



**CITY OF SUNNYVALE
REPORT
Planning Commission**

February 8, 2010

SUBJECT: **2009-0874:** Application for a project located at **1560 Grackle Way** in an R-0 (Low Density Residential) Zoning District (APN: 309-33-009):

Motion Design Review to allow a 1,469 square foot addition to an existing 2,018 square foot home totaling 3,487 square feet with 56% Floor Area Ratio.

REPORT IN BRIEF

Existing Site Conditions Single-Family Residence

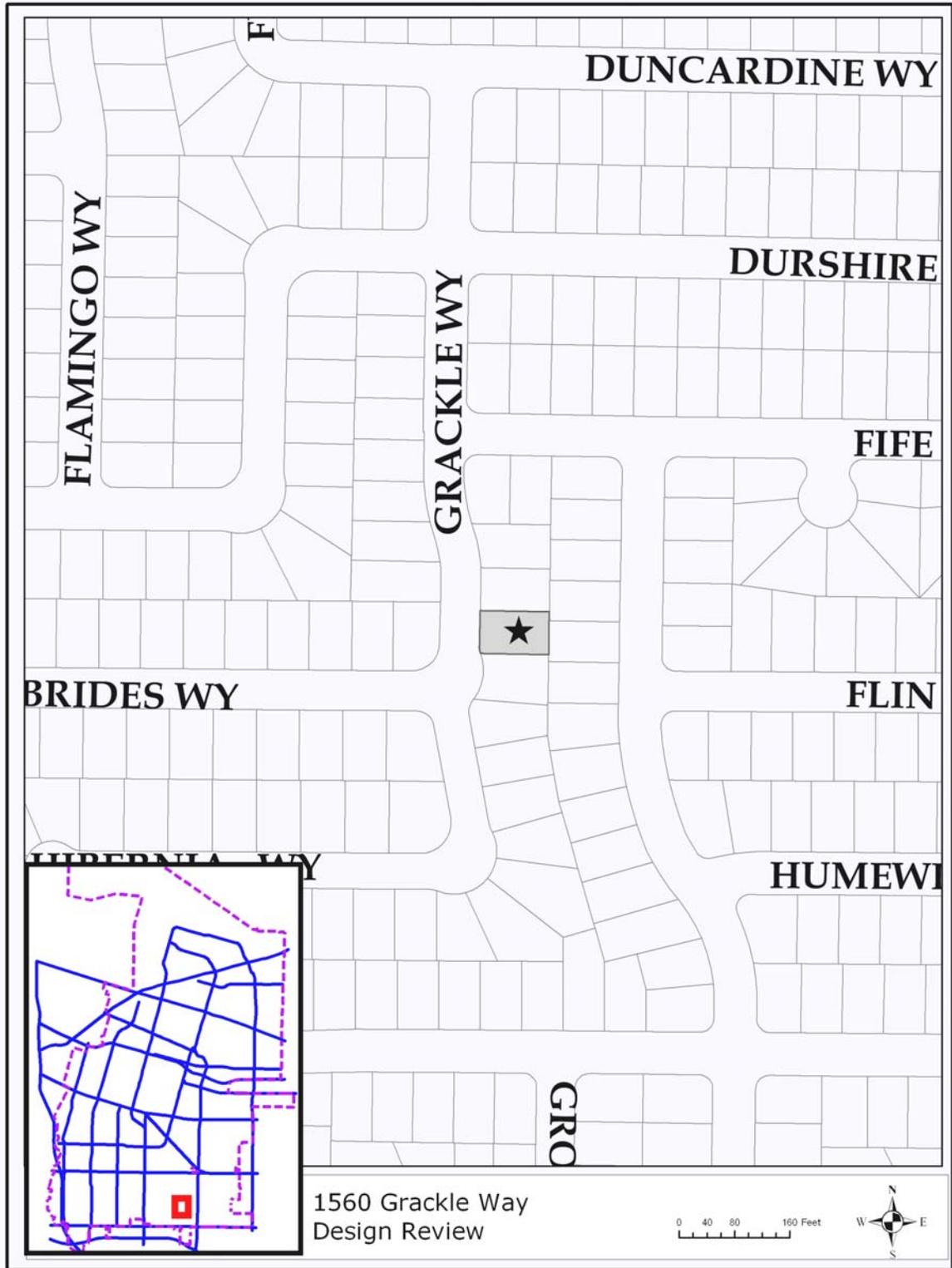
Surrounding Land Uses

| | |
|-------|-------------------------|
| North | Single-Family Residence |
| South | Single-Family Residence |
| East | Single-Family Residence |
| West | Single-Family Residence |

Issues Neighborhood Compatibility

Environmental Status A Class 1 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines.

Staff Recommendation Approval with Conditions



PROJECT DATA TABLE

| | EXISTING | PROPOSED | REQUIRED/ PERMITTED |
|--------------------------------|-------------------------|-----------------|--------------------------------|
| General Plan | Residential Low Density | Same | Residential Low Density |
| Zoning District | R-O | Same | R-O |
| Lot Size (s.f.) | 6,192 | Same | 6,192 |
| Gross Floor Area (s.f.) | 2,018 | 3,487 | 2,786 |
| Lot Coverage (%) | 33% | 38% | 45% max. |
| Floor Area Ratio (FAR) | 33% | 56% | 45% threshold |
| Building Height (ft.) | 15' | 24' | 30' max. |
| No. of Stories | 1 | 2 | 2 max. |
| Setbacks | | | |
| First Floor: | | | |
| Front | 20' | 20' | 20' |
| Right Side | 7' | 7' | 4' |
| Left Side | 8' | 8' | 8' |
| Combined Side | 15' | 15' | 12' |
| Second Floor: | | | |
| Front | N/A | 39' | 25' |
| Right Side | N/A | 7' | 7' |
| Left Side | N/A | 13' | 11' |
| Combined Side | N/A | 20' | 18' |
| Rear: | 25' | 25' | 20' min. |
| Parking | | | |
| Total Spaces | 4 | 4 | 4 min. |
| Covered Spaces | 2 | 2 | 2 min. |

ANALYSIS**Description of Proposed Project**

The proposed project includes a first floor addition of 480 square feet to the front and rear of the existing home and a new second floor of 989 square feet for a total floor area of 3,487 square feet. The rear addition contains a vaulted ceiling greater than 15 feet in height and is double counted; the rear addition

area is 325 square feet plus 155 square feet for the area over 15 feet. The resulting Floor Area Ratio (FAR) will be 56%, which triggers review by the Planning Commission.

Background

Previous Actions on the Site: The existing home was originally constructed in the 1960's and no other significant changes have been made to the structure.

Environmental Review

A Class 1 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines. The proposed additions are exempt in that the proposed project will result in floor area of 3,487 square feet, is located in an area where existing public services are available and the area is not an environmentally sensitive area.

Design Review

Site Layout: The subject property is located near the corner of Grackle Way and Hebrides Way, immediately adjacent to 1564 Grackle Way, which was reviewed by the Planning Commission on January 25, 2010. The proposed first floor additions are modest and will slightly extend the footprint of the structure at the front and rear of the structure.

Architecture: The existing home is a 1960 ranch style home which is adjacent to homes with a more contemporary architectural style and larger floor area ratios (FAR). The subject property lends itself to being in a transitional area, which allows for flexibility in the design and FAR. The proposed additions will accommodate additions to the ground floor and a new family room, new master suite and new bedroom. The resulting floor area for the structure will be 3,487 with a FAR of 56%.

The applicant has worked with staff to address the mass of the rear elevation by changing the gable roof over the master suite to a hipped roof. Staff provided additional recommendations, in which the applicant and staff decided that they would be brought the attention of the Planning Commission for decision. As noted above, the home is adjacent to a much more contemporary style allowing some discretion and flexibility with design. The additional concerns that staff raised included the following:

- *The size of the second floor:* The Single-Family Design Techniques state that the second floor should not exceed 35% of the first floor. The second floor is proposed at 42% of the first floor. During the initial review staff had recommended that the entire proposed addition be reduced by 100 square

feet to bring it into closer compliance with the surrounding FAR of the neighborhood. In addition, staff had also recommended that the right side of the second story be set back approximately 4 feet to address massing. However, due to recent Zoning Code changes, staff recommends that the Planning Commission consider requiring the additional 4 foot right side setback for the second floor. This would provide relief along the two story wall and reduced the apparent width of the second floor.

- *Front elevation:* The architectural elements proposed on the front elevation create a “busy” appearance due to the number of gable elements proposed. Staff recommended that second floor gable over the front bedroom be changed to a hipped gable to maintain the horizontal elements and further reduce the appearance of the second floor.

Solar Access: The applicant submitted a solar access and shadow analysis. According to the analysis, the proposed second story shades less than 9.94% of the neighboring roof to the east, where 10% is the maximum allowed.

Floor Area Ratio: The existing neighborhood on Grackle Way is bound by Hibernia Way and Fife Way and consists of a mix of ranch style homes to the north and west and contemporary homes to the south. The average FAR for neighborhood is 39%, while the average for the newer contemporary homes in the former Inverness School site is 47%. Floor Area Ratios for the immediate neighborhood have been included below for reference.

| Neighborhood FAR's | | | | | |
|--------------------|----------------|-----------|------------------|------------------|------------------|
| Address: | | | Lot Area (s.f.): | Building (s.f.): | Existing FAR: |
| 780 | Fife | Wy | 6,000 | 1,965 | 33% |
| 786 | Fife | Wy | 6,000 | 2,138 | 36% |
| 780 | Fife | Wy | 6,000 | 1,965 | 33% |
| 786 | Fife | Wy | 6,000 | 2,138 | 36% |
| 1535 | Grackle | Wy | 6,000 | 2,150 | 36% |
| 1541 | Grackle | Wy | 6,090 | 1,799 | 30% |
| 1546 | Grackle | Wy | 6,912 | 2,150 | 31% |
| 1547 | Grackle | Wy | 6,902 | 1,799 | 26% |
| 1553 | Grackle | Wy | 7,611 | 1,965 | 26% |
| 1554 | Grackle | Wy | 6,200 | 1,954 | 32% |
| 1560 | Grackle | Wy | 6,200 | 1,965 | 32% (54%) |
| 1564 | Grackle | Wy | 6,464 | 3,037 | 52% |
| 1568 | Grackle | Wy | 6,732 | 3,396 | 50% |
| 1571 | Grackle | Wy | 7,140 | 3,462 | 48% |

| Neighborhood FAR's | | | | | |
|--------------------|----------|----|------------------|------------------|---------------|
| Address: | | | Lot Area (s.f.): | Building (s.f.): | Existing FAR: |
| 1572 | Grackle | Wy | 6,090 | 2,974 | 49% |
| 1576 | Grackle | Wy | 6,090 | 2,974 | 49% |
| 1580 | Grackle | Wy | 6,510 | 3,183 | 49% |
| 739 | Hebrides | Wy | 6,000 | 2,150 | 36% |
| 741 | Hebrides | Wy | 6,000 | 1,954 | 33% |
| 742 | Hebrides | Wy | 6,426 | 3,150 | 49% |

Although the proposed project will be the highest in the immediate area, the design has sited vaulted elements at the back of the home and used varied setbacks and elements to soften the appearance of the bulk and mass of the area while tying contemporary and ranch style elements into the design.

The following Guidelines were considered in analysis of the design review for the proposed project.

| Single Family Design Techniques | Comments |
|--|---|
| <i>2. Respect the scale, bulk and character of the homes in the adjacent neighborhood.</i> | The proposed additions are sited appropriately and the use of varied setbacks and architectural elements reduce the apparent mass of the structure. |
| <i>3.5 B Use roof forms, orientations and ridge heights similar to those in the adjacent neighborhood. For example, where nearby homes along a street front have prominent gables facing the street, include gable elements of a similar scale and pitch facing the street on the new home or addition.</i> | The addition uses roof forms that are compatible with the existing structure and surrounding homes. |
| <i>3.5 E. Keep first and second floor eave heights at the same general height as adjacent homes to minimize the visual bulk of the new construction. The recent desire for taller interior ceiling heights should be achieved through interior open spaces or cathedral ceilings, rather than taller exterior walls and higher eave heights, unless the taller heights are consistent with adjacent homes.</i> | The proposed addition maintains the existing plate and eave heights complimenting the existing structure and neighborhood. |

| Single Family Design Techniques | Comments |
|--|--|
| 3.6 A. <i>New homes and additions to existing structures should be located to minimize blockage of sun access to living spaces and actively used outdoor areas on adjacent homes.</i> | The proposal is a one story addition to the rear of the home, minimizing any solar access impacts. |
| 3.6 C. <i>Windows should be placed to minimize views into the living spaces and yard spaces near neighboring homes. When windows are needed and desired in side building walls, they should be modest in size and not directly opposite windows on adjacent homes.</i> | The proposed second floor addition will have minimal privacy impacts since side windows have been placed in areas that are not as frequently used. |
| 3.7 <i>Use materials that are compatible with the neighborhood.</i> | The proposed materials will be visually similar to other materials found in the neighborhood. |

Landscaping: There is one existing oak tree located on the north side of the rear yard, which is not proposed to be removed. A condition of approval requiring tree protection has been added.

Parking/Circulation: The proposed project meets parking requirements with two covered spaces and two uncovered spaces in the driveway area.

Compliance with Development Standards/Guidelines: The proposed project was designed to meet or exceed the development standards required in the R-0 zoning district, including setbacks, lot coverage and parking. This project requires review by the Planning Commission because it exceeds the staff-level review threshold of 45% FAR.

Single Family Home Design Techniques: As discussed in the “Architecture” section, the applicant’s proposed project generally complies with the design techniques. Staff has included additional changes to the design to address the comments in the “Architecture” section. Recommended condition of approval 3.A states the following:

- 3.A. The building permit plans shall incorporate the following changes which shall be subject to review and approval by the Director of Community Development prior to issuance of building permit:
- 1) Provide an additional 4 foot setback on the right side of the proposed second floor.
 - 2) The gable located over the new second floor bedroom shall be changed to a hipped roof element.

As noted, the neighborhood contains a mix of architectural styles which does allow some flexibility in the design. If the Planning Commission decides that

there is enough flexibility in the architectural styles, then the added condition may be removed (see Alternative 2).

Expected Impact on the Surroundings: The proposed project will have minimal impacts on the surrounding properties. It has been designed in a manner that is sensitive to the surrounding architecture and neighborhood pattern and scale.

Fiscal Impact

No fiscal impacts other than normal fees and taxes are expected.

Public Contact

At the time of the staff report, staff did not received any additional comments.

| Notice of Public Hearing | Staff Report | Agenda |
|--|---|---|
| <ul style="list-style-type: none"> • Published in the <i>Sun</i> newspaper • Posted on the site • 24 notices mailed to property owners and residents adjacent to the project site | <ul style="list-style-type: none"> • Posted on the City of Sunnyvale's Web site • Provided at the Reference Section of the City of Sunnyvale's Public Library | <ul style="list-style-type: none"> • Posted on the City's official notice bulletin board • Posted on the City of Sunnyvale's Web site |

Conclusion

The proposed addition will result in a home that is slightly larger than the other homes found in the neighborhood, staff finds that the project is a reasonable request to provide additional living space, while respecting the character the neighborhood. The project has been designed to meet all development standards required in the R-0 Zoning district.

Findings and General Plan Goals: The Findings are located in Attachment A. Staff is recommending the Conditions of Approval shown in Attachment B.

Alternatives

1. Approve the Design Review with the conditions in Attachment B.
2. Approve the Design Review with the conditions in Attachment B, striking condition 3A.

3. Approve the Design Review with modified conditions.
4. Deny the Design Review and provide direction to staff and the applicant where changes should be made.

Recommendation

Alternative 1.

Prepared by:

Shaunn Mendrin
Project Planner

Reviewed by:

Steve Lynch
Senior Planner

Attachments:

- A. Recommended Findings
- B. Recommended Conditions of Approval
- C. Site and Architectural Plans
- D. Color Rendering

Recommended Findings – Design Review

The proposed project is desirable in that the project's design and architecture conforms with the policies and principles of the Single Family Home Design Techniques.

| Single Family Design Techniques | Comments |
|--|---|
| <i>2. Respect the scale, bulk and character of the homes in the adjacent neighborhood.</i> | The proposed additions are sited appropriately and the use of varied setbacks and architectural elements reduce the apparent mass of the structure. |
| <i>3.5 B Use roof forms, orientations and ridge heights similar to those in the adjacent neighborhood. For example, where nearby homes along a street front have prominent gables facing the street, include gable elements of a similar scale and pitch facing the street on the new home or addition.</i> | The addition uses roof forms that are compatible with the existing structure and surrounding homes. |
| <i>3.5 E. Keep first and second floor eave heights at the same general height as adjacent homes to minimize the visual bulk of the new construction. The recent desire for taller interior ceiling heights should be achieved through interior open spaces or cathedral ceilings, rather than taller exterior walls and higher eave heights, unless the taller heights are consistent with adjacent homes.</i> | The proposed addition maintains the existing plate and eave heights complimenting the existing structure and neighborhood. |
| <i>3.6 A. New homes and additions to existing structures should be located to minimize blockage of sun access to living spaces and actively used outdoor areas on adjacent homes.</i> | The proposal is a one story addition to the rear of the home, minimizing any solar access impacts. |
| <i>3.6 C. Windows should be placed to minimize views into the living spaces and yard spaces near neighboring homes. When windows are needed and desired in side building walls, they should be modest in size and not directly opposite windows on adjacent homes.</i> | The proposed second floor addition will have minimal privacy impacts since side windows have been placed in areas that are not as frequently used. |
| <i>3.7 Use materials that are compatible with the neighborhood.</i> | The proposed materials will be visually similar to other materials found in the neighborhood. |

Recommended Conditions of Approval – Design Review

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following conditions of approval of this Permit:

Unless otherwise noted, all conditions shall be subject to the review of approval of the Director of Community Development.

1. GENERAL CONDITIONS

- A. The project shall be in conformance with the plans approved at the public hearing(s). Minor changes may be approved by the Director of Community Development. Major changes shall be subject to approval at a public hearing.
- B. The Conditions of Approval shall be reproduced on a page of the plans submitted for a Building permit for this project.
- C. The Design Review shall be null and void two years (Ordinance 2895-09) from the date of approval by the final review authority at a public hearing if the approval is not exercised, unless a written request for an extension is received prior to expiration date.
- D. The building permit plans shall be in substantial conformance with the approved plans and planning application.
- E. No trees are proposed for removal as part of this project. A separate tree removal permit shall be required for removal of protected trees in the future.
- F. A tree protection plan shall be submitted for any existing trees on the site. Provide an inventory and valuation of any trees proposed to be removed prior to issuance of building permits. The tree protection plan shall include measures noted in Sunnyvale Municipal Code Section 19.94.120 and at a minimum:
 - *Inventory:* An inventory shall be taken of all existing trees on the plan including the valuation of all ‘protected trees’ by a certified arborist, using the latest version of the “Guide for Plant Appraisal” published by the International Society of Arboriculture (ISA). All existing (non-orchard) trees shall be shown on the plans, indicating size and varieties, and clearly specify which are to be retained.

- *Fencing*: Provide fencing around the drip line of the trees that are to be saved and ensure that no construction debris or equipment is stored within the fenced area during the course of demolition and construction.

2. COMPLY WITH OR OBTAIN OTHER PERMITS

- A. Obtain Building Permits as required for all proposed demolition and construction.

3. DESIGN/EXTERIOR COLORS AND MATERIALS

- A. The building permit plans shall incorporate the following changes which shall be subject to review and approval by the Director of Community Development prior to issuance of building permit:
- 1) Provide an additional 4 foot setback on the right side of the proposed second floor.
 - 2) The gable located over the new second floor bedroom shall be changed to a hipped roof element.
- B. Final exterior building materials and color scheme are subject to review and approval of the Planning Commission/Director of Community Development prior to issuance of a building permit.



SHEET INDEX

- A1 TITLE SHEET, PROJECT INFO.
- A2 EXISTING & PROPOSED SITE PLANS
- A3 EXISTING FLOOR PLAN & ELEVATIONS
- A4 PROPOSED FLOOR PLANS
- A5 PROPOSED EXTERIOR ELEVATIONS
- A6 AM SHADOW ANALYSIS
- A7 PM SHADOW ANALYSIS

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF A 1325 SF ADDITION (325 SF AT FIRST FLR. & 989 SF AT 2ND FLR.) TO THE EXISTING SINGLE STORY HOME.

THE ADDITION AT THE FIRST FLR. WILL ACCOMMODATE A (N) FAMILY ROOM. THE (E) KITCHEN WILL BE RELOCATED TO THE (E) FAMILY ROOM AREA. THE 2ND STORY ADDITION WILL ACCOMMODATE TWO (N) BEDROOMS, 2 BATHROOMS & A LAUNDRY ROOM. THE (E) ROOF WILL BE REPLACED. THE FOUNDATION AND ROOF STRUCTURE WILL MATCH THE EXISTING ADJOINING SYSTEMS.

THE EXTERIOR FACADE OF THE HOUSE WILL BE UPGRADED WITH THE ADDITION OF A PORCH AND NEW FINISHES.

AREA CALCULATIONS

| | |
|---------------------|--------------------|
| LOT AREA | 6192 SF |
| (E) 1ST FLOOR | 1572 SF |
| (E) GARAGE | 446 SF |
| 1ST FLR. ADDITION | 325 SF |
| 2ND FLR. ADDITION | 989 SF |
| TOTAL PROPOSED AREA | 3332 SF |
| F.A.R. | 54% (EXISTING 28%) |
| LOT COVERAGE | 38% (EXISTING 36%) |

PROJECT DATA

| | |
|----------------------|----------|
| APN | 30933009 |
| ZONING | R-O |
| TYPE OF CONSTRUCTION | V-N |



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 design@2arch.com

**KEDIA RESIDENCE
 ADDITION & REMODEL**

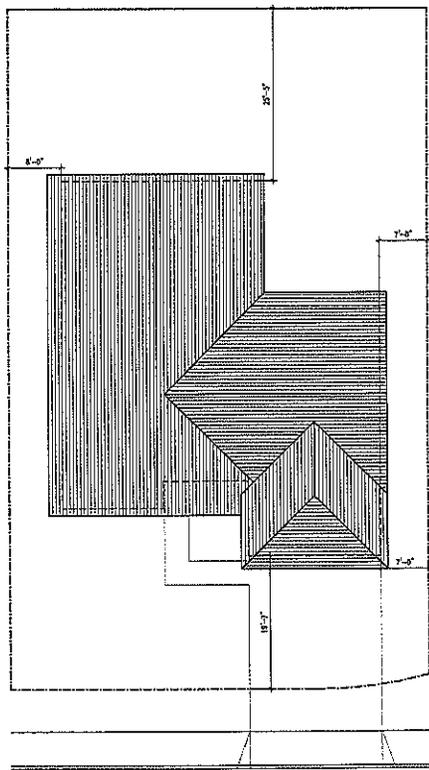
ASHWIN & MALINI KEDIA
 1660 GRACKLE WAY, SUNNYVALE, CA
 TEL NO. 408-775-9770

| | |
|-------------------------|------------|
| Issue | Date |
| DESIGN REVIEW SUBMITTAL | 11-04-2009 |
| DESIGN REVIEW SUBMITTAL | 12-07-2009 |

**TITLE SHEET &
 PROJECT INFO.**

| | |
|----------------|----------------------|
| Project No: -- | Date: 10-02-2009 |
| Drawn: SP | Checked: AS 10/15/09 |

A1

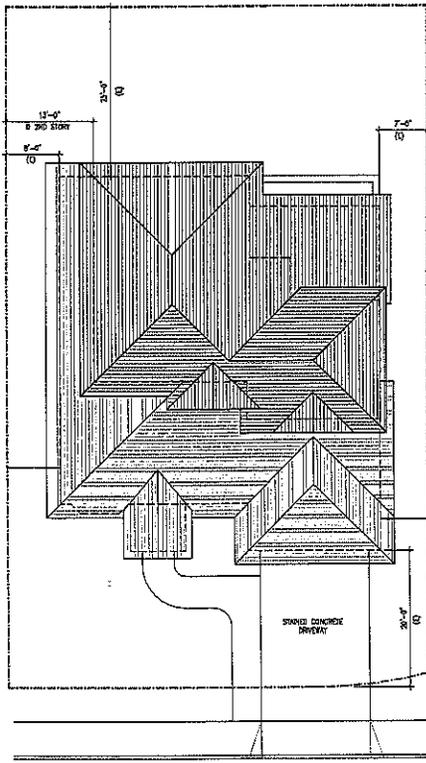


GRACKLE WAY



EXISTING SITE & ROOF PLAN

SCALE 1/8"=1'-0"



GRACKLE WAY



PROPOSED SITE & ROOF PLAN

SCALE 1/8"=1'-0"



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**KEDIA RESIDENCE
 ADDITION & REMODEL**

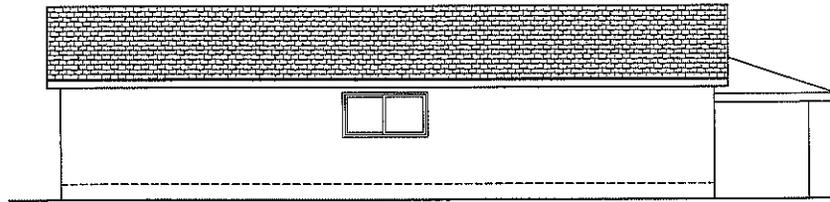
ASHWIN & MALINI KEDIA
 1560 GRACKLE WAY, SUNNYVALE, CA
 TEL NO. 408-773-9770

| | |
|-------------------------|----------|
| Revised | Drawn |
| DESIGN REVIEW SUBMITTAL | 11-04-09 |
| DESIGN REVIEW SUBMITTAL | 12-07-09 |

**EXISTING &
 PROPOSED
 SITE & ROOF PLANS**

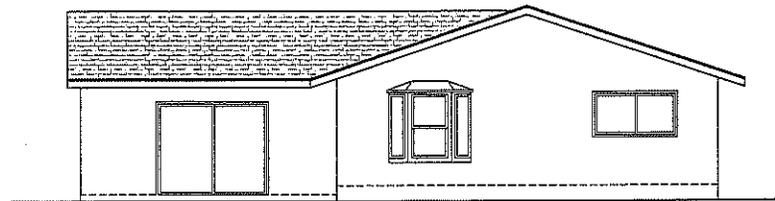
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| Project No. | Date |
| SP | 11-04-09 |
| Drawn | Scale |
| AS NOTED | AS NOTED |

A2



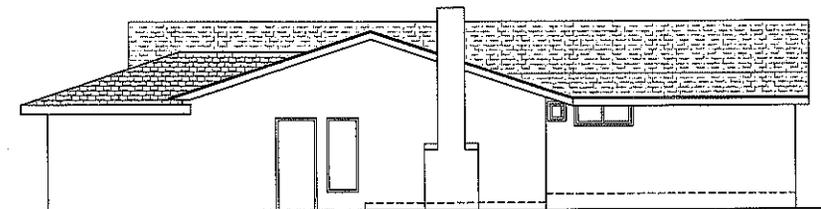
NORTH (LEFT) ELEVATION

SCALE 1/4"=1'-0"



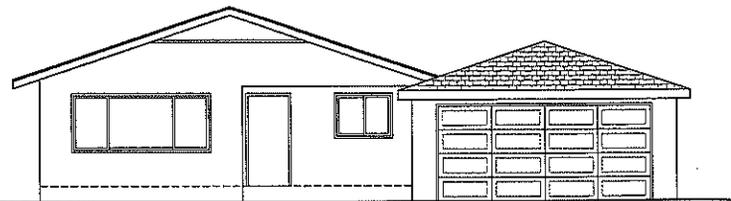
EAST (REAR) ELEVATION

SCALE 1/4"=1'-0"



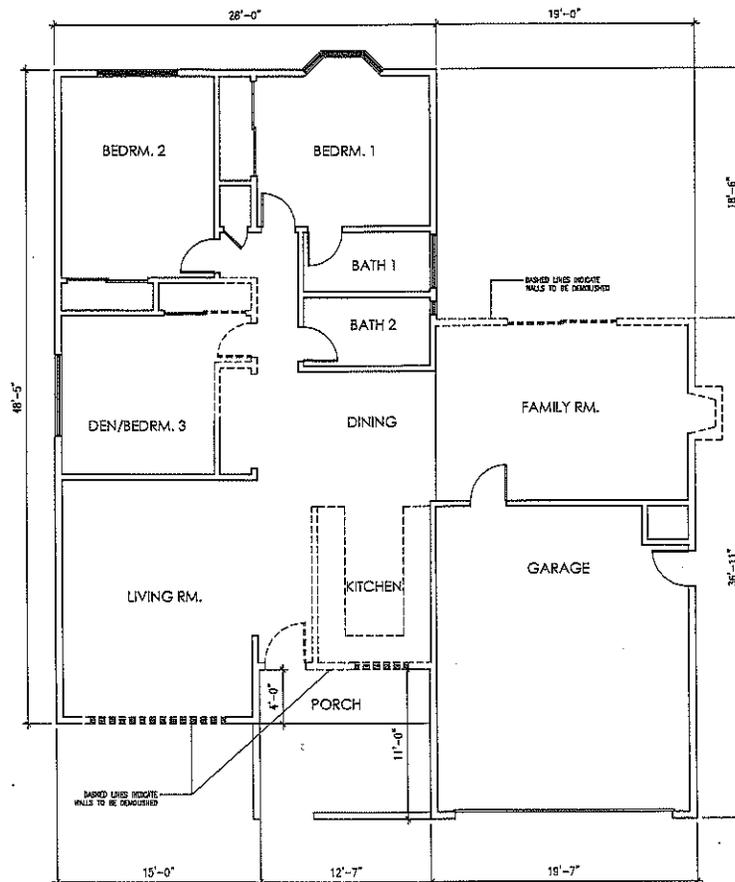
SOUTH (RIGHT) ELEVATION

SCALE 1/4"=1'-0"



WEST (FRONT) ELEVATION

SCALE 1/4"=1'-0"



WALL LEGEND

- (E) 2X STUD WALL TO BE REMOVED
- ===== (E) 2X STUD WALL TO REMAIN

EXISTING FIRST FLOOR PLAN

SCALE 1/4"=1'-0"



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| Date | Description |
|------------|-------------------------|
| 11-04-2023 | DESIGN REVIEW SUBMITTAL |
| 12-07-2022 | DESIGN REVIEW SUBMITTAL |

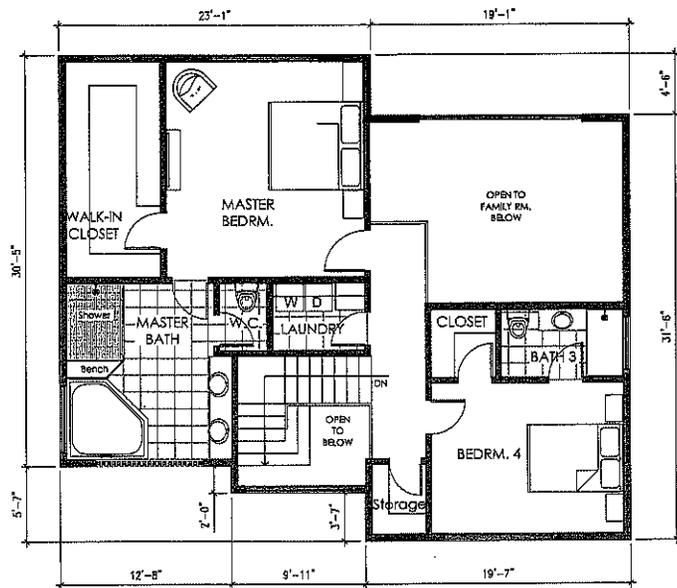
**EXISTING
 FLOOR PLAN &
 ELEVATIONS**

| | |
|---------------|----------------|
| Project No. - | Date 11-04-09 |
| Drawn SP | Scale AS NOTED |

A3



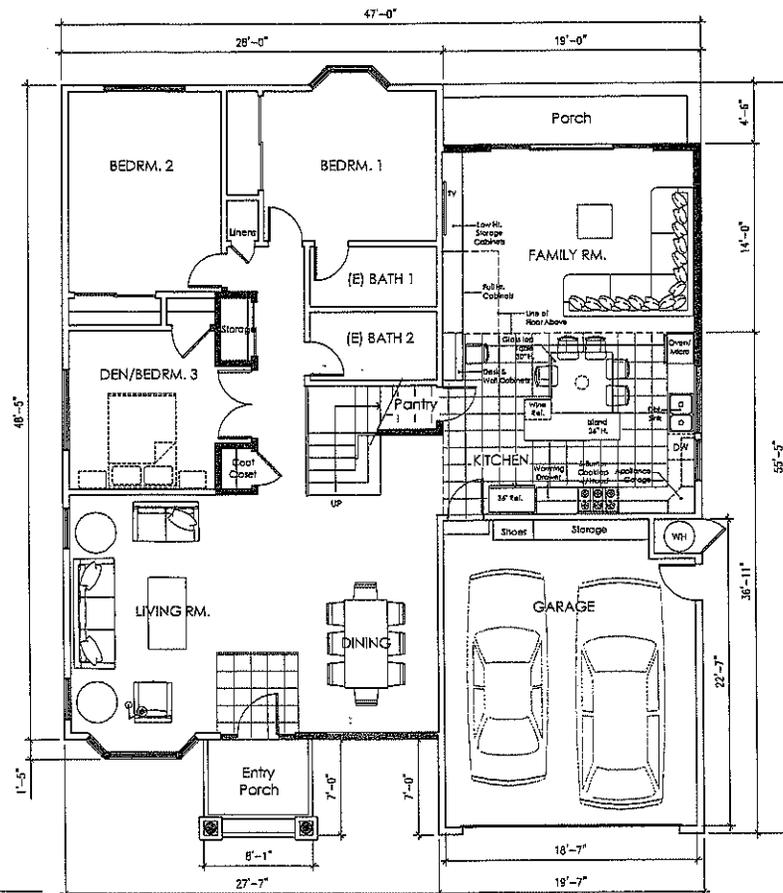
NORTH



WALL LEGEND
 (N) 2X STUD WALL
 (E) 2X STUD WALL TO REMAIN

PROPOSED SECOND FLOOR PLAN

SCALE 1/4"=1'-0"



PROPOSED FIRST FLOOR PLAN

SCALE 1/4"=1'-0"



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**KEDIA RESIDENCE
 ADDITION & REMODEL**

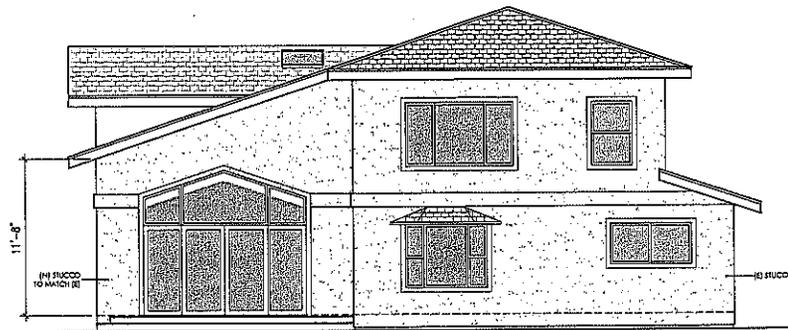
ASHWIN & MALINI KEDIA
 1580 GRACKLE WAY, SUNNYVALE, CA
 TEL. NO. 408-773-8770

| Issue | Date |
|-------------------------|------------|
| DESIGN REVIEW SUBMITTAL | 11-01-2009 |
| DESIGN REVIEW SUBMITTAL | 12-01-2009 |

**PROPOSED
 FLOOR PLANS**

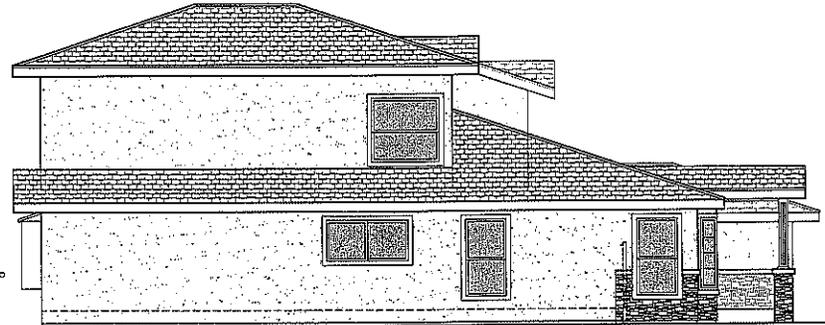
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| Project No. -- | Date: 11-01-09 |
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A4



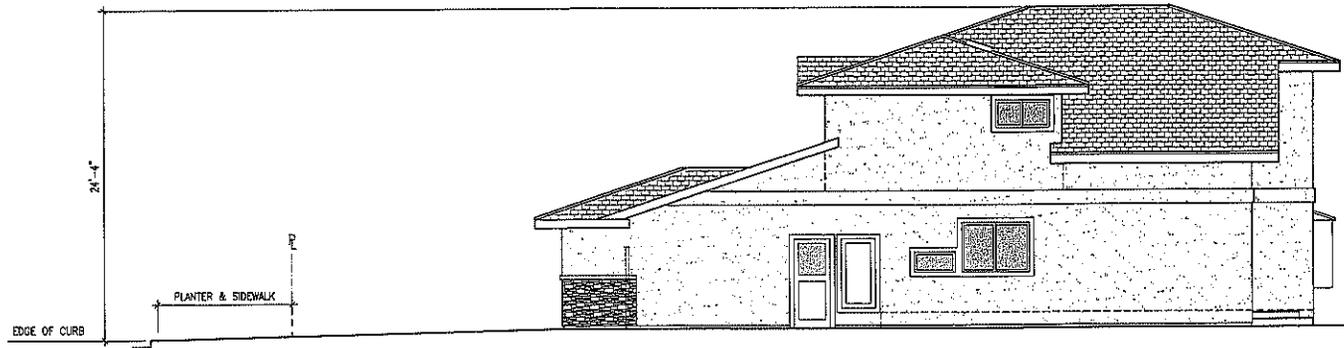
EAST (REAR) ELEVATION

SCALE 1/4"=1'-0"



NORTH (LEFT) ELEVATION

SCALE 1/4"=1'-0"



SOUTH (RIGHT) ELEVATION

SCALE 1/4"=1'-0"



WEST (FRONT) ELEVATION

SCALE 1/4"=1'-0"

EXTERIOR FINISHES

- ROOF: MONIER LIFE TILE
 CONCRETE ROOF TILE
 COLOR: HARTFORD SLATE-TOFFEE
- WALL FINISH: LA HABRA STUCCO,
 COLOR: CLAY
 FINISH: MEDIUM DASH TEXTURE
- WINDOWS: MARVIN
 ALUMINUM CLAD WOOD WINDOWS
 COLOR: WHITE
- STONE VENEER: EL DORADO STONE
 STACKED STONE
 COLOR: DESERT BROWN
- STONE SILL: EL DORADO STONE,
 WAINSCOT SILL STRAIGHT
 COLOR: EARTH



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KEDIA RESIDENCE
 ADDITION & REMODEL

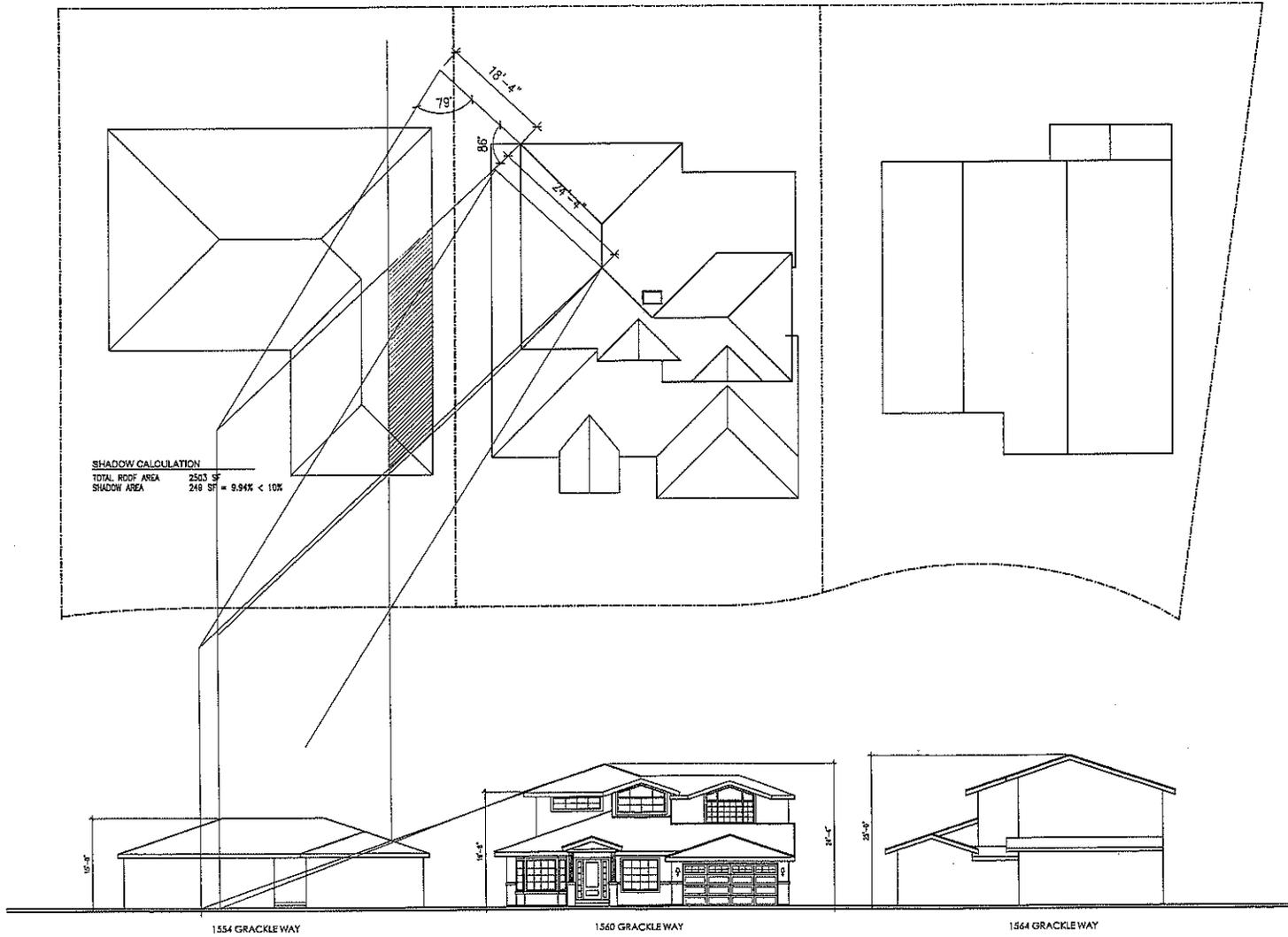
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| DESIGN REVIEW SUBMITTAL | 11-04-2009 |
| DESIGN REVIEW SUBMITTAL | 12-07-2009 |

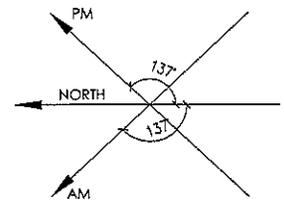
PROPOSED
 ELEVATIONS

| | |
|---------------|-----------------|
| Project No. - | Date: 11-04-09 |
| Drawn: SP | Scale: AS NOTED |

A5



SHADOW CALCULATION
 TOTAL ROOF AREA 2503 SF
 SHADOW AREA 216 SF = 8.64% < 10%





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**KEDIA RESIDENCE
 ADDITION & REMODEL**

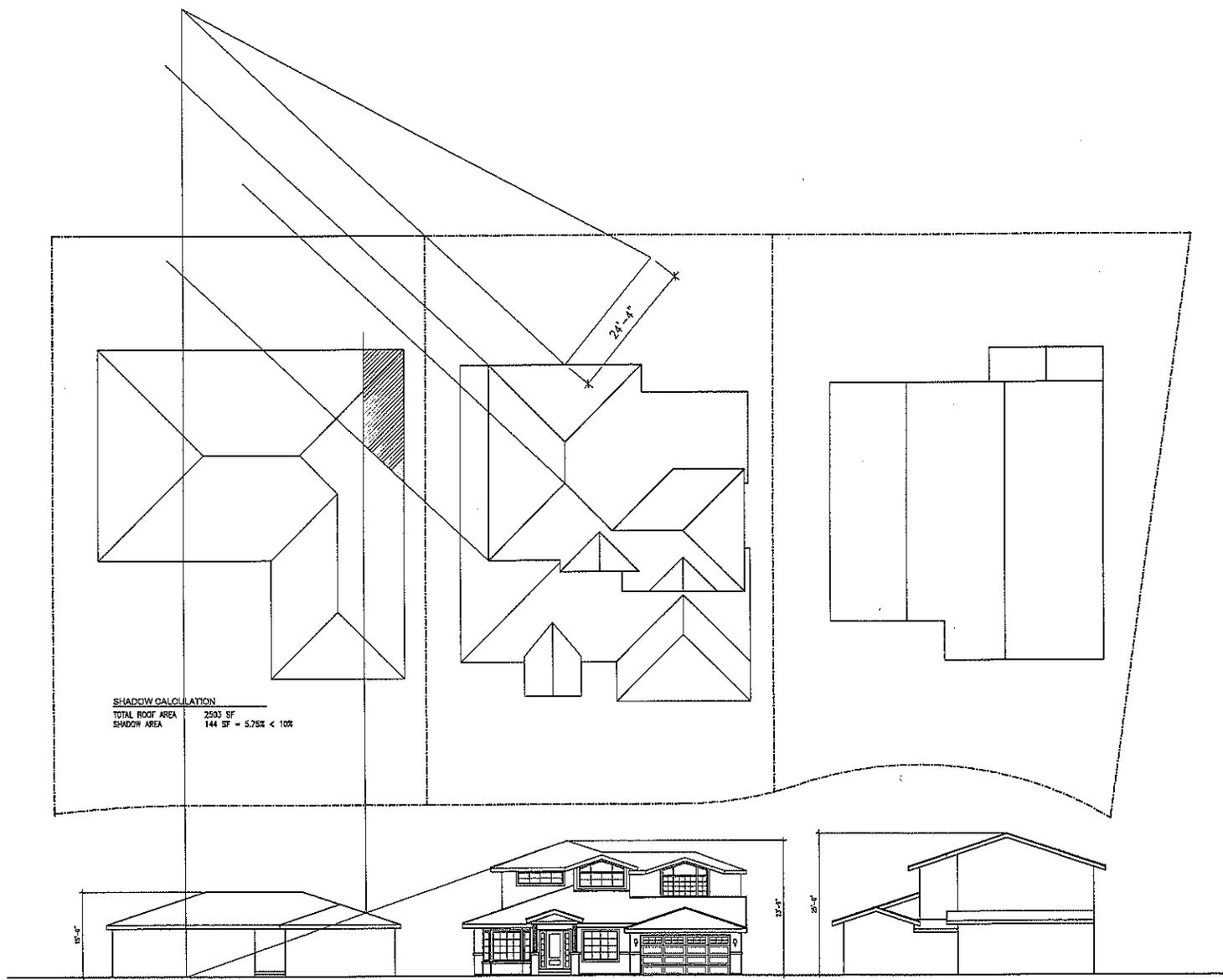
ASHWIN & MALINI KEDIA
 1560 GRACKLE WAY, SUNNYSVALE, CA
 TEL. NO. 408-773-8770

| Issue | Date |
|-------------------------|------------|
| DESIGN REVIEW SUBMITTAL | 11-04-2009 |
| DESIGN REVIEW SUBMITTAL | 12-07-2009 |

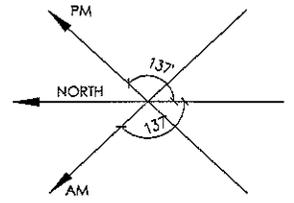
**AM
 SHADOW ANALYSIS**

| | |
|---------------|-----------------|
| Project No. - | Date: 11-04-09 |
| Drawn: SP | Scale: AS NOTED |

A6



SHADOW CALCULATION
 TOTAL ROOF AREA 2593 SF
 SHADOW AREA 144 SF = 5.78% < 10%





4415 DOWELL ROAD
 SUITE 210-C
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 design@2arch.com

**KEDIA RESIDENCE
 ADDITION & REMODEL**

ASHWIN & MALINI KEDIA
 1560 GRACKLE WAY, SUNNYVALE, CA
 TEL. NO. 408-773-8770

| Revise | Date |
|-------------------------|----------|
| DESIGN REVIEW SUBMITTAL | 11-04-09 |
| DESIGN REVIEW SUBMITTAL | 12-23-09 |

**PM
 SHADOW ANALYSIS**

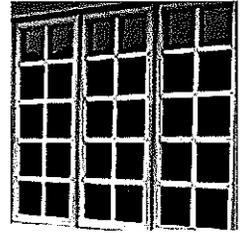
| | |
|----------------|-----------------|
| Project No: -- | Date: 11-04-09 |
| Drawn: SP | Scale: AS NOTED |

A7



ROOF TILE - Monier Life Tile
Concrete Roof Tile
Color: Hartford Slate - Toffee

WALL FINISH - La Habra Stucco
Color: Clay
Finish: Medium Dash Texture



WINDOWS - Marvin
Aluminum Clad Wood
Color: White



STONE SILL - El Dorado Stone
Wainscot Sill-Straight
Color: Earth



STONE VENEER - El Dorado Stone
Stacked Stone
Color: Desert Bloom



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KEDIA RESIDENCE
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ATTACHMENT D
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