



**CITY OF SUNNYVALE
REPORT
Planning Commission**

January 11, 2010

SUBJECT: **2009-0752:** Application for a project located at **395 Balsam Avenue** in an R-0 (Low-Density Residential) Zoning District (APN: 204-20-026)

Motion Design Review for a first floor addition of approximately 230 square feet and a new second floor of approximately 729 square feet for a total Floor Area Ratio of 48%.

REPORT IN BRIEF

Existing Site Conditions Single-Family Residence

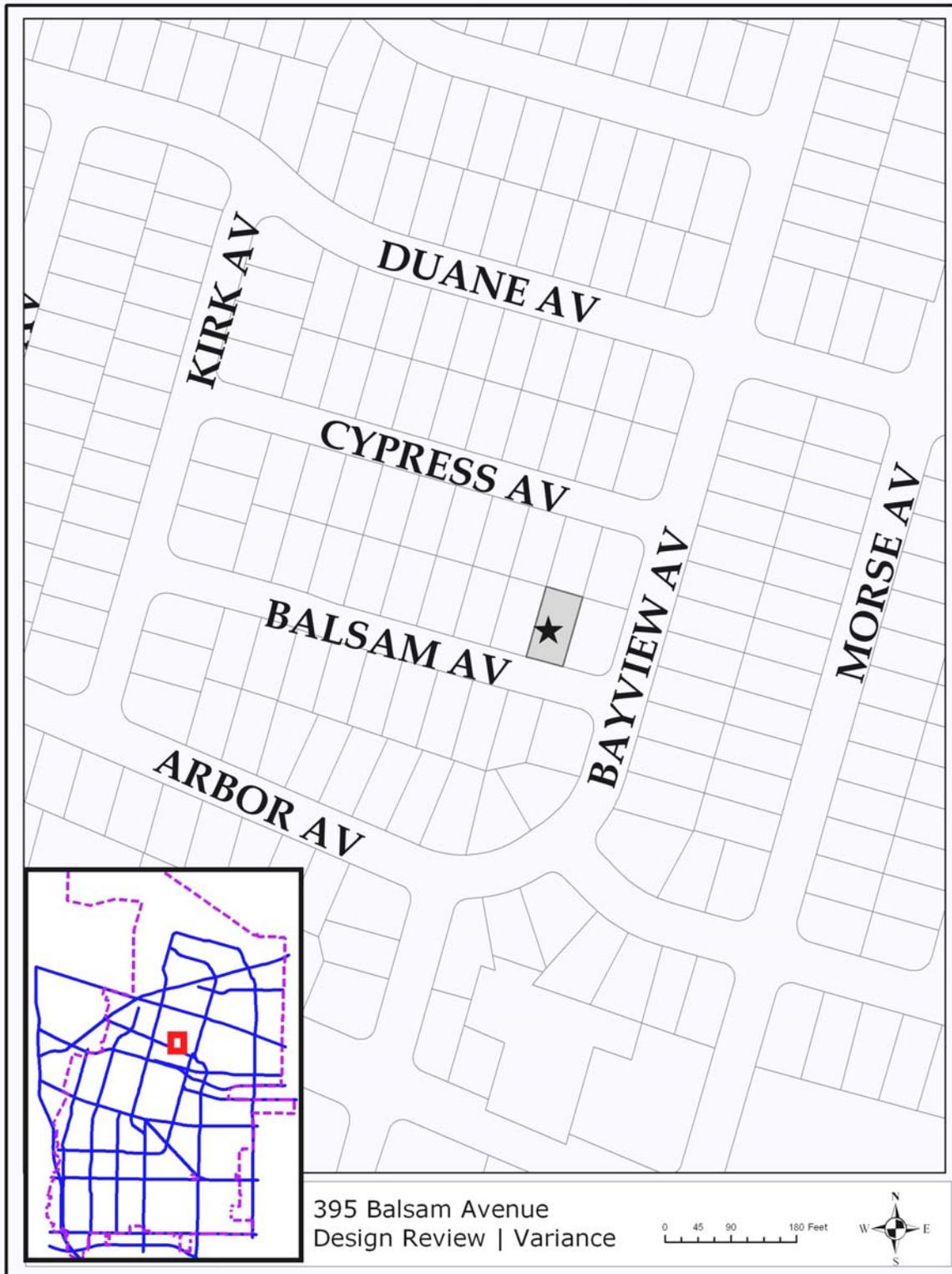
Surrounding Land Uses

North Single-Family Residence
South Single-Family Residence
East Single-Family Residence
West Single-Family Residence

Issues Neighborhood compatibility

Environmental Status A Class 1 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines.

Staff Recommendation Approve proposed additions.



PROJECT DATA TABLE

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
General Plan	Residential Low Density	Same	Residential Low Density
Zoning District	R-O	Same	R-O
Lot Size (s.f.)	5,200	Same	5,200
Gross Floor Area (s.f.)	1,456	2,507	2,340
Lot Coverage (%)	28%	33%	45% max.
Floor Area Ratio (FAR)	28%	48%	45% max.
Building Height (ft.)	13'	23'	30' max.
No. of Stories	1	2	2 max.
Setbacks (First/Second Facing Property)			
Front	24'	22' / 28' 6"	20' / 25' min.
Left Side	4' 10"	4' 6" / 7' 8"	4' / 7' min.
Right Side	5' 10"	5' 10" / 17' (10' 4" combined/ 24' 8" combined)	7' / 9' min. (10' combined/ 16' combined)
Rear	27' 10"	27' 10" / 42'	20' min.
Parking			
Total Spaces	4	4	4 min.
Covered Spaces	2	2	2 min.

ANALYSIS**Description of Proposed Project**

The proposed project includes first floor additions of 238 square feet to the front and rear of the existing home and a new second floor of 729 square feet. The resulting Floor Area Ratio (FAR) is 48%, which triggers review by the Planning Commission.

On December 17, 2009, new Zoning Code changes went into effect and included changing the total side yard setback to a combined side yard setback based on a percentage (20%) of the lot width. This has resulted in the elimination of a total setback variance which was included in the initial

submittal. The changes have reduced the combined side yard setback from 12 feet to 10 feet, which the project complies with. In addition to the setback changes, vaulted stories over 15 feet in height are counted twice towards floor area. The proposed second floor addition does result in a small vaulted area in the center of the stair well of approximately 25 square feet, which has been included in the FAR calculations.

Background

Previous Actions on the Site: The existing home was constructed in 1949, and no significant changes have been made to this structure. Other homes within the immediate neighborhood have been modified over the years resulting in a variety of architectural styles and elements. No other significant permits have been obtained for this property.

Environmental Review

A Class 1 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines. The proposed addition is exempt in that the proposed project will result in floor area of 2,507 square feet, is located in an area where existing public services are available and the area is not an environmentally sensitive area.

Design Review

Site Layout: The subject property is located near the corner of Balsam Avenue and Bayview Avenue. The proposed project includes a first floor addition of 238 square feet to the front and rear of the existing home and a new second floor addition of 729 square feet. The proposed additions will accommodate the reconfiguration of the existing kitchen, a new office and new master suite.

Architecture: The existing home is a modest one story home located within a neighborhood of one story homes. The proposed project will change the architecture of the home from a flat roof "Eichler" style home to a two story contemporary style of architecture. Significant components of the proposed design include a new second floor, retention of the increased living room height, the addition of a slope roof (3 and 12), two car garage and relocation of the front entry.

The applicant has worked with staff since the initial submittal to address compatibility of the proposed design with the immediate neighborhood, which is not subject to the Eichler Design Guidelines. Changes that have been incorporated into the design include consistent and compatible roof forms, refined architectural details on the front façade and consistent window types.

In addition to the changes, the proposed design addresses the following key elements of the Single Family Design Techniques:

- *Massing:* The proposed additions have been designed to provide variation and increased setbacks between the first and second floors at the front facade. Specifically, the first floor is located 22 feet from the front property line and the second floor is 28 feet from the front property line. In addition to the setbacks, the new second floor provides additional steps in the architecture to provide interest and to break up the massing. The proposed plate heights are 9 feet for the first floor and 9 for the second. If massing is a concern, the Planning Commission may consider a reduction of the plate heights, depending on the massing concern.
- *Privacy:* Most of the second floor windows are needed for egress and are oriented towards the front and rear elevations, which help to reduce potential privacy impacts to adjacent neighbors. The applicant proposes one full-size second-floor window along the left side elevation, which is located adjacent to the master bath. Therefore, the project has been designed with minimal privacy impacts.
- *Solar Access:* The applicant submitted a solar access and shadow analysis. According to the applicant, the proposed second story shades less than 7.5% of the neighboring roof to the east, where 10% is the maximum allowed.

Floor Area Ratio: The existing neighborhood on Balsam Avenue is bound by Bayview Avenue and Kirk Avenue and consists of predominately one-story homes. Many of the homes have been modified from the original architecture of the late 1940's to the current mix of architectural elements. The average FAR for Balsam Avenue is 26% and 31% for the homes on Bayview Avenue close to the project site. Floor Area Ratios for the immediate neighborhood have been included for reference below.

Neighborhood FAR's					
Address:			Lot Area (s.f.):	Building (s.f.):	Existing FAR:
337	Balsam	Av	5,200	1,554	30%
338	Balsam	Av	5,200	1,188	19%
351	Balsam	Av	5,200	1,554	30%
354	Balsam	Av	5,200	1,188	23%
370	Balsam	Av	5,220	1,476	29%
371	Balsam	Av	5,200	1,476	28%
374	Balsam	Av	5,362	1,476	27%
375	Balsam	Av	5,200	1,595	31%

Neighborhood FAR's					
Address:			Lot Area (s.f.):	Building (s.f.):	Existing FAR:
378	Balsam	Av	5,504	1,250	24%
379	Balsam	Av	5,200	1,476	28%
382	Balsam	Av	5,646	1,476	26%
383	Balsam	Av	5,200	1,250	24%
386	Balsam	Av	5,788	1,250	22%
387	Balsam	Av	5,200	1,476	28%
390	Balsam	Av	5,929	1,476	25%
391	Balsam	Av	5,200	1,250	24%
394	Balsam	Av	5,375	1,250	24%
395	Balsam	Av	5,200	1,476	28%
554	N Bayview	Av	6,243	1,524	27%
557	N Bayview	Av	7,324	1,563	22%
558	N Bayview	Av	5,500	1,444	26%
562	N Bayview	Av	5,500	1,444	26%
566	N Bayview	Av	5,500	1,599	29%
570	N Bayview	Av	5,500	1,444	26%
571	N Bayview	Av	6,348	2,133	60%
574	N Bayview	Av	5,500	1,850	34%

Although the proposed project will be the second highest FAR in the immediate neighborhood, the proposed design has been developed in a manner that is sensitive to the neighborhood scale and character. It is also important to note that the lot size is slightly substandard for parcels with an R-0 designation. The required lot size is 6,000 square feet and the subject property is shy 800 square feet. If the lot were the required size, then the proposed FAR would be 41%.

The following Guidelines were considered in analysis of the design review for the proposed project.

Single Family Design Techniques	Comments
3.3 A Locate home entries so that they are visible from the street	The front entry has been reoriented to face the street.
3.4 D. For second floors with an area greater than 35% of the ground floor area, setbacks should generally be greater unless the prevailing pattern of second floors in the neighborhood is less.	The applicant's proposed second floor is 40% of the first floor. The proposed second floor provides increased front and side setbacks to minimize impacts on adjacent neighbors and to respect the character of the neighborhood.

Single Family Design Techniques	Comments
3.6 A. <i>New homes and additions to existing structures should be located to minimize blockage of sun access to living spaces and actively used outdoor areas on adjacent homes.</i>	The applicant has submitted a solar access and shadow analysis which demonstrates that the proposed two-story home will shade no more than 7.5% of the existing one-story home on the left side of the property, where 10% is the maximum allowed.
3.6 C. <i>Windows should be placed to minimize views into the living spaces and yard spaces near neighboring homes. When windows are needed and desired in side building walls, they should be modest in size and not directly opposite windows on adjacent homes.</i>	Second floor side windows are located in areas that will provide minimal impact on adjacent neighbors or windows are designed to have a high sill.
3.7 <i>Use materials that are compatible with the neighborhood.</i>	The proposed materials will be visually similar to other materials found in the neighborhood.

Landscaping: No trees are proposed for removal as part of this project.

Parking/Circulation: The proposed project meets parking requirements with two covered spaces and two uncovered spaces in the driveway area.

Compliance with Development Standards/Guidelines: The proposed project was designed to meet or exceed the development standards required in the R-0 zoning district, including setbacks, lot coverage and parking. This project requires review by the Planning Commission because it exceeds the staff-level review threshold of 45% FAR.

Single Family Home Design Techniques: As discussed in the report section on Architecture, the applicant's proposed project generally complies with the design techniques. Staff does not recommend any changes at this time.

Expected Impact on the Surroundings: The proposed project will have minimal impacts on the surrounding properties. It has been designed in a manner that is sensitive to the surrounding architecture, scale and neighborhood pattern.

Fiscal Impact

No fiscal impacts other than normal fees and taxes are expected.

Public Contact

At the time of the staff report, staff has not received comments from neighbors.

Notice of Public Hearing	Staff Report	Agenda
<ul style="list-style-type: none"> • Published in the <i>Sun</i> newspaper • Posted on the site • 9 notices mailed to property owners and residents adjacent to the project site 	<ul style="list-style-type: none"> • Posted on the City of Sunnyvale's Web site • Provided at the Reference Section of the City of Sunnyvale's Public Library 	<ul style="list-style-type: none"> • Posted on the City's official notice bulletin board • Posted on the City of Sunnyvale's Web site

Conclusion

Although the proposed home is larger than the other homes found in the neighborhood, staff finds that the project is a reasonable request to provide additional living space, while respecting the character the neighborhood. The project has been designed to meet all development standards required in the R-0 Zoning district. The immediate neighborhood is comprised of substandard lot sizes resulting in a higher FAR for a modest addition.

Findings and General Plan Goals: The Findings are located in Attachment A. Staff is recommending the Conditions of Approval shown in Attachment B.

Alternatives

1. Approve the Design Review with the conditions in Attachment B.
2. Approve the Design Review with modified conditions.
3. Deny the Design Review and provide direction to staff and the applicant where changes should be made.

Recommendation

Alternative 1.

Prepared by:

Shaunn Mendrin
Project Planner

Reviewed by:

Steve Lynch
Senior Planner

Reviewed by:

Trudi Ryan
Planning Officer

Attachments:

- A. Recommended Findings
- B. Recommended Conditions of Approval
- C. Site and Architectural Plans

Recommended Findings – Design Review

The proposed project is desirable in that the project's design and architecture conforms with the policies and principles of the Single Family Home Design Techniques.

Basic Design Principle	Comments
<i>2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns</i>	The home has similar orientation and an entry pattern as other homes in the neighborhood.
<i>2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.</i>	The additions have been design in a manner that respects neighborhood scale, bulk and character.
<i>2.2.3 Design homes to respect their immediate neighbors</i>	The orientation of the project and the location of windows minimizes privacy issues for neighbors.
<i>2.2.4 Minimize the visual impacts of parking.</i>	The project meets code standards for single-family parking by maintaining a two-car garage and two driveway parking spaces.
<i>2.2.5 Respect the predominant materials and character of front yard landscaping.</i>	No landscaping plan is required for single-family homes.
<i>2.2.6 Use high quality materials and craftsmanship</i>	The design of the home would use quality materials that are visually similar to other materials found in the neighborhood and add to the visual interest of the structure.
<i>2.2.7 Preserve mature landscaping</i>	The applicant proposes to maintain all existing trees and landscaping.

Recommended Conditions of Approval – Design Review

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following conditions of approval of this Permit:

Unless otherwise noted, all conditions shall be subject to the review of approval of the Director of Community Development.

1. GENERAL CONDITIONS

- A. The project shall be in conformance with the plans approved at the public hearing(s). Minor changes may be approved by the Director of Community Development. Major changes shall be subject to approval at a public hearing.
- B. The Conditions of Approval shall be reproduced on a page of the plans submitted for a Building permit for this project.
- C. The Design Review shall be null and void two years (Ordinance 2895-09) from the date of approval by the final review authority at a public hearing if the approval is not exercised, unless a written request for an extension is received prior to expiration date.
- D. The building permit plans shall be in substantial conformance with the approved plans and planning application.

2. COMPLY WITH OR OBTAIN OTHER PERMITS

- A. Obtain Building Permits as required for all proposed demolition and construction.

3. DESIGN/EXTERIOR COLORS AND MATERIALS

- A. Final exterior building materials and color scheme are subject to review and approval of the Planning Commission/Director of Community Development prior to issuance of a building permit.
- B. No trees are proposed for removal as part of this project. A separate tree removal permit shall be required for removal of protected trees in the future.

4. UNDERGROUND UTILITIES

- A. Utility service drops are required to be placed underground.

SITE ANALYSIS

INFORMATION:

ZONING (R)
 LOT AREA 5,200.00 SQ. FT. (0.10 AC)
 CONSTRUCTION TYPE V-N
 APN 204-20-027
 OWNER CHRIS & CHRISTINA BAI
 308 BALSAM AVENUE
 SUNNYVALE, CA 94089

FLOOR AREA RATIO (FAR)

EXISTING 1,458.48 SQ. FT. / 5,200.00 SQ. FT. (LOT) = 28.06%
 ALLOWABLE 3,471.33 SQ. FT. / 5,200.00 SQ. FT. (LOT) = 66.75%
 NEW 3,400.00 SQ. FT. / 5,200.00 SQ. FT. (LOT) = 65.38%

LOT COVERAGE

ROOFING 1,522.94 SQ. FT. / 5,200.00 SQ. FT. (LOT) = 29.29%
 NEW 1,716.21 SQ. FT. / 5,200.00 SQ. FT. (LOT) = 33.00%
 ALLOWABLE (2 STORY) 3,200.00 SQ. FT. / 5,200.00 SQ. FT. (LOT) = 61.54%

TOTAL EXISTING

(BASED ON OUTSIDE DIMS)
 (R) RESIDENCE 1,000.00 SQ. FT.
 (B) GARAGE 338.88 SQ. FT.
 TOTAL EXISTING FLOOR AREA 1,338.88 SQ. FT.

(R) COVERED PORCH 68.46 SQ. FT.
 TOTAL EXISTING COVERAGE 1,407.34 SQ. FT.

TOTAL NEW

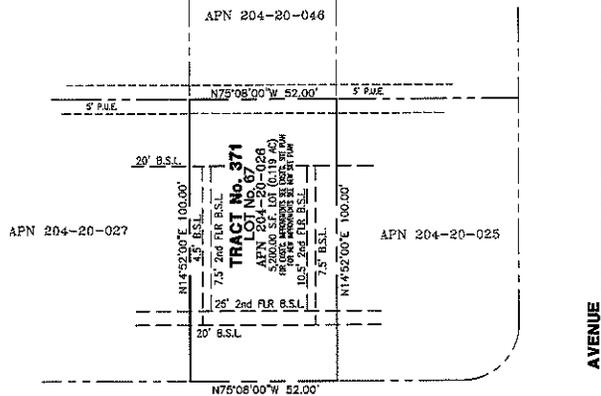
(BASED ON OUTSIDE DIMS)
 (R) RESIDENCE 1,000.00 SQ. FT.
 (B) RESIDENCE CONVERT TO GARAGE +2.84 SQ. FT.
 (B) GARAGE CONVERT TO RESIDENCE +30.00 SQ. FT.
 (N) 1st FLOOR ADDITION +28.16 SQ. FT.

(N) 2nd FLOOR ADDITION 1,347.02 SQ. FT. / 1,347.02 SQ. FT.
 NEW RESIDENCE 2,694.04 SQ. FT.

(B) GARAGE 338.88 SQ. FT.
 (B) RESIDENCE CONVERT TO GARAGE +2.84 SQ. FT.
 (B) GARAGE CONVERT TO RESIDENCE +30.00 SQ. FT.
 (N) GARAGE ADDITION +21.16 SQ. FT.

(N) GARAGE 400.04 SQ. FT. / 400.04 SQ. FT.
 TOTAL NEW FLOOR AREA 3,471.33 SQ. FT.

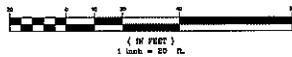
(N) COVERED PORCH 28.16 SQ. FT.
 TOTAL NEW COVERAGE 3,499.49 SQ. FT.



PLOT PLAN

1" = 20'-0"

GRAPHIC SCALE



ABBREVIATIONS

- AA ATTIC ACCESS
- AB ANCHOR BOLT
- ALT ALTERNATE
- BDRM BEDROOM
- BLDG BUILDING
- BU BEAM
- BOT BOTTOM
- BEL BUILDING SETBACK LINE
- CA CRAWL ACCESS
- CAB CABINET
- CC CENTERLINE
- CELL CELLING
- CLR CLEAR
- CMU CONCRETE MASONRY UNIT
- CONTR CONTRACTOR
- COUN COUNING
- CONC CONCRETE
- CONN CONNECTION
- CONTN CONTINUOUS
- CTR CENTER
- CUR CURB
- CY CUBIC YARD
- F FINISH
- DB DOOR BELL
- DBL DOUBLE
- DET DETAIL
- DF DOUGLAS FIR-LARCH (NORTH)
- DWG DRAWING
- DN DOWN
- DN DOWNSPROUT
- DWR DRAPING
- D/W DRAINWASHER
- (E) EXISTING
- EA EACH
- COLL COLLAR
- EX EXISTING
- EXIST'G EXISTING
- EXT EXTERIOR
- FAB FABRICATE
- FAM FAMILY
- FDTN FOUNDATION
- FF FINISHED FLOOR
- FND FOUND OR FOUNDATION
- FS FAR SIDE
- FIN FINISH
- FLR FLOOR
- F/P FIREPLACE
- FTG FOOTING
- GALV GALVANIZED
- GALV'D GALVANIZED
- GFI GROUND FAULT INTERRUPTION
- OLB OLIVE LAMINATED BEAM
- OTF OFFSIDE
- HE HEADER
- HO HOLDDOWN
- HO'S HEADERS
- HR HORIZONTAL
- HR HANDRAIL
- IMP IMPROVEMENTS
- INFO INFORMATION
- INT INTERIOR
- LIV LIVING
- LIV LIVING
- MAX MAXIMUM
- MFR MANUFACTURE
- MIN MINIMUM
- MIR MIRROR
- NS NEAR SIDE
- (N) NEW
- NOT IN CONTRACT
- NOT TO SCALE
- OK OK CENTER
- PERF PERFORATED
- PERP PERPENDICULAR
- PL PROPERTY LINE
- PLY PLYWOOD
- PLY'G PLYWOOD
- PSF POUNDS PER SQUARE FOOT
- PSI POUNDS PER SQUARE INCH
- PT PRESSURE TREATED
- (R) REMOVE
- REC RECOMMENDATION
- REFRIG REFRIGERATOR
- REINFB REINFORCE
- REINFB REINFORCING
- REQ'D REQUIRED
- (R) RELOCATE
- RM ROOM
- RWD REDWOOD
- SECT SECTION
- SECT SECTION
- SCH SCHEDULE
- SD SMOKE DETECTOR
- SH SINGLE HINGE
- SIM SIMILAR
- S/L SKYLIGHT
- SPEC SPECIFICATION
- TILE CERAMIC TILE
- TYP TYPICAL
- UBC UNIFORM BUILDING CODE
- UN UNLESS NOTES
- UNO UNLESS NOTED OTHERWISE
- UNO UNLESS OTHERWISE NOTED
- VERT VERTICAL
- WD WOOD
- W/H WATERHEATER
- WP WEATHERPROOF
- # FOUND OR NUMBER

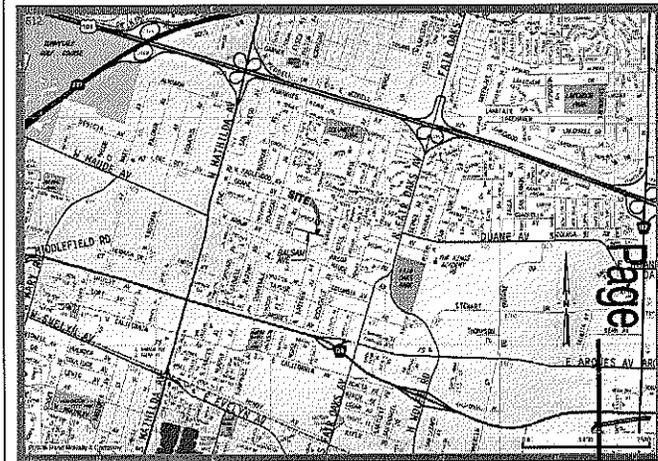
GENERAL NOTES

(ALSO SEE NOTES ON DRAWING A2, & THROUGHOUT DRAWING SET)

1. WHEREVER THE TERM "CONTRACTOR" OR "GENERAL CONTRACTOR" IS USED THE SAME SHALL APPLY TO THE SUBCONTRACTOR WHERE APPLICABLE.
2. ALL WORK SHALL CONFORM TO 2007 CBC (2004 IBC WITH AMENDMENTS BY STATE OF CALIFORNIA) AND WHERE APPLICABLE, ALL FEDERAL, STATE AND LOCAL LAWS, CODES, ORDINANCES, REGULATIONS, REQUIREMENTS, RULES AND AUTHORIZED DIRECTIVES OF THE BUILDING DEPARTMENT OFFICIAL.
3. WHERE IT IS DETERMINED THAT THESE DRAWINGS ARE IN ERROR IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE THE CORRECTIVE ACTION TO ASSURE THAT ALL WORK CONFORMS TO NOTE NO. 2.
4. PRIOR TO BIDDING, ORDERING OF MATERIALS OR COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VISIT THE SITE AND CONFIRM THAT THE EXISTING CONFORMS TO THESE DRAWINGS.
5. PRIOR TO BIDDING, ORDERING OF MATERIALS OR COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VISIT WITH THE OWNER AND FURNISH THE NECESSARY SAMPLES AND/OR CATALOGS WHERE APPLICABLE.
6. PRIOR TO BIDDING, ORDERING OF MATERIALS OR COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE CONTRACTOR'S INTERPRETATION OF THESE PLANS WITH THE OWNER. ALL DISCREPANCIES WILL BE CLARIFIED BY THE OWNER.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO APPLY FOR, RECEIVE AND PAY FOR ALL NECESSARY PERMITS.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND RESOLVE ANY DISCREPANCIES. FIELD DIMENSIONS SHALL BE USED FOR ALL PHASES OF CONSTRUCTION TO ASSURE ALL NEW CONSTRUCTION CONFORMS TO AND MATCHES UP TO ACTUAL JOB CONDITIONS. THE CONTRACTOR SHALL NOT CHANGE OR REVISE THE CONCEPT OF THESE PLANS WITHOUT THE WRITTEN APPROVAL OF THE OWNER.
9. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ASSURE JOB SAFETY, LOCAL, STATE AND FEDERAL, INCLUDING OSHA LAWS AND RULES SHALL BE ENFORCED BY THE GENERAL CONTRACTOR AT ALL TIMES.
10. ALL CONSTRUCTION SHALL CONFORM TO PROVISIONS OF 2007 CALIFORNIA BUILDING CODE.
11. ELECTRICAL SHALL CONFORM TO PROVISIONS OF 2007 CALIFORNIA ELECTRICAL CODE.
12. MECHANICAL SHALL CONFORM TO PROVISIONS OF 2007 CALIFORNIA MECHANICAL CODE.
13. PLUMBING SHALL CONFORM TO PROVISIONS OF 2007 CALIFORNIA PLUMBING CODE.
14. ALL WORK SHALL CONFORM TO PROVISIONS OF 2007 CALIFORNIA ENERGY CODE.
15. ALL REBAR, ANCHOR BOLTS, HOLDDOWN BOLTS, AND UPR ARE TO BE IN PLACE AT TIME OF FOUNDATION INSPECTION.

INDEX OF DRAWINGS

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- A4 EXISTING ELEVATION VIEWS
- A5 NEW FLOOR PLANS
- A6 NEW ELEVATION VIEWS
- A7 NEW ROOF PLAN
- A8 NEW SECTIONS AND DETAILS
- NEW UTILITY PLAN
- T24 TITLE 24 ENERGY DOCUMENTATION AND NOTES
- S1 FOUNDATION PLAN
- S2 ROOF FRAMING PLAN
- SD-1 THRU SD-7 STRUCTURAL NOTES AND DETAILS



VICINITY MAP

N.T.S.

No. Revision By

DESIGNED and BUILT BY

Via Builders, Inc.
 4000 B. Center Blvd., Ste. 200
 Los Altos, CA 94022-1038
 Lic. # 717900
 650-986-7077

Via

NEW PROJECT GENERAL NOTES AND ABBREVIATIONS
 RESIDENTIAL ADDITION and REMODEL for ENNI
 995 BALSAM AVENUE
 SUNNYVALE, CALIFORNIA

10/30/08

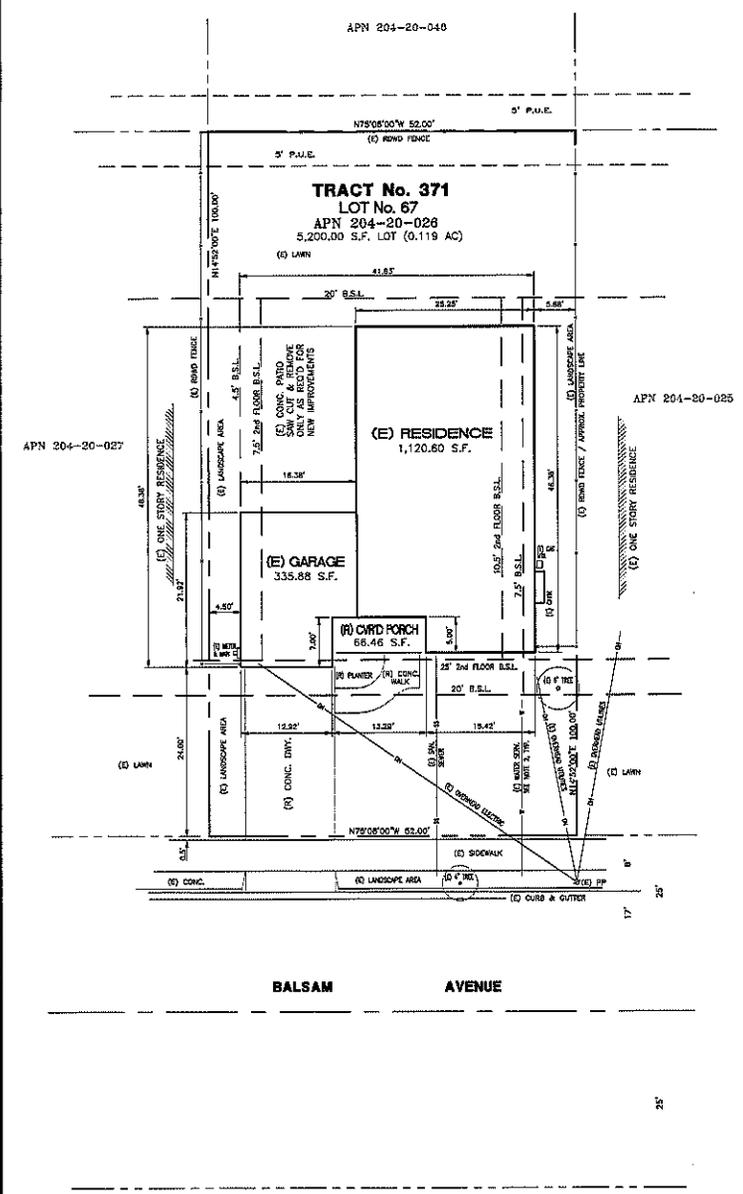
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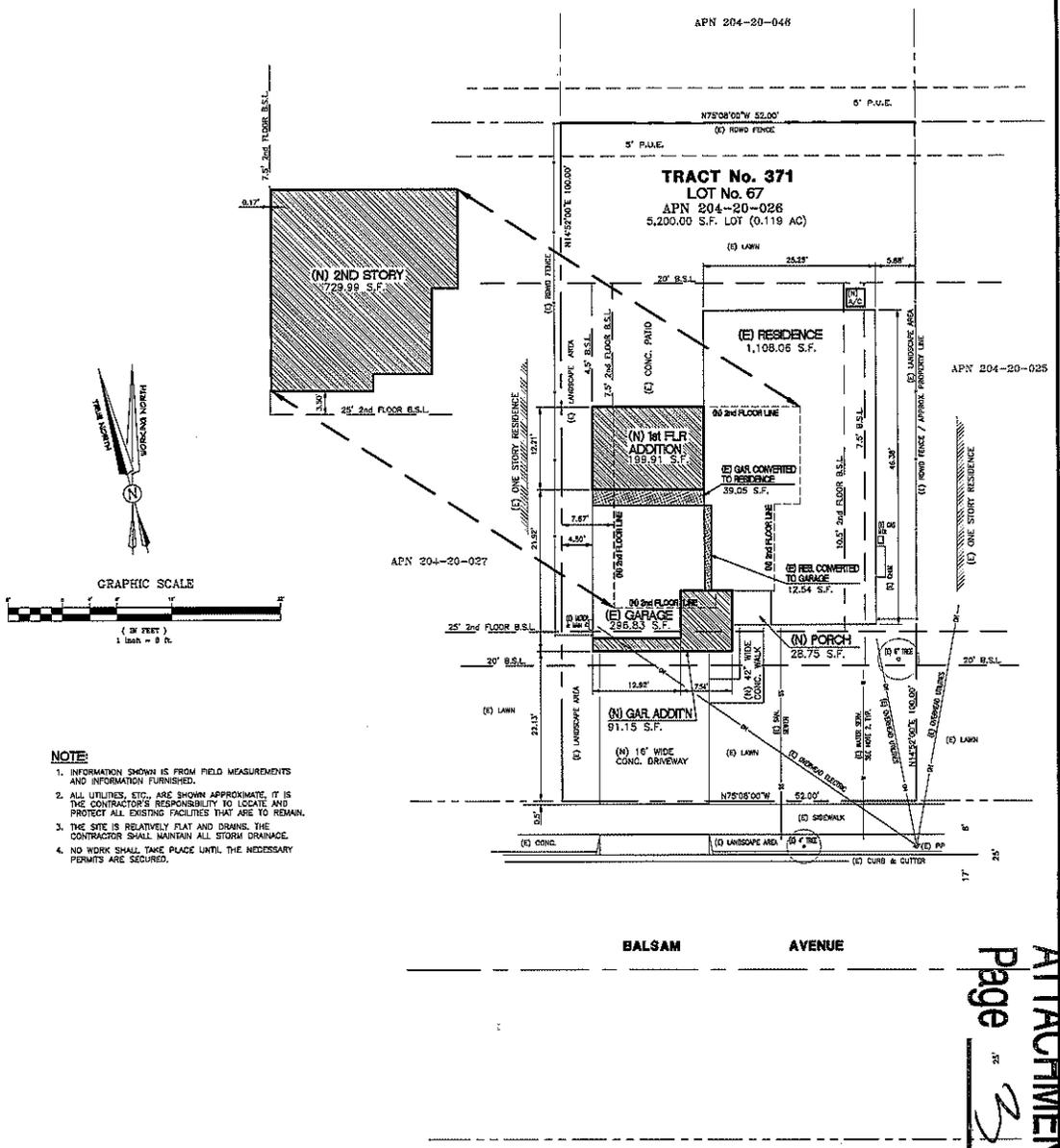
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A1

1 of 9



EXISTING SITE/DEMOLITION PLAN
1/8" = 1'-0"



NEW SITE PLAN
1/8" = 1'-0"

NOTE:

1. INFORMATION SHOWN IS FROM FIELD MEASUREMENTS AND INFORMATION FURNISHED.
2. ALL UTILITIES, ETC., ARE SHOWN APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING FACILITIES THAT ARE TO REMAIN.
3. THE SITE IS RELATIVELY FLAT AND DRAINAGE. THE CONTRACTOR SHALL MAINTAIN ALL STORM DRAINAGE.
4. NO WORK SHALL TAKE PLACE UNTIL THE NECESSARY PERMITS ARE SECURED.

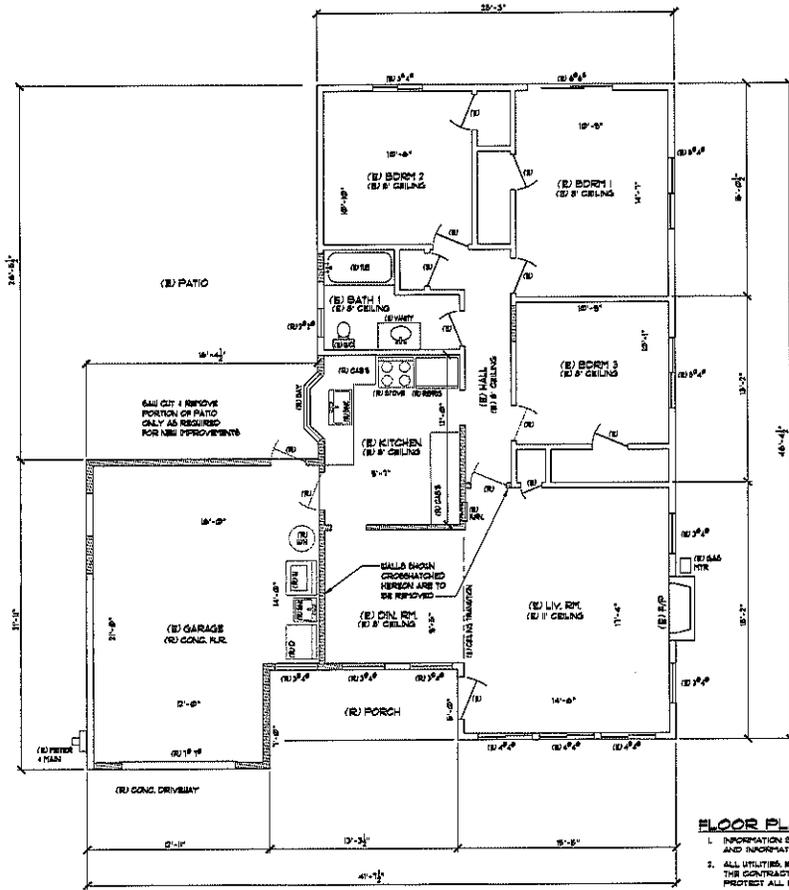
No.	Revision	By

DESIGNED and BUILT BY
Via Builders, Inc.
1000 D. Donohoe Blvd., Ste. 200
Los Altos, Ca. 94024-1328
Lic. No. FT19006
650-948-1077

NEW SITE PLANS
EXISTING ADDITION and REMODEL for ENVI
RESIDENTIAL ADDITION and REMODEL for ENVI
SUNNYVALE, CALIFORNIA
985 BALSAM AVENUE

Date: 10/30/09
Scale: 1/8"=1'-0"
Designed by: R.S.
Sheet: A2
3 of 9

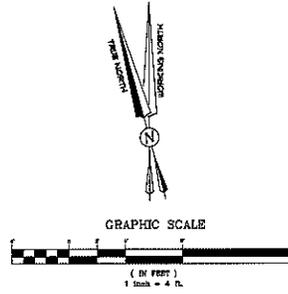
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ATTACHMENT



EXISTING FLOOR/DEMOLITION PLAN
1/4" = 1'-0"

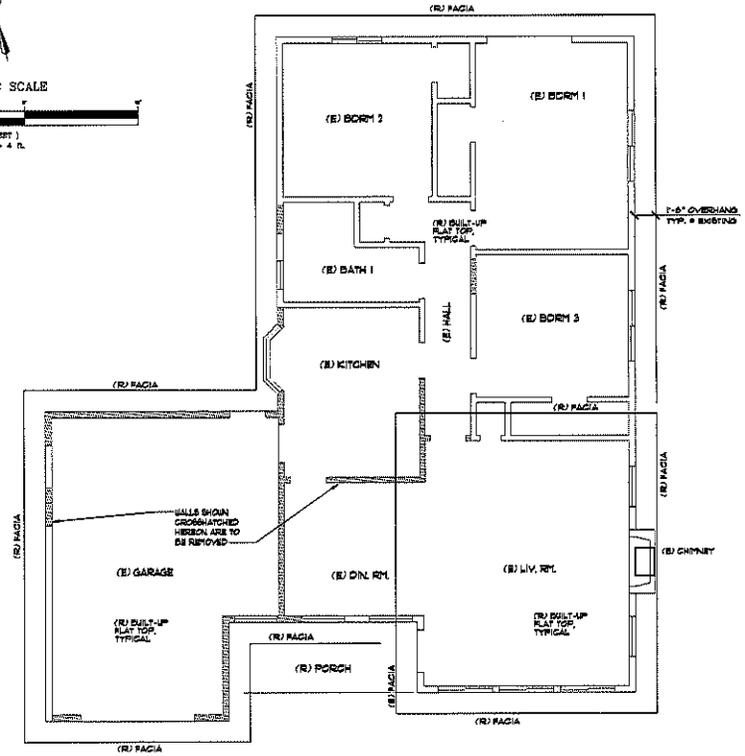
FLOOR PLAN NOTES:

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3. SITE IS RELATIVELY FLAT AND DRAINS. CONTRACTOR SHALL MAINTAIN DRAINAGE.
4. NO WORK SHALL TAKE PLACE UNTIL THE NECESSARY PERMITS ARE SECURED.
5. ALL DEMOLITION MATERIALS SHALL BE DISPOSED OF AT A LEGAL DISPOSAL SITE.
6. UTILITIES SHALL BE RELOCATED AS REQUIRED.



WALL LEGEND:

- EXISTING WALLS
- WALLS TO BE REMOVED



EXISTING ROOF/DEMOLITION PLAN
1/4" = 1'-0"

ROOF PLAN NOTES:

1. NO WORK SHALL TAKE PLACE UNTIL THE NECESSARY PERMITS ARE SECURED.
2. ALL DEMOLITION MATERIALS SHALL BE DISPOSED OF AT A LEGAL DISPOSAL SITE.

ATTACHMENT
Page 4 of 9

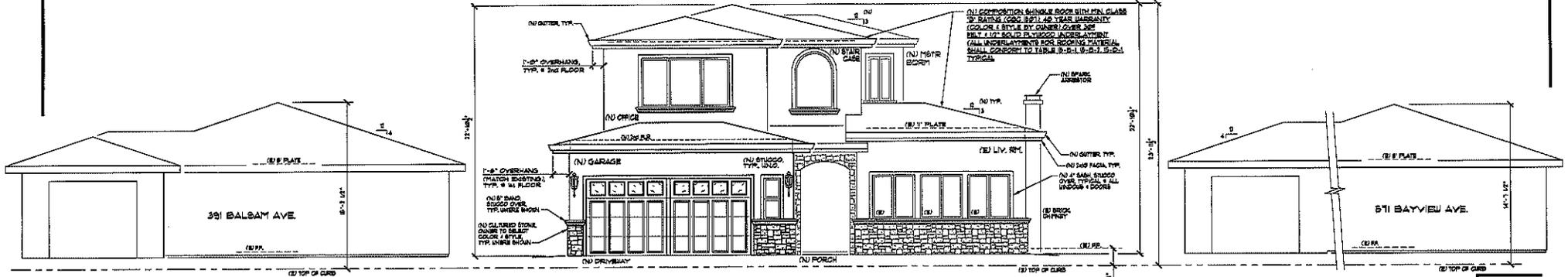
No	Revision	By

DESIGNED and BUILT BY
Via Builders, Inc.
 4802 B. Conde Blvd., Ste. 200
 Los Alamitos, CA 94024-1028
 Phone: 949-448-1077
 Fax: 949-448-1077

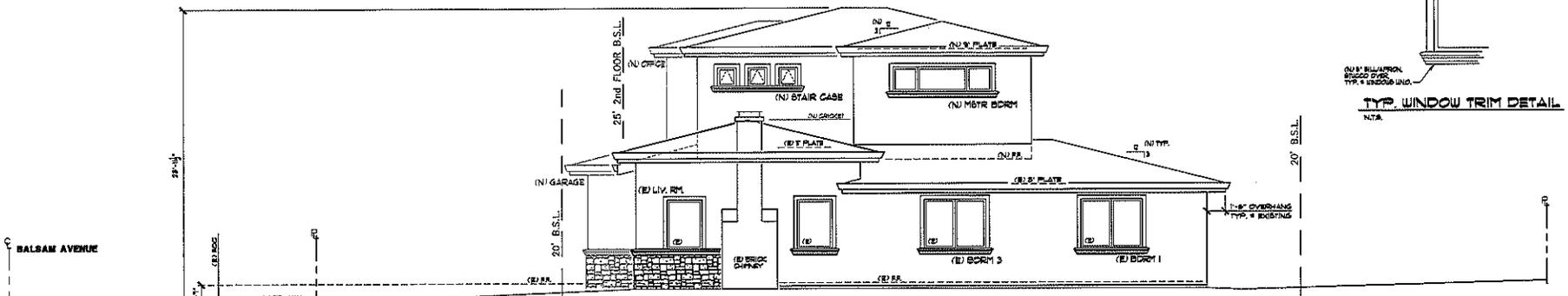
Via

EXISTING FLOOR and ROOF DEMOLITION PLANS
 RESIDENTIAL ADDITION and REMODEL for ENVI
 885 BALLSAM AVENUE
 SUNNYVALE, CALIFORNIA

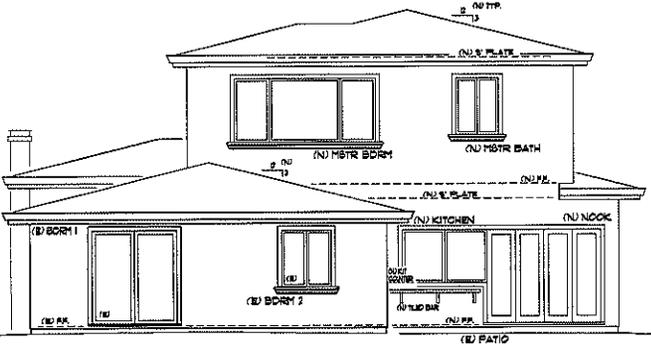
Date: 10/30/09
 Scale: 1/4"=1'-0"
 Design By: R.S.
 Job:
 Sheet
A3
 4 of 9



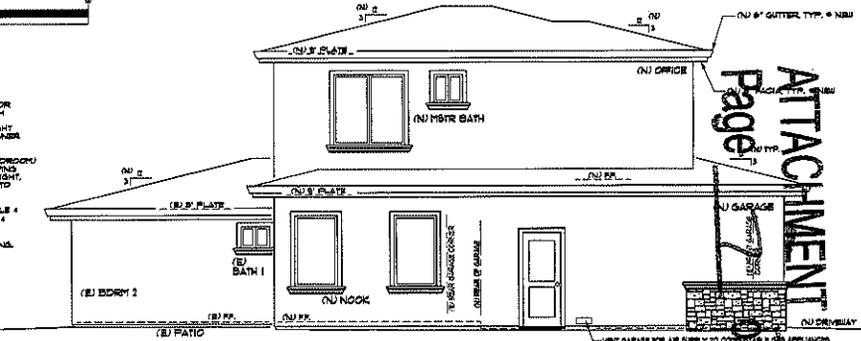
NEW FRONT/SOUTH ELEVATION VIEW
1/4" = 1'-0"



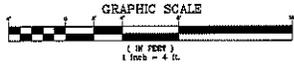
NEW RIGHT SIDE/EAST ELEVATION VIEW
1/4" = 1'-0"



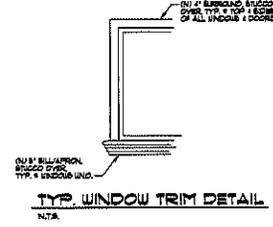
NEW REAR/NORTH ELEVATION VIEW
1/4" = 1'-0"



NEW LEFT SIDE/WEST ELEVATION VIEW
1/4" = 1'-0"



- NOTE:**
- UPON COMPLETION OF CONSTRUCTION ALL EXTERIOR SURFACES TO BE PAINTED SHALL BE PAINTED WITH ONE COAT OF PRIMER & TWO COATS OF EXTERIOR LATEX PAINT. SOLID COLORS SHALL BE PAINTED WITH A LIGHT REFLECTIVITY VALUE (L.R.V.) NOT EXCEEDING 40, UNLESS TO SELECT COLOUR.
 - BEDROOM WINDOWS (IN NO INTERIOR DOOR IN BEDROOM) SHALL PROVIDE WEATHERSTRIP SEALS FROM SLEEPING ROOMS. PER SECTION 304.4, MINIMUM 14" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SQ. FT. MIN. AREA & 44" MAX. TO 61.4" ARE REQUIRED.
 - NEW WINDOWS SHALL BE VINYL FRAME (CRABE STYLE) & COLOR PER OWNER. THERMO, DUAL PANE, TINTED & SCREENED.
 - FOR NEW ATTIC VENTILATION, SEE SECTIONS DRAWING.



No.	Revision	By
DESIGNED and BUILT BY Via Builders, Inc. 4900 B Cumbre Real, Ste. 200 Los Alamitos, CA 90620-1028 TEL: 949-449-1077		
NEW ELEVATION VIEWS RESIDENTIAL ADDITION AND REMODEL for ENVI 806 BALSAM AVENUE SUNNYVALE, CALIFORNIA		
Date: 10/30/09 Scale: 1/4"=1'-0" Design By: R.S. Job: _____ Sheet: A6 7 of 9		

ATTACHMENT
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