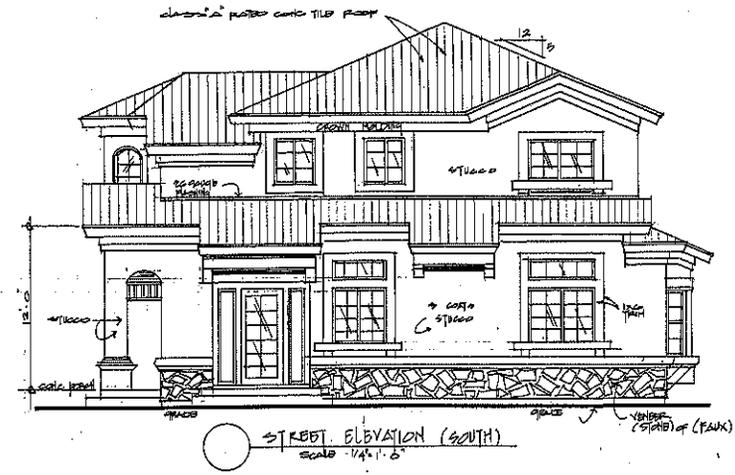
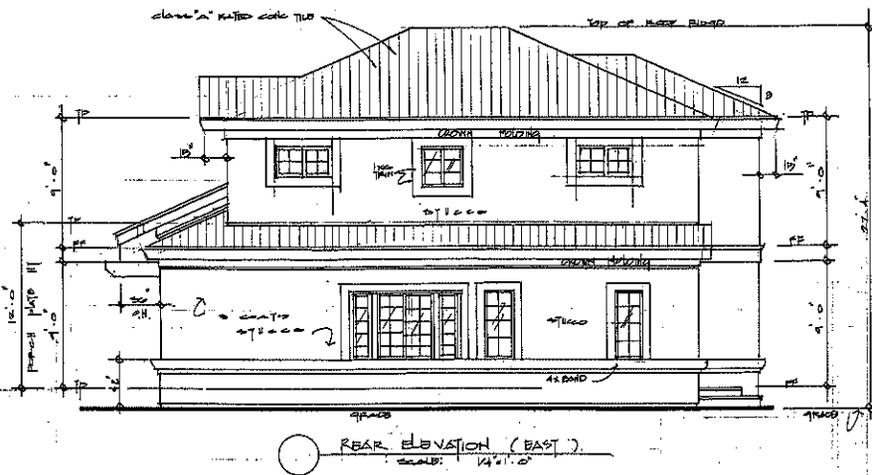
OWNER:
 MS. TINA THOA T. TRAN
 875 DUNHOLME WAY
 SUNNYVALE, CA. 94087
 PHONE: (408) 499-4904

PROPOSED SUB DIVISION
 AND SINGLE FAMILY
 RESIDENCE

DATE: 09/18/22
 SCALE: 1/4" = 1'-0"
 DRAWN: JG
 JOB:

4A
 OF SHEETS

ATTACHMENT 8
 Page 6 of 8



Height of proposed house approximately 27'-0" from edge of sidewalk

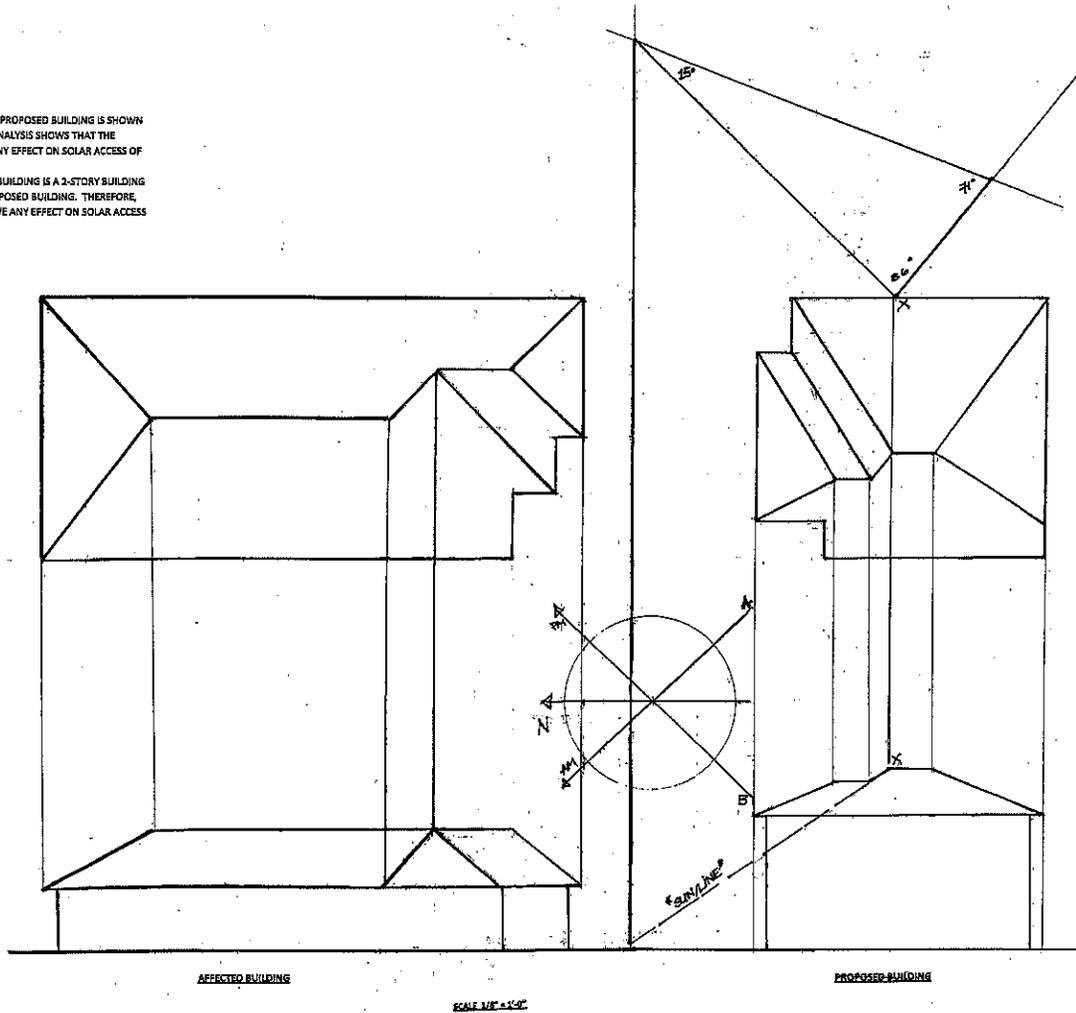
REVISIONS
DATE:
Professional Design Consultants 2251 University Ave. Suite 200 Berkeley, CA 94704 (415) 841-7000
AMBIENT DESIGN
OWNER: MS. TINA THOA T. TRAN 615 DUNHOLME WAY SUNNYVALE, CA 94087 PHONE: (408) 409-8004
PROPOSED NEW STORY RESIDENCE ON NEW 5676 S.F. LOT & NEW 2 CAR GARAGE
DATE: 1/11/10
SCALE: 1/4" = 1'-0"
DRAWN: EDA
JOB: 90017
5

Attachment 8
Page 7 of 8

SOLAR ANALYSIS

GENERAL NOTES

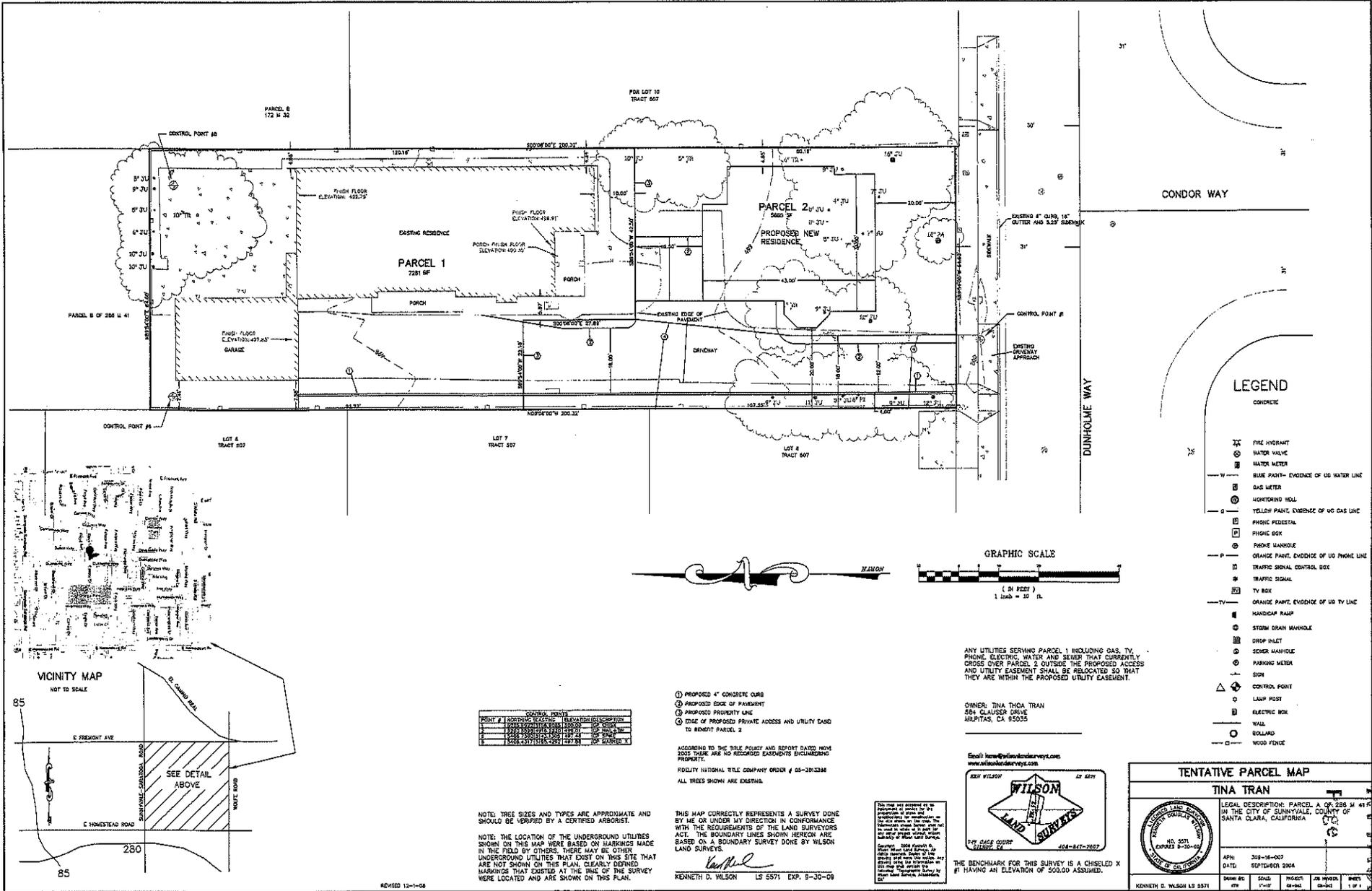
1. THE AFFECTED BUILDING NORTH OF THE PROPOSED BUILDING IS SHOWN IN THE ANALYSIS BELOW. THE SOLAR ANALYSIS SHOWS THAT THE PROPOSED BUILDING DOES NOT HAVE ANY EFFECT ON SOLAR ACCESS OF THE AFFECTED BUILDING.
2. THE BUILDING WEST OF THE PROPOSED BUILDING IS A 2-STORY BUILDING WITH COMPARABLE HEIGHT TO THE PROPOSED BUILDING. THEREFORE, THE PROPOSED BUILDING DOES NOT HAVE ANY EFFECT ON SOLAR ACCESS OF THIS BUILDING LIKEWISE.



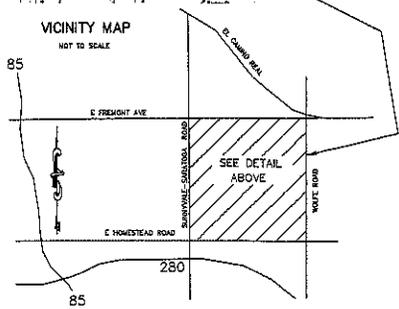
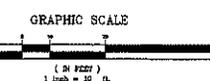
ATTACHMENT 8
 Page 8 of 8

REVISIONS
DATE:
PROFESSIONAL DESIGN CONSULTANTS 2021 HAWTHORNE, CA 94588 (415) 241-7300

OWNER: MRS. TINA THOA T. TRAN 615 DUNKHOLME WAY SUNNYVALE, CA, 94087 PHONE: (408) 468-4004
DATE: SCALE: DRAWN: JOB:
OF SHEETS



- ### LEGEND
- CONCRETE
 - ⊗ FIRE HYDRANT
 - ⊕ WATER VALVE
 - ⊙ WATER METER
 - W — BLUE PAINT— EVIDENCE OF US WATER LINE
 - ⊕ GAS METER
 - ⊙ MONITORING WELL
 - G — YELLOW PAINT, EVIDENCE OF US GAS LINE
 - ⊕ PHONE PEDESTAL
 - ⊕ PHONE BOX
 - ⊕ PHONE MANHOLE
 - P — ORANGE PAINT, EVIDENCE OF US PHONE LINE
 - ⊕ TRAFFIC SIGNAL CONTROL BOX
 - ⊕ TRAFFIC SIGNAL
 - ⊕ TV BOX
 - TV — ORANGE PAINT, EVIDENCE OF US TV LINE
 - ⊕ HANDICAP RAMP
 - ⊕ STORM DRAIN MANHOLE
 - ⊕ DRAIN INLET
 - ⊕ SEWER MANHOLE
 - ⊕ PARKING METER
 - S — SIGN
 - ⊕ CONTROL POINT
 - ⊕ LAMP POST
 - ⊕ ELECTRIC BOX
 - W — WALL
 - ⊕ BOLLARD
 - □ — WOOD FENCE



POINT #	CONTROLLING POINT	REMARKS/DESCRIPTION
1	CONCRETE CURB	PROPOSED 4" CONCRETE CURB
2	PROPOSED EDGE OF PAVEMENT	PROPOSED EDGE OF PAVEMENT
3	PROPOSED PROPERTY LINE	PROPOSED PROPERTY LINE
4	EDGE OF PROPOSED PRIVATE ADDRESS AND UTILITY EASEL TO BENEFIT PARCEL 2	EDGE OF PROPOSED PRIVATE ADDRESS AND UTILITY EASEL TO BENEFIT PARCEL 2

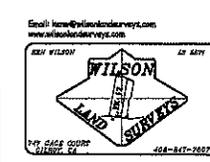
1 PROPOSED 4" CONCRETE CURB
 2 PROPOSED EDGE OF PAVEMENT
 3 PROPOSED PROPERTY LINE
 4 EDGE OF PROPOSED PRIVATE ADDRESS AND UTILITY EASEL TO BENEFIT PARCEL 2

ACCORDING TO THE TITLE POLICY AND REPORT DATED MARCH 2005 THERE ARE NO RECORDED EASEMENTS ENGINEERS' PROPERTY.

RIDLEY NURSERY TITLE COMPANY ORDER # 05-2012308
 ALL THINGS SHOWN ARE EXISTING.

ANY UTILITIES SERVING PARCEL 1 INCLUDING GAS, TV, PHONE, ELECTRIC, WATER AND SEWER THAT CURRENTLY CROSS OVER PARCEL 2 OUTSIDE THE PROPOSED ACCESS AND UTILITY EASEMENT SHALL BE REALLOCATED SO THAT THEY ARE WITHIN THE PROPOSED UTILITY EASEMENT.

OWNER: TINA THOA TRAN
 501 CLAUSSA DRIVE
 MILPITAS, CA 95035



THIS MAP WAS PREPARED BY ME OR UNDER MY SUPERVISION AND I AM A LICENSED LAND SURVEYOR IN THE STATE OF CALIFORNIA. I HAVE PERSONALLY CONDUCTED THE SURVEY AND I AM AWARE OF THE CONTENTS OF THIS MAP. I HAVE MADE THIS MAP ACCORDING TO THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS.

Created: 2008 August 6
 Date when field notes were taken: 2008 August 6
 Date when office notes were taken: 2008 August 6
 Date when this map was prepared: 2008 August 6
 Date when this map was checked: 2008 August 6
 Date when this map was approved: 2008 August 6

NOTE: TREE SIZES AND TYPES ARE APPROPRIATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.

NOTE: THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS MAP WERE BASED ON MARKINGS MADE IN THE FIELD BY OWNERS. THERE MAY BE OTHER UNDERGROUND UTILITIES THAT EXIST ON THIS SITE THAT ARE NOT SHOWN ON THIS PLAN. CLEARLY DEFINED MARKINGS THAT EXISTED AT THE TIME OF THIS SURVEY WERE LOCATED AND ARE SHOWN ON THIS PLAN.

THIS MAP CORRECTLY REPRESENTS A SURVEY DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS.

Kenneth D. Wilson
 KENNETH D. WILSON LS 5571 EXP. 9-30-09

TENTATIVE PARCEL MAP

TINA TRAN

LEGAL DESCRIPTION: PARCEL A OF 238 AC 413 IN THE CITY OF SUNNYVALE, COUNTY OF SANTA CLARA, CALIFORNIA

APN: 309-16-007
 DATE: SEPTEMBER 2004

KENNETH D. WILSON LS 5571

DATE: 08-06-08
 SCALE: 1"=40'
 PROJECT: 08-004
 JOB NUMBER: 08-004
 SHEET: 1 OF 1

APPROVED
 1 of 1
 D

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SUNNYVALE AMENDING THE PRECISE ZONING PLAN, ZONING DISTRICTS MAP, TO REZONE CERTAIN PROPERTY LOCATED AT 615 DUNHOLME WAY FROM R-0 (LOW DENSITY RESIDENTIAL) TO R-0/PD (LOW DENSITY RESIDENTIAL/ PLANNED DEVELOPMENT) ZONING DISTRICT

THE CITY COUNCIL OF THE CITY OF SUNNYVALE DOES ORDAIN AS FOLLOWS:

SECTION 1. AMENDMENT OF PRECISE ZONING PLAN. The Precise Zoning Plan, Zoning Districts Map, City of Sunnyvale (Section 19.16.050 of the Sunnyvale Municipal Code) hereby is amended in order to include certain properties within the R-0/PD (Low Density Residential/Planned Development) Zoning District which properties are presently zoned R-0 (Low Density Residential) Zoning District. The location of the properties is set forth on the scale drawing attached as Exhibit "A."

SECTION 2. CLASS 32 CEQA EXEMPTION. The City Council hereby determines that this action is exempt from California Environmental Quality Act provisions. A Class 32 Categorical Exemption relieves this project from CEQA provisions and City Guidelines, including urban infill sites that do not exceed the overall density allowed by the General Plan.

SECTION 3. EFFECTIVE DATE. This ordinance shall be in full force and effect thirty (30) days from and after the date of its adoption.

SECTION 4. PUBLICATION. The City Clerk is directed to cause copies of this ordinance to be posted in three (3) prominent places in the City of Sunnyvale and to cause publication once in The Sun, the official newspaper for publication of legal notices of the City of Sunnyvale, of a notice setting forth the date of adoption, the title of this ordinance, and a list of places where copies of this ordinance are posted, within fifteen (15) days after adoption of this ordinance.

Introduced at a regular meeting of the City Council held on _____, 2009, and adopted as an ordinance of the City of Sunnyvale at a regular meeting of the City Council held on _____, 2009, by the following vote:

- AYES:
- NOES:
- ABSTAIN:
- ABSENT:

ATTEST:

APPROVED:

City Clerk

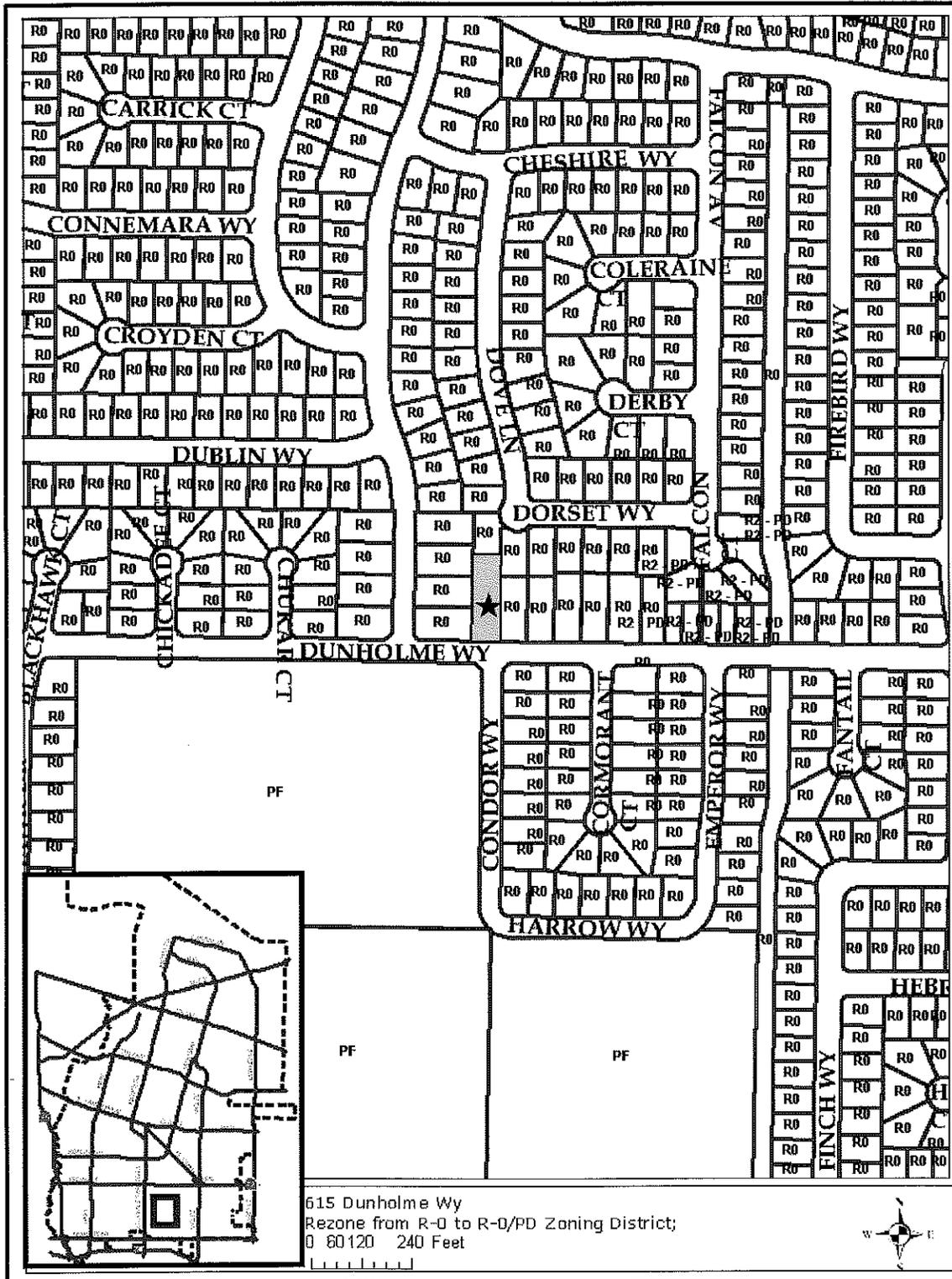
Mayor

Date of Attestation _____

SEAL

APPROVED AS TO FORM AND LEGALITY:

David E. Kahn, City Attorney





USE PERMIT/SPECIAL DEVELOPMENT PERMIT JUSTIFICATIONS

ATTACHMENT F

Page 1 of 1

One of the two following findings must be made in order to approve a Use Permit or Special Development Permit application.

The Sunnyvale Municipal code states that at least one of the following two justifications must be met before granting the Use Permit or Special Development Permit. Please provide us information on how your project meets at least one of the following criteria.

1. The proposed use attains the objectives and purposes of the General Plan of the City of Sunnyvale as the project ...

THE RESIDENCE MEETS THE REQUIRED MIN YARD SETBACKS, IS IN CONFORMANCE W/ LOT COVERAGE, HEIGHT LIMITATION, BUILDING MASS & IN INSET @ 2ND LEVEL AS PER MIN REQUIREMENTS

OR

2. The proposed use ensures that the general appearance of proposed structures, or the uses to be made of the property to which the application refers, will not impair either the orderly development of, or the existing uses being made of, adjacent properties as ...

If you need assistance in answering either of these justifications, contact the Planning Division staff at the One-Stop Permit Center.

2

City of Sunnyvale
Planning Commission
City Hall
456 W. Olive Ave.
Sunnyvale, CA 94087

ATTACHMENT G
Page 1 of 2

Planning Commission,

11-22-08

My name is Thomas Phillips and I reside at 1467 Dove Lane, Sunnyvale, CA 94087. I received a public notice that 615 Dunholme Way (file # 2008-1056) is seeking a special development permit to construct an additional single family home.

I drove-by the property and observed the surrounding neighborhood. Having done this, I am inclined to put fourth a comment of opposition to this request. Considering the proximity of the location to a school and public area I do not believe the additional traffic generated by another single family home is in the best interests of the Sunnyvale community. Further, I believe the size of the physical real property really does not lend itself to an additional single family home. Placing another home on this property furthers a trend of moving away from low density residential housing and again, I believe, not a desired characteristic of this neighborhood in the long term.

I respectfully submit this letter for your input, when making a decision on the application of 615 Dunholme Ave.

Best regards,

Thomas Phillips

Thomas Phillips
1467 Dove Lane
Sunnyvale, CA 94087

RECEIVED

DEC - 3 2008

PLANNING DIVISION

①

NOREN CALIVA
SUNNYVALE CITY

NOV. 17, 2008

RE: FILE NO. 2008-1056
615 DUNHOLME WAY
SUNNYVALE, CA

I DONT MIND THAT IF OWNER WILL BUILD SINGLE STORY HOUSE, BUT AS YOU TOLD ME THAT THE PLAN IS TWO(2) STORY WHICH WE DONT LIKE IT.

- TWO STORY WILL BLOCK THE VIEW AND UNBALANCED IN NEIGHBOR.
- ALSO IT WILL BLOCK THE STREET VIEW OF DRIVERS COMING OUT FROM PARK SIDE.
- ABOUT 95% OF AREA HOUSE ARE SINGLE STORY HOUSE.

RECEIVED

NOV 20 2008

PLANNING DIVISION

BEST RGRDS,

Jang S. Minn

JANG S. MINN
1516 CONDOR WAY
SUNNYVALE, CA 94087