



**CITY OF SUNNYVALE  
REPORT  
Planning Commission**

**March 22, 2010**

**SUBJECT:** **2009-0942:** Application for a project located at **727 Kenley Way** in an R-0 (Low Density Residential) Zoning District (APN: 309-45-034):

Motion Design Review to allow a 100 square foot first floor addition and a new 1,017 square foot second floor for a total of 3,294 square feet resulting in a Floor Area Ratio of 55%.

**REPORT IN BRIEF**

**Existing Site Conditions** One-Story Single-Family Home

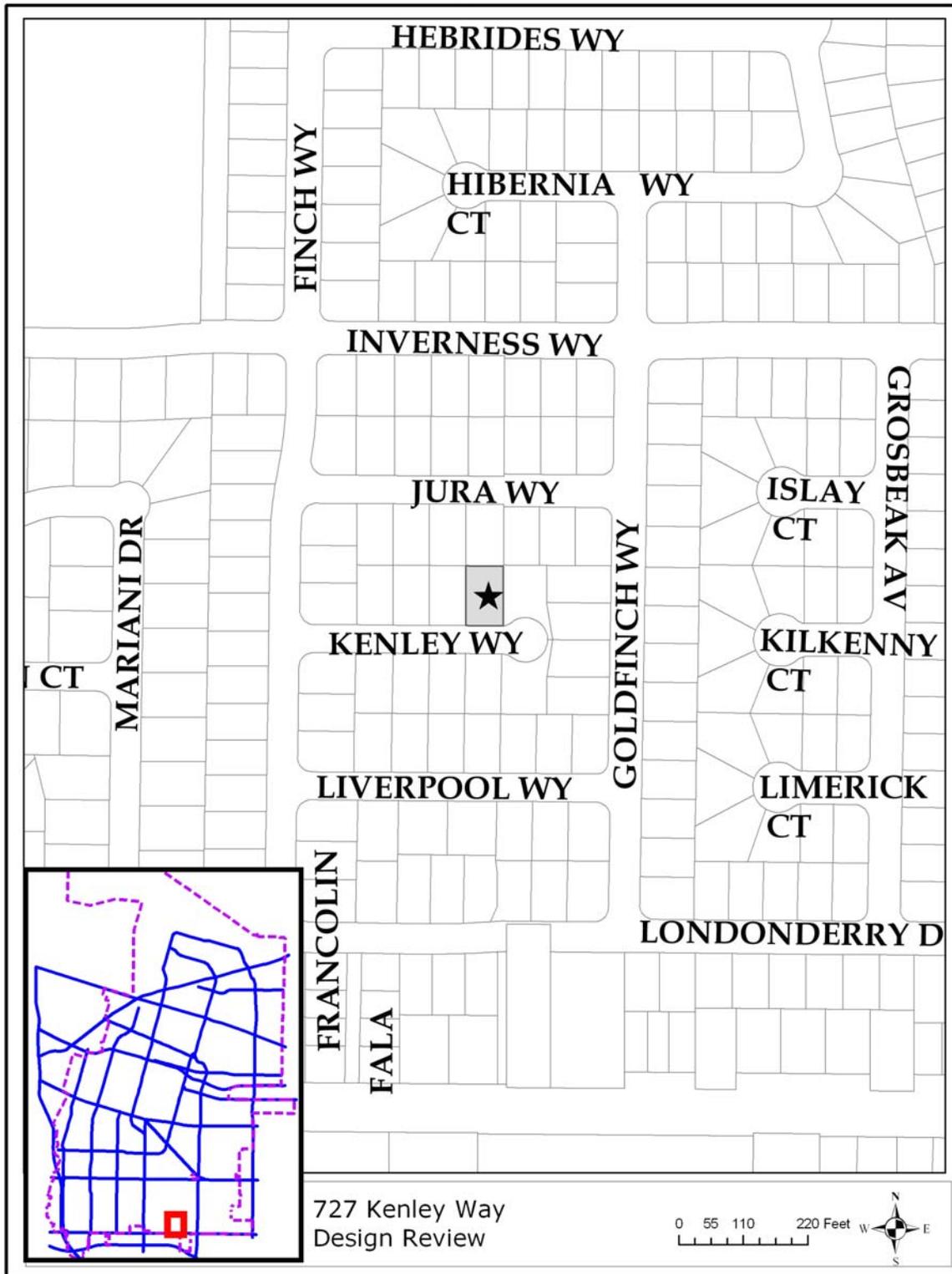
**Surrounding Land Uses**

North	Single-Family Home
South	Single-Family Home
East	Single-Family Home
West	Single-Family Home

**Issues** Architectural Compatibility with Neighborhood

**Environmental Status** A Class 3 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines.

**Staff Recommendation** Approve with conditions for design modification to the front façade.



**PROJECT DATA TABLE**

	<b>EXISTING</b>	<b>PROPOSED</b>	<b>REQUIRED/ PERMITTED</b>
<b>General Plan</b>	Residential Low Density	Same	Residential Low Density
<b>Zoning District</b>	R-0	Same	R-0
<b>Lot Size (s.f.)</b>	6,007	Same	6,000 min.
<b>Gross Floor Area (s.f.)</b>	1,959	3,294	3,600 max. without PC review
<b>Lot Coverage (%)</b>	26%	38%	40% max. for a two-story home
<b>Floor Area Ratio (FAR)</b>	33%	55%	45% max. without PC review
<b>Building Height (ft.)</b>	19'	28'8"	30' max.
<b>No. of Stories</b>	1	2	2 max.
<b>Setbacks</b>			
<b>Front (First)</b>	20'	20'	20' min.
<b>(Second)</b>	N/A	25'5"	25' min.
<b>Left Side (First)</b>	4'7"	4'7"	4' min.
<b>(Second)</b>	N/A	10'5"	7' min.
<b>Right Side (First)</b>	9'3"	9'3"	4' min.
<b>(Second)</b>	N/A	16'10"	7' min.
<b>Total Side Yard (First)</b>	13'10"	13'10"	12'3" total min.
<b>(Second)</b>	N/A	27'3"	18'3" total min.
<b>Rear (First)</b>	30'8"	25'3"	20' min.
<b>(Second)</b>	N/A	25'3"	20' min.
<b>Parking</b>			
<b>Total Spaces</b>	4	4	4 min.
<b>Covered Spaces</b>	2	2	2 min.

**ANALYSIS****Description of Proposed Project**

The applicant is proposing a remodel and addition to an existing 1,959 square foot (s.f.) single story residence. The project consists of a 100 s.f. single-story

addition and a new second floor of 1,017 s.f. for a total of 3,294 s.f. The proposed residence will total 55% floor area ratio (FAR).

### **Background**

**Previous Actions on the Site:** The existing home was originally constructed in the 1969's and no other significant changes have been made to the structure.

### **Environmental Review**

A Class 3 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines. Class 3 Categorical Exemptions includes construction of single-family homes.

### **Design Review**

**Floor Area Ratio and Neighborhood Compatibility:** The neighborhood consists of a mixture of one and two story homes, with a range of FARs and parcel sizes. Many of the existing one story homes in the neighborhood were originally constructed in 1969's and range from 32% to 45% FAR. More recently approved homes in the immediate neighborhood range from 43% to 53% FAR and have square footages from 2,669 to 3,577. In the greater neighborhood area, new or remodeled homes typically follow the same pattern. The following table shows data for the homes adjacent to the subject property:

<b>Address</b>	<b>Stories</b>	<b>Lot Size (s.f.)</b>	<b>Gross Floor Area (s.f.)</b>	<b>FAR (%)</b>
715 Kenley	1	6,007	1,962	33
719 Kenley	1	6,007	1,971	33
723 Kenley	2	6,007	2,669	45
<b>727 Kenley *</b>	<b>2</b>	<b>6,007</b>	<b>3,294</b>	<b>55</b>
729 Kenley	2	7,429	3,577	48
728 Kenley	2	7,160	3,577	50
722 Kenley	1	6,007	1,925	32
726 Kenley	1	6,007	1,962	33
718 Kenley	2	6,007	2,669	45
714 Kenley	1	6,007	1,971	33
1620 Finch	2	6,160	3,243	53
1640 Finch	2	6,055	2,587	43

\*Proposed Project

While the proposed design is larger in FAR than other homes in the immediate area, the square footage of the home is within the range of the larger homes on the street and in the vicinity.

**Architecture:** The addition is a contemporary architectural style with various hipped and gable roof elements, complementing the existing home. The second story steps back from the first story on the front, left, right, and rear elevations of the home. The material proposed for the exterior is stucco siding. See Attachment E for additional details.

The applicant has worked with staff to address the mass and architecture of the home in an effort to bring the proposal into conformance with the City's Single Family Design Techniques. Specifically the applicant has worked on the front and side elevations by modifying the roof forms and setback of the walls. Also, the applicant has designed the second story addition to be in the rear of the existing home in order to minimize the mass and scale impact as seen from the street. Finally, the total height of the residence was reduced from 30 feet to be only 28 feet 8 inches to help the addition blend with other existing second story residences in the neighborhood.

Staff provided the applicant additional recommendations, to which the applicant and staff decided that they would be brought the attention of the Planning Commission for decision. The additional concerns that staff raised included the following items which have been included as recommended conditions of approval in Attachment B:

1. The City's Single Family Design Techniques suggest that second floor balconies only be used when they do not intrude on the privacy of the adjacent properties. The proposed home has a total of three balconies. Staff believes the two balconies in the rear yard area will create privacy impacts with the neighbors to the rear and side. The right balcony (substantially projecting into rear yard area) is recommended to be eliminated since it will have a three-way privacy impact.
2. The front entrance of the home is a long unbroken wall that appears flat. This design does not appropriately display the architectural styling of the home and is not consistent with section 3.3 and 3.4 of the City's Single Family Design Techniques for guidance. The front must be redesigned and staff recommends the following:
  - The first floor front living area should be set in a minimum of two feet to provide articulation on the front elevation (not be in direct line with the garage). This will provide a basic articulation of the front elevation.
  - The front entry way element is uncomfortably tall and the gable peak above the door is out of scale with the home and surrounding homes. In addition, the front entrance and gable peak should be lowered two feet, so that they will be within two feet of the garage eaves. The front entrance will be required to project out a minimum of two feet to provide additional articulation.
  - The front façade of the second floor is currently a large blank wall with only two small windows. Staff recommends the addition of a

large window (above the interior master bath) that is similar in style with the bedroom #2 window.

- A three foot wainscoting comprised of a different material (brick, stone, etc.) should be placed along the front elevation, wrapping partially back (approximately four feet) on the left and right sides. This will introduce a second exterior material into the design.

The following Guidelines were considered in the analysis of the project architecture:

<b>Single Family Home Design Techniques (Architecture)</b>	<b>Comments</b>
<p><b>2.2 Basic Design Principles 2:</b> <i>Respect the scale, bulk and character of homes in the adjacent neighborhood.</i></p>	<p>While most of the residences on the street are smaller in FAR, the surrounding neighborhood contains many existing two story homes and similar square footages.</p>
<p><b>2.2 Basic Design Principles 3:</b> <i>Design homes to respect their immediate neighbors.</i></p>	<p>As conditioned to eliminate the balcony, the home will be compatible with the existing homes in the neighborhood.</p>
<p><b>3.5 Roofs J:</b> <i>Use roof forms for additions that blend comfortably with the roofs of the existing homes.</i></p>	<p>As conditioned, the proposed home will have a variety of roof lines that will be compatible with other homes in the neighborhood. The height of the home is 28 feet 8 inches where up to 30 feet is allowed.</p>
<p><b>3.5 Roofs E:</b> <i>Keep first and second floor eave heights at the same general height as adjacent homes to minimize the visual bulk of the new construction. The recent desire for taller interior ceiling heights should be achieved through interior open spaces or cathedral ceilings, rather than taller exterior walls and higher eave heights, unless the taller heights are consistent with adjacent homes.</i></p>	<p>As conditioned, the proposed second story roof line will be within two feet of the existing first story roofline, complimenting the existing home and neighboring homes.</p>

<b>Single Family Home Design Techniques (Architecture)</b>	<b>Comments</b>
<b>3.7 Materials G:</b> <i>Wall materials for additions should generally match those of the existing building.</i>	The exterior materials as conditioned will be compatible with other homes and in the neighborhood.

**Landscaping:** There are no landscaping requirements for single-family projects in the R-0 zoning district. No protected trees (greater than 38 inches in circumference) are proposed to be removed.

**Parking/Circulation:** The proposed project meets parking requirements with two covered spaces and two uncovered spaces in the driveway area.

**Solar Access:** The applicant submitted a solar access and shadow analysis. According to the analysis, the proposed second story shades less than 6.6% of the neighboring roof to the west, where 10% is the maximum allowed.

**Compliance with Development Standards/Guidelines:** The project, with the recommended conditions of approval, will meet or exceed the development standards required in the R-0 zoning district. No deviations from the Sunnyvale Municipal Code are requested. Additionally, the project as conditioned will meet most Single Family Home Design Techniques.

**Expected Impact on the Surroundings:** Staff does not expect that the proposed addition, with one of the rear balconies removed, will have a significant impact on the surrounding neighborhood. In addition, the second story square footage, location on the site, and architecture has been designed to minimize any new impacts.

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### **Fiscal Impact**

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No fiscal impacts other than normal fees and taxes are expected.

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### **Public Contact**

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<b>Notice of Public Hearing</b>	<b>Staff Report</b>	<b>Agenda</b>
<ul style="list-style-type: none"> <li>• Published in the <i>Sun</i> newspaper</li> <li>• Posted on the site</li> <li>• 42 notices mailed to property owners and residents within 200' of the project site.</li> </ul>	<ul style="list-style-type: none"> <li>• Posted on the City of Sunnyvale's Web site</li> <li>• Provided at the Reference Section of the City of Sunnyvale's Public Library</li> </ul>	<ul style="list-style-type: none"> <li>• Posted on the City's official notice bulletin board</li> <li>• Posted on the City of Sunnyvale's Web site</li> </ul>

One letter (email) was received in regard to this project and has been included in Attachment C.

### **Conclusion**

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**Findings and General Plan Goals:** Staff was able to make the required Findings, with the Recommended Conditions of Approval, based on the justifications for the Design Review. Findings and General Plan Goals are located in Attachment A.

**Conditions of Approval:** Conditions of Approval are located in Attachment B.

### **Alternatives**

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1. Approve the Design Review with the attached conditions.
2. Approve the Design Review with modified conditions.
3. Deny the Design Review.

### **Recommendation**

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Alternative 1: Approve the Design Review with the attached conditions.

Prepared by:

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Steve Lynch  
Project Planner

Reviewed by:

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Shaunn Mendrin  
Senior Planner

Attachments:

- A. Recommended Findings
- B. Recommended Conditions of Approval
- C. Letters from Neighbors
- D. Isometric Elevations of the Home
- E. Site and Architectural Plans

### **Recommended Findings – Design Review**

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The proposed project is desirable in that the project's design and architecture conforms to the policies and principles of the Single Family Home Design Techniques.

<b>Basic Design Principle</b>	<b>Comments</b>
<i>2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns.</i>	The orientation of the home is consistent with other homes in the neighborhood. The entryway feature as conditioned will be enhanced relative to the existing entry to be architecturally more significant.
<i>2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.</i>	As designed and conditioned, the proposed home is compatible with other homes in the neighboring in appearance and scale.
<i>2.2.3 Design homes to respect their immediate neighbors.</i>	The proposed home meets or exceeds all the required setbacks, has a reduced second floor area, and has windows designed to be sensitive to the adjoining neighbors. As conditioned, the balconies will not create a significant privacy impact to the adjacent neighbors.
<i>2.2.4 Minimize the visual impacts of parking.</i>	The residence has two-car parking in the garage area and two uncovered parking spaces in the front driveway.
<i>2.2.5 Respect the predominant materials and character of front yard landscaping.</i>	Front yard landscaping will be supplied at the discretion of the home owner, although the entire required front yard area will be landscaped in a manner consistent with the existing landscaping.
<i>2.2.6 Use high quality materials and craftsmanship.</i>	The design as conditioned, will utilize stucco and a second material for the wainscoting.
<i>2.2.7 Preserve mature landscaping.</i>	All existing trees will be saved.

<p><i>3.5 Roofs J: Use roof forms for additions that blend comfortably with the roofs of the existing homes.</i></p>	<p>As conditioned, the proposed home will have a variety of roof lines that will be compatible with other homes in the neighborhood. The height of the home is 28 feet 8 inches where up to 30 feet is allowed.</p>
<p><i>3.5 Roofs E: Keep first and second floor eave heights at the same general height as adjacent homes to minimize the visual bulk of the new construction. The recent desire for taller interior ceiling heights should be achieved through interior open spaces or cathedral ceilings, rather than taller exterior walls and higher eave heights, unless the taller heights are consistent with adjacent homes.</i></p>	<p>As conditioned, the proposed second story roof line will be within two feet of the existing first story roofline, complimenting the existing home and neighboring homes.</p>
<p><i>3.7 Materials G: Wall materials for additions should generally match those of the existing building.</i></p>	<p>The exterior materials as conditioned will be compatible with other homes and in the neighborhood.</p>

## **Recommended Conditions of Approval – Design Review**

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In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following conditions of approval of this Permit:

Unless otherwise noted, all conditions shall be subject to the review of approval of the Director of Community Development.

### **1. GENERAL CONDITIONS**

- A. The project shall be in conformance with the plans approved at the public hearing(s). Minor changes may be approved by the Director of Community Development. Major changes shall be subject to approval at a public hearing.
- B. The Conditions of Approval shall be reproduced on a page of the plans submitted for a Building permit for this project.
- C. The Design Review shall be null and void two years (Ordinance 2895-09) from the date of approval by the final review authority at a public hearing if the approval is not exercised, unless a written request for an extension is received prior to expiration date.
- D. The building permit plans shall be in substantial conformance with the approved plans and planning application.
- E. No trees are proposed for removal as part of this project. A separate tree removal permit shall be required for removal of protected trees in the future.
- F. A tree protection plan shall be submitted for any existing trees on the site. Provide an inventory and valuation of any trees proposed to be removed prior to issuance of building permits. The tree protection plan shall include measures noted in Sunnyvale Municipal Code Section 19.94.120 and at a minimum:
  - *Inventory*: An inventory shall be taken of all existing trees on the plan including the valuation of all ‘protected trees’ by a certified arborist, using the latest version of the “Guide for Plant Appraisal” published by the International Society of Arboriculture (ISA). All existing (non-orchard) trees shall be shown on the plans, indicating size and varieties, and clearly specify which are to be retained.
  - *Fencing*: Provide fencing around the drip line of the trees that are to be saved and ensure that no construction debris or equipment is stored within the fenced area during the course of demolition and construction.

**2. COMPLY WITH OR OBTAIN OTHER PERMITS**

- A. Obtain Building Permits as required for all proposed demolition and construction.

**3. DESIGN/EXTERIOR COLORS AND MATERIALS**

- A. The building permit plans shall incorporate the following changes which shall be subject to review and approval by the Director of Community Development prior to issuance of building permit:
1. The right balcony (leading off bedroom #3) substantially projecting into rear yard area shall be eliminated.
  2. The front elevation shall be redesigned to include the following:
    - The first floor front living area shall be set-in a minimum of two feet to offset the front elevation and not be in direct line with the garage.
    - The front entrance and gable peak shall be lowered two feet, so that they will be within two feet of the garage eaves. In addition, the front entrance shall project out a minimum of two feet to provide additional articulation.
    - The second story peak wall shall have a large window (above the interior master bath) that is similar in style with the bedroom #2 window.
    - A three feet wainscoting comprised of a different material (brick, stone, etc.) shall be placed along the front elevation, wrapping partially back (approximately four feet) on the left and right sides. This will introduce a second exterior material into the design.
- B. Final exterior building materials and color scheme are subject to review and approval of the Director of Community Development prior to issuance of a building permit

**Steve Lynch - File #2009-0942, 727 Kenley Way**

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**From:** <g'  
**To:** <slynch@ci.sunnyvale.ca.us>  
**Date:** 3/11/2010 10:57 AM  
**Subject:** File #2009-0942, 727 Kenley Way

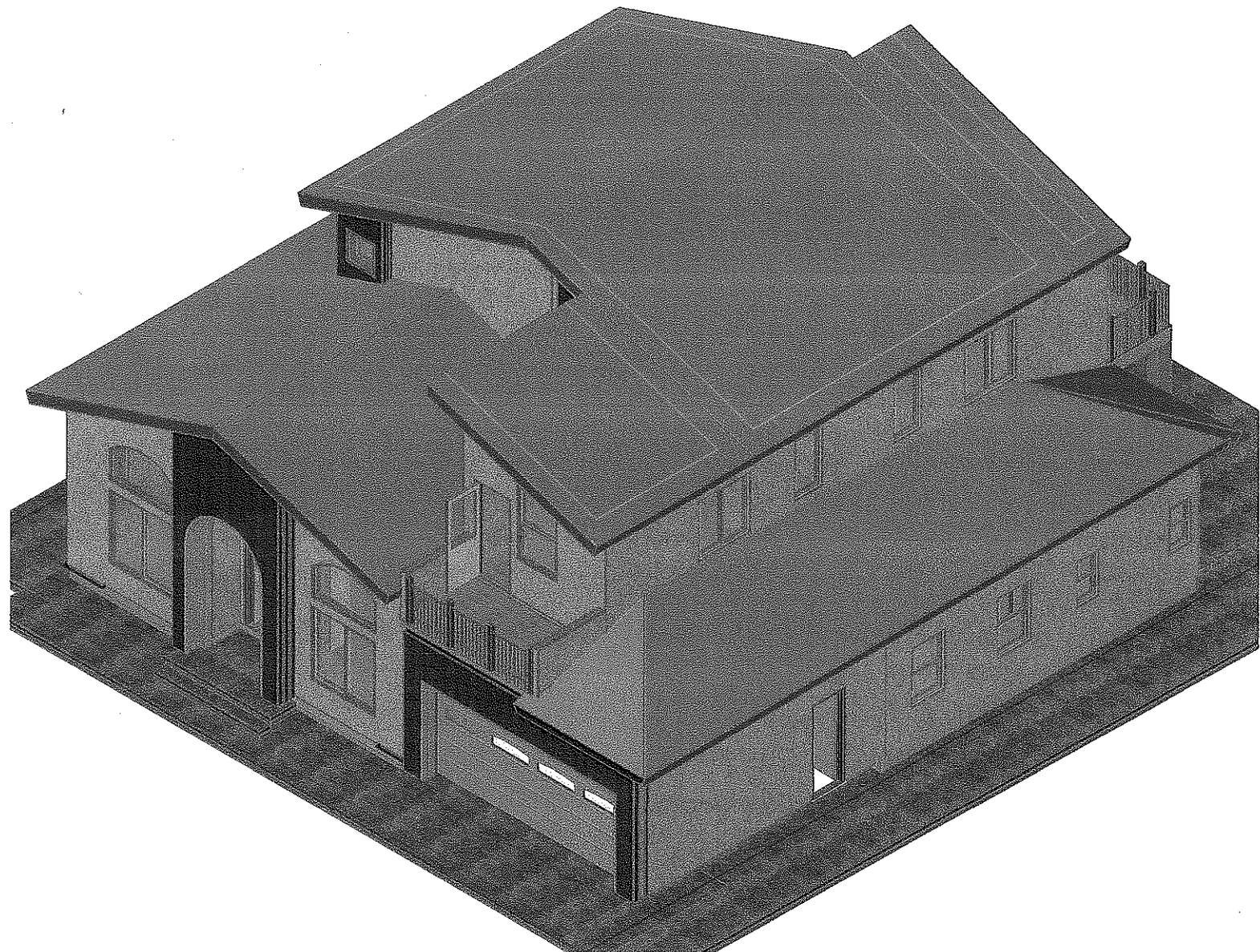
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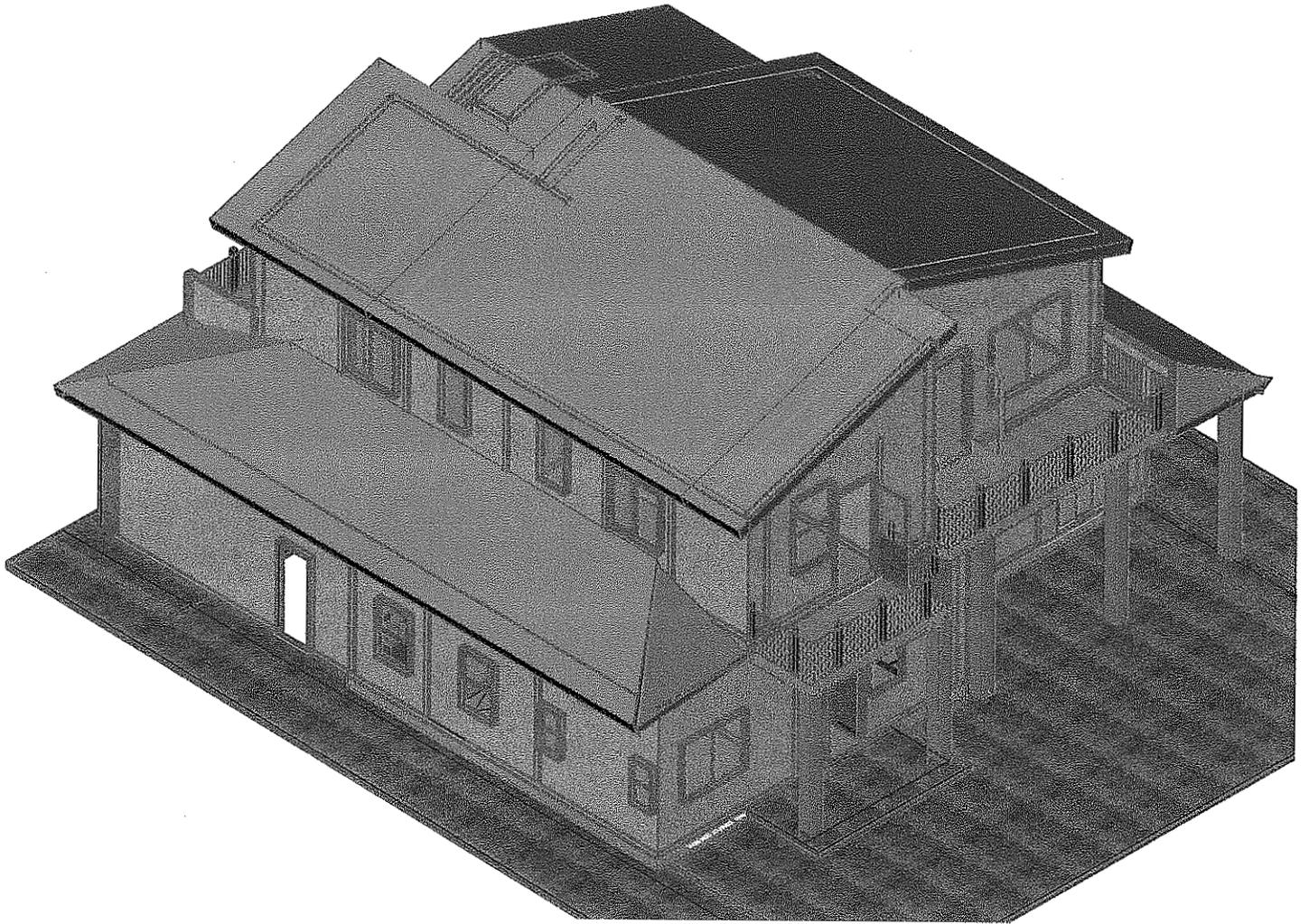
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Page   1   of   1  

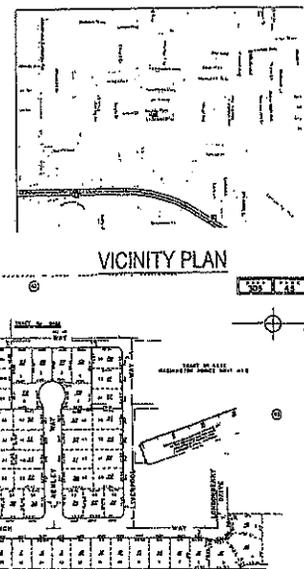
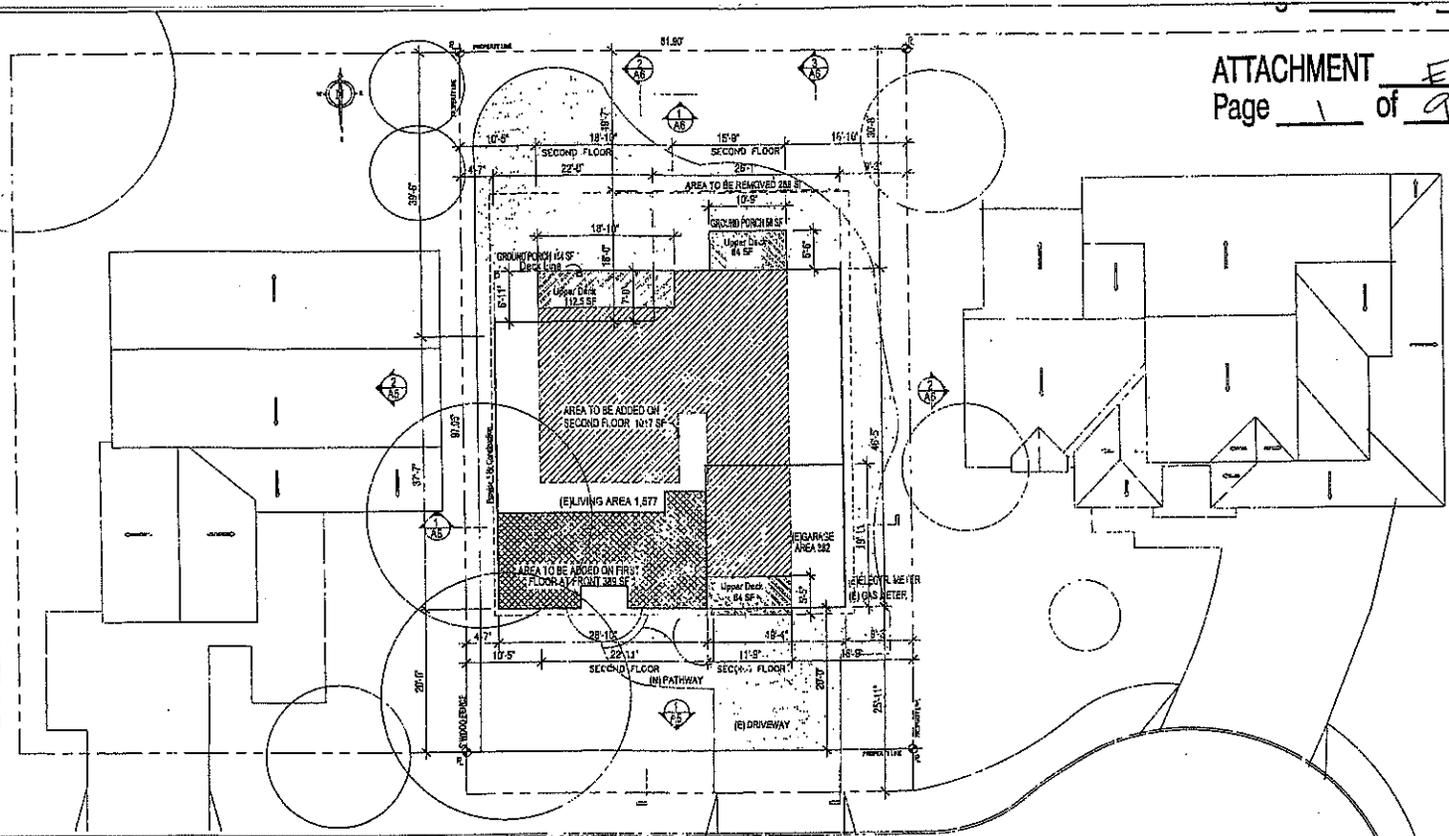
*Yes, I support this remodeling of 727 Kenley Way.  
Glenn Grigg  
736 Jura Way  
Sunnyvale, CA 94087*

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Diet Help  
[Cheap Diet Help Tips. Click here.](#)







LOCATION MAP  
APN #: 309-45-034

- SCOPE OF WORK:**
- 1,117 SF TWO STORY LIVING AREA ADDITION.
  - REMOVE 285 FROM REAR OF THE PROPERTY.
  - RELOCATE KITCHEN AT REAR.
  - BEDROOM ALTERATION TO GUEST BEDROOM w/ FULL BATH
  - ADD SOCIAL AREA'S AT FRONT OF THE HOUSE.
  - ADD THREE BEDROOMS ON SECOND FLOOR WITH FULL BATHROOM AND CLOSET.

**BUILDING DATA ZONING "R0"**

BUILDING OCCUPANCY: RESIDENTIAL  
TYPE OF CONSTRUCTION: V-N  
STORIES: 1  
PROPERTY ADDRESS: 2727 KENLEY WA  
SUNNYVALE, CA 940

APN: 309-45-034 TRACT No: 8LK  
LOT SIZE: 6,007 SF

**EXISTING STRUCTURE:**

EXISTING LIVING AREA	1,577 S
EXISTING TWO CAR GARAGE	382 S
EXISTING FRONT PORCH	98 S

**PROPOSED STRUCTURE:**

Proposed First Floor addition	100 S
Proposed Second Floor addition	1,017 S
Front Porch	19 S
Covered Areas under the balconies	218 S

**TOTAL NEW LIVING**

Existing + New	2,694 S
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Front Porch + Covered Areas: 237 S  
Two Car Garage: 382 S

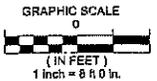
**FLOOR AREA RATIO:**

Gross Floor Area 2,694 SF + 382 SF = 3,076 S  
FARs 3,076 / 6,007 = 51.2%

**LOT COVERAGE**

(F.F.) 1,677 + (G) 382 + (P) 237 = 2,296 S  
FARs 2,296 / 6,007 = 38.22%

727 KENLEY WAY



PROPERTY LINE	---
CONCRETE	▒
GRASS	▒
EXISTING BUILDING	▒
NEW ADDITION 1st F	▒
NEW ADDITION 2nd F	▒
NEW DECK ON 2nd FLOOR	▒
BUILDING AREA TO BE REMOVED	▒

**FIRE PREVENTION:**

1. An automatic fire sprinkler system will be required for the new residence. Living areas above the ground will be required for the garage. Installation shall be in accordance with NFPA 135 (2010) and provide a water meter site sufficient to handle the fire sprinkler system, generally one foot.

2. Prior to any combustible construction or installation on site, provide fire access drive and operational on-site fire protection systems. (Chapter 14, CPC)

**CODE EDITIONS:**

1. ALL WORK COMPLETED WITH THIS PROJECT SHALL BE DONE IN A PROFESSIONAL MANNER IN ACCORDANCE WITH THE TRADITIONALLY AND FULLY REQUIRED "BEST ACCEPTED PRACTICE" OF THE TRADE INVOLVED.

2. ALL WORK SHALL COMPLY WITH APPLICABLE CODES & TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING THE:

- 2018 CALIFORNIA BUILDING CODE
- 2021 CALIFORNIA ELECTRICAL CODE
- 2017 CALIFORNIA MECHANICAL CODE
- 2018 CALIFORNIA PLUMBING CODE
- 2018 CALIFORNIA ENERGY CODE AKA Energy Efficiency Standards (EES)

**NOTES:**

1. Provide a water meter to main road water meter per City standard and all 1/2" and 3/4" pipe 1' and
2. Provide water cover cleanout at property line per City standard and 1 1/2" pipe and
3. An attachment point (EP) will be required for all lines connected to the cover cleanout that are beyond the property line.

1 SITE PLAN  
SCALE: 1/8"=1'-0"

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A3	- PROPOSED FIRST FLOOR, DOOR & WINDOW SCHEDULES
A4	- PROPOSED 2ND FLOOR AND ROOF PLAN
A5	- EXTERIOR ELEVATIONS
A6	- EXTERIOR ELEVATIONS
A7	- BUILDING SECTIONS
E-1	
S1	
S2	
S3	
SD1	
SD2	
SD3	
T-24	

Drinking Water  
Agenda M Meeting  
7:27 A.M. - 8:00 A.M.  
Water City of Sunnyvale  
727 Kenley Way  
Sunnyvale, CA 94087

Owner  
Thakar, Anuradha  
727 Kenley Way  
Sunnyvale, CA 94087

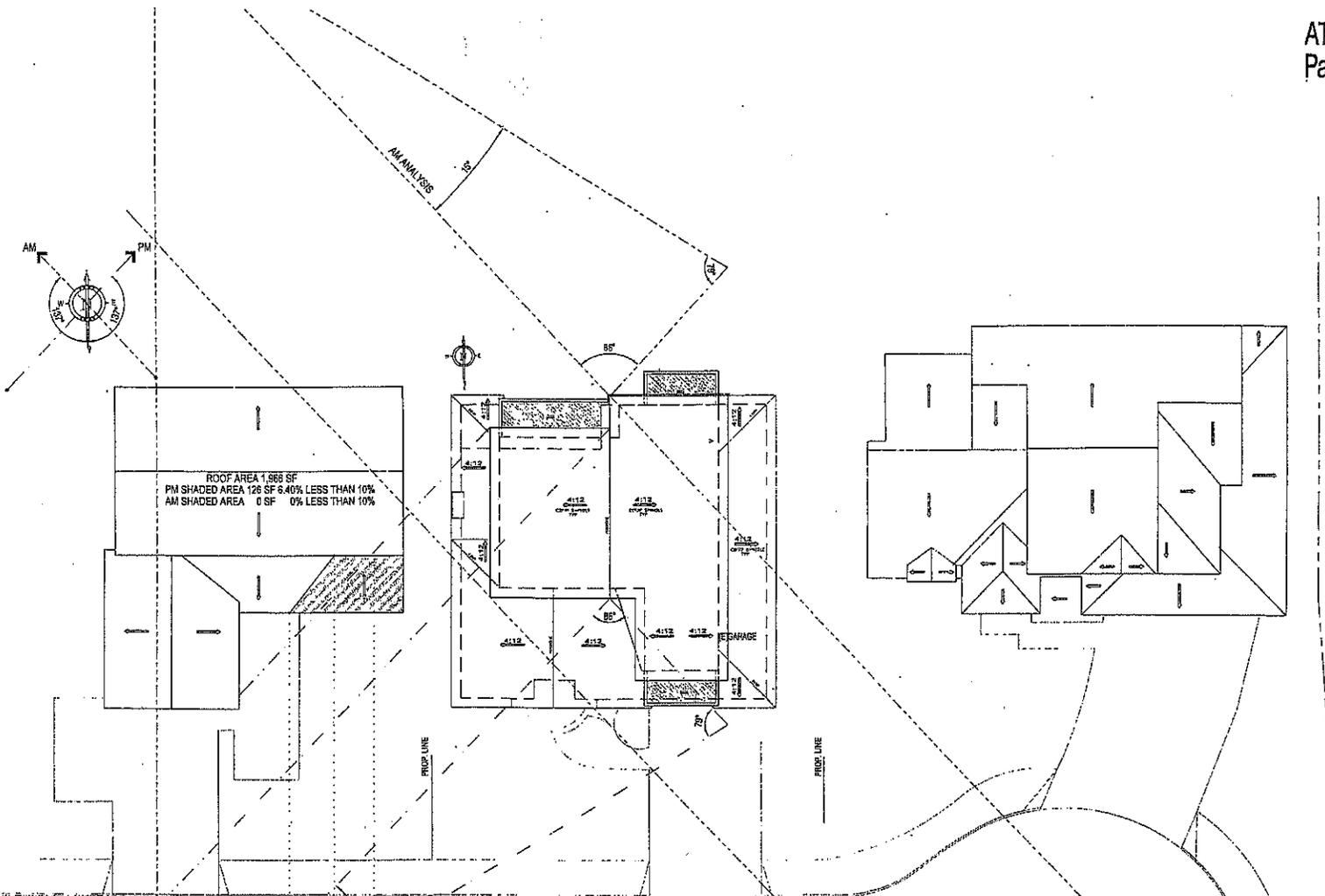
Contractor  
REITER & LOSAL  
CONSTRUCTION MANAGEMENT  
4000 LAWYER DRIVE  
SUNNYVALE, CA 94087

**SITE PLAN**  
**GEN. INFORMATION**

REVISIONS BY

**THAKAR RESIDENCE**  
Thakar Anuradha V and Samir  
727 Kenley Way  
Sunnyvale, CA 94087

Date: October 2023  
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Sheet: A1

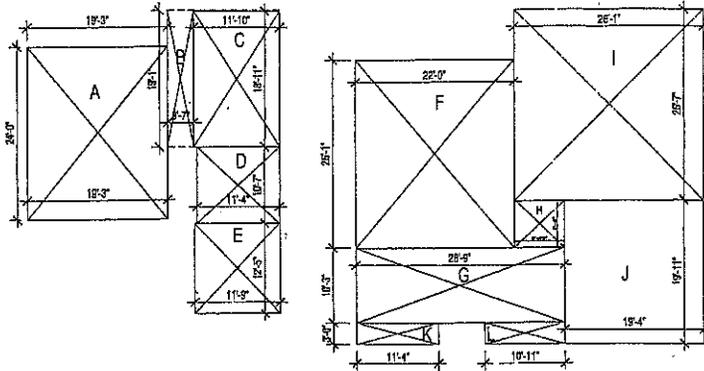


① SOLAR ACCESS & SHADOW ANALYSIS  
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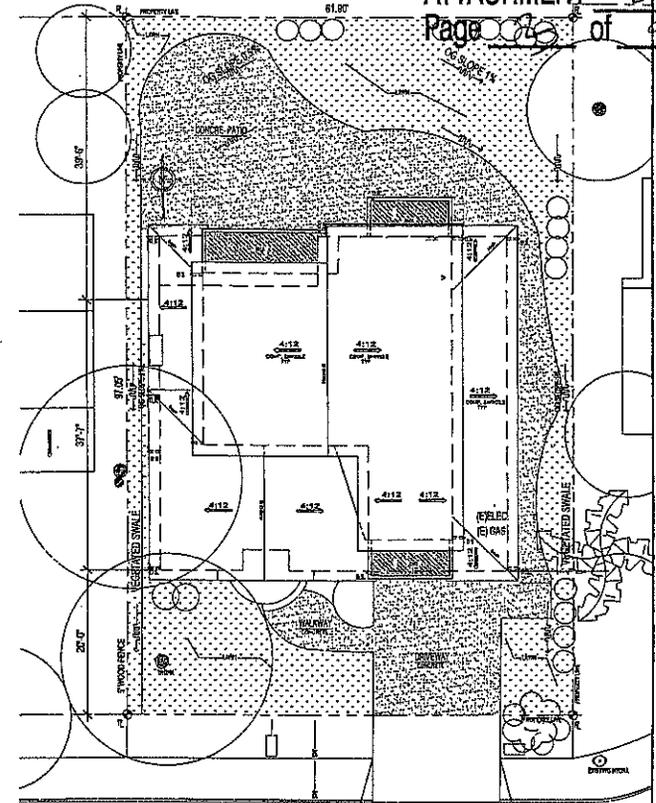
Architect M. Martin 1555 S. De Anza Blvd. Suite 200 San Jose, CA 95128 Tel: 408.434.3535 Fax: 408.434.3535 Email: mmartin@mmartin.com
Owner Thakar Aniruddha V and Sanita 727 Kenley Way Sunnyvale, CA 94087
Contractor RELEASE & LOYAL CONTRACTOR ASSOCIATION Area Local 008-000-000-000 11/12/11 11/1/12
SOLAR ACCESS SHADOW ANALYSIS
REVISIONS BY
THAKAR RESIDENCE Thakar Aniruddha V and Sanita 727 Kenley Way Sunnyvale, CA 94087
Date: October 2008 Scale: AS SHOWN Drawn: [blank] Job: 02/Aniruddha Sheet:
A1a

FLOOR AREA CALCULATIONS

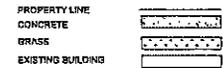
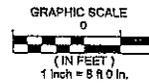
ROOM	FLOOR	USAGE	AREA	S.F.
A	2nd	24'-0" x 19'-3"		462
B	2nd	19'-1" x 3'-7"		68
C	2nd	11'-0" x 15'-11"		223
D	2nd	11'-4" x 10'-7"		119
E	2nd	11'-3" x 12'-5"		145
				1,017.0 SF
F	1st	22'-0" x 25'-1"		273
G	1st	23'-3" x 10'-3"		239
K	1st	20'-0" x 1'-4"		34
L	1st	10'-0" x 1'-11"		33
H	1st	8'-10" x 5'-8"		44
I	1st	25'-1" x 25'-7"		592
				1,371.0 SF
LIVING AREA				2,388.0 SF
J	CHARGE	15'-4" x 15'-11"		365
LOT SIZE				3,753 SF
DAPNE				13 SF
FRONT PORCHES				184 SF
TOTAL				3,062 SF



2 FLOOR AREA CALCULATION  
SCALE: 1/8"=1'-0"



727 KENLEY WAY

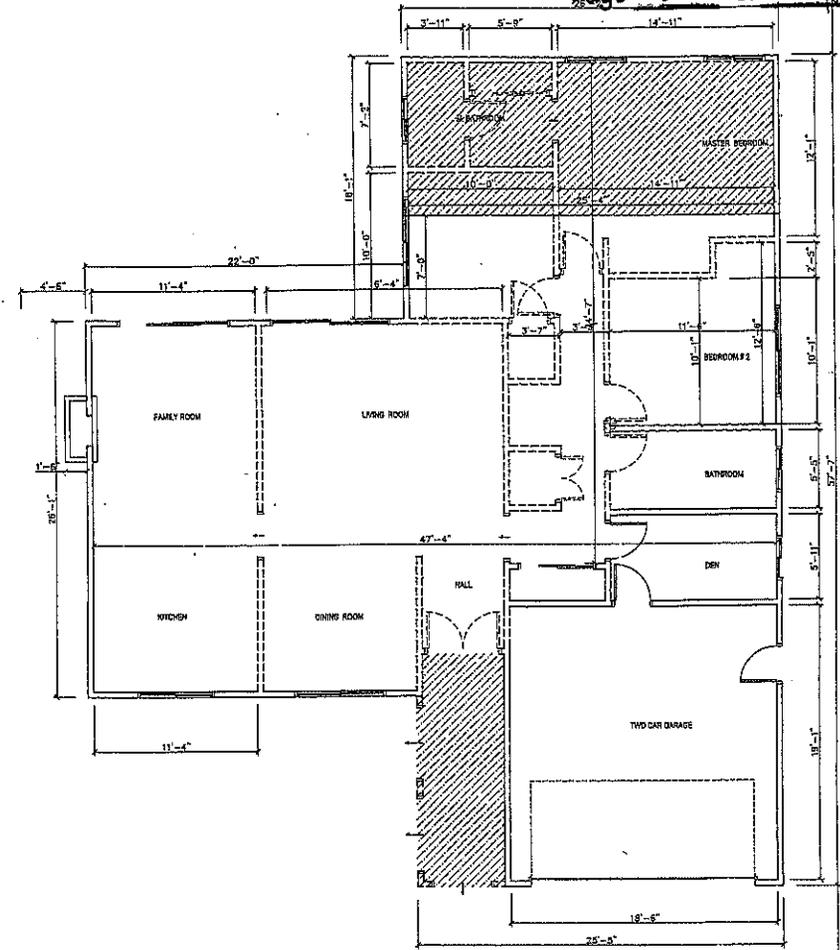


1 LANDSCAPE GEN. PLAN  
SCALE: 1/8"=1'-0"



3 STREETSCAPE ELEVATIONS  
SCALE: 1/8"=1'-0"

Owner: Thakar Aniruddha V and Sarita Thakar  
Contractor: REUSABLE & LOYAL CONSULTING ARCHITECTURE 4033 TRIVIA LANE SUMMIT, CA 94067  
LANDSCAPE PLAN  
LANDSCAPE ELEVATION  
AREA CALCULATION  
REVISIONS BY  
THAKAR RESIDENCE  
Thakar Aniruddha V and Sarita  
727 Kenley Way  
Sunnyvale, CA 94087  
Date: October 2009  
Scale: AS SHOWN  
Drawn: Aniruddha V  
Job: 091001-001  
Sheet: A1b



**DEMOLITION NOTES:**

DEMOLITION NOTES:

1. Demolition shall be done in a safe, orderly manner without damaging to other parts of the premises or adjacent properties.
2. All demolished items shall be disposed of by the contractor unless otherwise directed by the owner, verify with the owner on items to be saved and stored. All removed items to be saved for reuse shall be handled with care.
3. All public improvements shall be made in accordance with the latest adopted city standards if any applicable.

**GREEN REMODELING NOTES:**

1. EXPENDITURE CONSTRUCTION SITE STORM WATER PRACTICES.
2. MINIMIZE DISRUPTION OF EXISTING PLANTS & TREES.
3. PROTECT THE NATIVE SOIL.
4. RECYCLE JOB SITE CONSTRUCTION AND DEMOLITION WASTE.
5. SALVAGE REUSABLE BUILDING MATERIALS.
6. PROVIDE FOR ON SITE WATER CATCHMENTS / RETENTION.
7. RE-USE MATERIALS OR USE RECYCLED-CONTENT MATERIAL FOR LANDSCAPE AREAS.

**1** EXISTING FIRST FLOOR PLAN  
 SCALE: 1/8"=1'-0"

Adolfo M. Martin  
 2251 S. Colton Ave  
 Sunnyvale, CA 94087  
 Tel: 415-335-3535  
 adolm@earthlink.net

Owner:  
 Thakar Aniruddha V  
 Sunnyvale, CA 94087

Contractor:  
**RELIABLE & LOYAL**  
 CONSTRUCTION MANAGEMENT  
 4035 TWIN LAKE  
 SUNNYVALE, CA 94087

**EXISTING FLOOR PLAN**

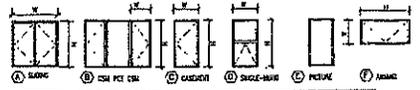
REVISIONS	BY

**THAKAR RESIDENCE**  
 Thakar Aniruddha V and Sarita  
 727 Kenley Way  
 Sunnyvale, CA 94087

Date: October 2008  
 Scale: AS SHOWN  
 Drawn: Adolfo Martin  
 Job: 083 Kenley East  
 Sheet: **A2**

- FLOOR PLAN NOTES:**
- DISH WASHER DRAIN TO CURB DISPOSAL. (SEE MFR SPEC.)
  - KITCHEN SINK W/ DRAINAGE DISPOSAL.
  - REFRIGERATOR SPACE W/ COLD WATER STUB-OUT FOR ICEMAKING (SEE MR. SPEC.)
  - TRASH COMPACTOR (VERIFY DIMS. W/ MFR)
  - COUNTERTOP W/ HOOD AND VENT TO EXTERIOR & PROVIDE BACKDRIFT DAMPER.
  - 5/8" TYPE "X" GYP. BD. ON ALL WALLS, CEILING STRUCTURAL SUPPORT TO ABV AT GARAGE SIDE.
  - 20-MINUTE RATED 1-3/8" SOLID CORE WOOD DOOR W/ SELF CLOSING HINGE & WEATHER STRIPPING/ TIGHT FITTING.
  - CONCRETE LANDING 3'-0" MIN. 7'-3/4" MAX. DROP FROM DOOR.
  - WOOD DECKING TO BE INSPECTED AND FIXED IF IS REQUIRED.
  - N/C CONDENSER ON COND. PAD.
  - VALUED CEILING FOR REHANGLED AREAS ONLY.
  - FLUSH FIREPLACE HEARTH MARBLE TILE FINISH.
  - DIRECT VENTED GAS INSERT LB LISTED/ICC APPROVED PRODUCT FIELD VERIFY
  - WATER HEATER ON 1ST PLATFORM W/ SLOPING STRAPPING.
  - FURNACE ON 1ST PLATFORM. SEE T-24 ENERGY REPORT FOR SIZING.
  - LINE OF FLOOR ABOVE OR WALL BELOW.
  - 16" E" ARCH ABOVE.
  - 5 SHELF PANTRY.
  - STAR RUBER 7'-3/4" H MAX. TREAD 10"0 SEE DETAIL.
  - 42" W WOOD DEK W/ BRIGHT IRON HANDRAIL / GUARDRAIL. SEE DETAIL WFR SPEC.
  - PROVIDE 5/8" TYPE "X" GYP. BD. WALLS & CLO'S OF UNDER STAIR.
  - 16"x24" UNDER FLOOR ACCESS.
  - EMERGENCY ESCAPE WINDOW SHALL HAVE OPENING OF MINIMUM NET CLEAR AREA 5.7 SQ. FT. HEIGHT 24", WIDTH 20", AND MAX FINISHED SILL HEIGHT 44" AFF.
  - VEGETABLE SINK SEE DETAIL.
  - 2x4 SKYLIGHT, VELUX OR EQUAL, KCD APPROVED PRODUCT.
  - 30x30 ATTIC ACCESS.
  - 2"x2" 4 SHELF LINEN CLOSET
  - 32"x60" SHOWER TUB W/ TALE SURROUND ON 3 WALLS TO CEILING SHOWER HEAD AT +78" ABV. FLA
  - 3'x3' OR 3'x4' SHOWER, W/ TILE SURROUND TO CEILING SHOWER HEAD AT +78" ABC. FLA GLASS ENCLOSURE SHALL BE SAFETY TYPE SHOWER DOOR W/ 22" W MIN.
  - ALL PLUMBING FIXTURES SHALL BE UPC APPROVED PRODUCT SHOWER HEAD TO BE PRESSURE/THERMAL BALANCED TYPE
  - RECESSED MEDICINE CABINET
  - LOW FLOW WATER CLOSET (16 GAL PER FLUSH)
  - JACCUCI NOTES SEE ELECTRICAL PLAN
  - (C) GAS METER TO REMAIN
  - (E) ELECTRIC METER UPGRADE TO 100 AMP.
  - TEMPERED GLASS.
  - WINDOW PROJECTION, NO FLOOR AREA ADDED.
  - PROVIDE "SHOWER" DR WOODEN BOARD WALL LINING AROUND SHOWER AND BATHTUB AREA THE SHOWER ENCLOSURE SURFACE SHALL BE TILE OR CULTURE MARBLE WITH MIN. HEIGHT OF 70"
  - (N) ATTIC FALL DESIGN-BUILT BY GC, PROVIDE PLATFORM, LIGHT & SWITCH. SEE DETAIL.
  - 3" HIGH POINT WALL.
  - 0" 0" BALLARD 3" HIGH.
  - PROVIDE SMOKE DETECTORS IN ALL SLEEPING ROOMS AND ADJACENT HALLWAYS, MULTI-LEVELS AND BASEMENT. SMOKE DETECTORS IN (N) ADDITIONS OR NEW CONSTRUCTION ARE TO BE 110 VOLT WITH A BATTERY BACK UP AND INTERCONNECTED.
- FOUNDATION NOTES:**
- MUD SILL MUST BE PRESSURE TREATED.
  - CONTRACTOR TO PROVIDE CITY WITH VERIFICATION OF SPECIAL INSPECTION REPORT REQUIRED FOR ALL EPOXY ANCHORS USED FOR TIE RODS. ALL EPOXY ANCHORS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - PROVIDE DOUBLE FLOOR JOIST UNDER PARALLEL BEARING WALLS.
  - EXTERIOR STUCCO TO BE 3 COAT 7/8" THICK WITH 3 LAYERS "GRADE D" PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING AND SHALL HAVE 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING.
  - PROPER SURFACE DRAINAGE SHOULD BE MAINTAINED AT ALL TIMES TO KEEP WATER AWAY FROM BUILDING.
  - FOUNDATION CONCRETE STRENGTH SHALL BE 3,000 PSI ■ 28 DAYS MIN. FOUNDATION STEEL SHALL BE NEW A.S.T.M. "AEC STRUCTURAL NOTES ON SL"

- GREEN NOTES**
- Substitute Solid Sawn Lumber with Engineered Lumber
  - Use FSC certified Wood for Framing
  - Use Wood Joists for Floors and Ceilings
  - Use OSB for Subfloor and Sheathing
  - Use Reclaimed Lumber
  - Apply Advanced Framing Techniques
  - Use Sustainable Decking Materials
  - Use Treated Wood That Does Not Contain Chromium or Arsenic for Decking and Sill Plates
- Plumbing**
- Install Hot Water Jacket Insulation
  - Convert Storage to Tankless Water Heaters (Optional by owner.)
  - Install Hot and Cold Water Pipes
  - Retain all Faucets and Showers with Flow Reducers
  - Replace Toilets with Ultra-Low-Flow Models
  - Install Chlorine Filter on Showershead
  - Install Water Filtration Units at Faucets
  - Install On-Demand Hot Water Circulation Pump
- Heating, Ventilation and Air Conditioning (HVAC)**
- Use Duct Minors on all Duct Joints
  - Install New Ductwork with Condensed Space
  - Install MERV or Greater Efficiency Gas Forced Air Furnace
  - Install Attic Ventilation Systems or Solar Attic Fan
  - Seal all Ducts Before Occupancy
  - Replace Gas Heaters with Heat Pumps (Optional by owner.)
  - Install High Efficiency Filter
- Renewable and Solar Energy (Optional by owner.)**
- Pre-Plumb or Install Solar Water Heating System
  - Pre-Wire or Install Photovoltaic (PV) System
  - Install Radon Barrier
- Neutral Heating and Cooling**
- Incorporate Passive Solar Heating
  - Install Overhangs or Awnings over South Facing Windows

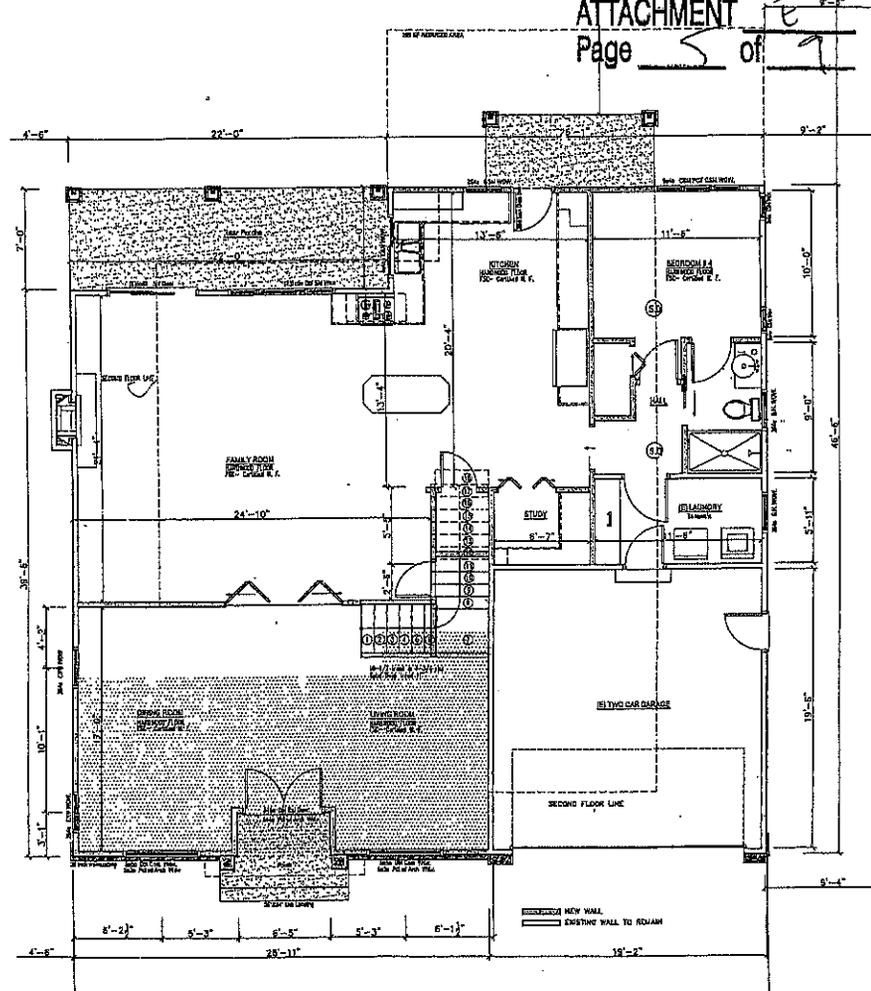


SYMBOL	SIZE	TYPE	GLAZING	REMARK
(1)	7'-0"x3'-0"	(B) WIN./INSULATED DR. GLASS		
(2)		(C) WIN./INSULATED DR. GLASS		
(3)		(D) WIN./INSULATED DR. GLASS		
(4)		(E) WIN./INSULATED DR. GLASS		
(5)		(F) WIN./INSULATED DR. GLASS		
(6)		(G) WIN./INSULATED DR. GLASS		
(7)		(H) WIN./INSULATED DR. GLASS		
(8)		(I) WIN./INSULATED DR. GLASS		
(9)		(J) WIN./INSULATED DR. GLASS		
(10)		(K) WIN./INSULATED DR. GLASS		
(11)		(L) WIN./INSULATED DR. GLASS		
(12)		(M) WIN./INSULATED DR. GLASS		
(13)		(N) WIN./INSULATED DR. GLASS		
(14)		(O) WIN./INSULATED DR. GLASS		
(15)		(P) WIN./INSULATED DR. GLASS		
(16)		(Q) WIN./INSULATED DR. GLASS		
(17)		(R) WIN./INSULATED DR. GLASS		
(18)		(S) WIN./INSULATED DR. GLASS		
(19)		(T) WIN./INSULATED DR. GLASS		
(20)		(U) WIN./INSULATED DR. GLASS		
(21)		(V) WIN./INSULATED DR. GLASS		
(22)		(W) WIN./INSULATED DR. GLASS		
(23)		(X) WIN./INSULATED DR. GLASS		
(24)		(Y) WIN./INSULATED DR. GLASS		
(25)		(Z) WIN./INSULATED DR. GLASS		

**GLAZING CODES:**  
SCHEDULED WINDOWS ARE LISTED IN NOMINAL SIZES. ALL SLEEPING ROOMS SHALL MEET WITH THE FOLLOWING CRITERIA:  
MIN. NET CLEAR OPENABLE AREA = 5.7 SF  
MIN. NET CLEAR OPENABLE HEIGHT = 24"  
MIN. NET CLEAR OPENABLE WIDTH = 20"  
MAX. SILL HEIGHT ABOVE FINISH FLOOR = 44"  
CLASSIC VINYL/INSULATED DR. GLASS/SUNGLASS LOW-E WITH DRIBS  
FOR MILIGARD WINDOWS PROVIDE A 1/4"(6.35mm) SPACE BETWEEN WINDOW FRAME & ROUGH OPENING

SYMBOL	SIZE	DESCRIPTION	TYPE	MANUFACTURE	REMARKS
(1)	3'-0"x7'-0"	EXTERIOR	BY OWNER		
(2)		EXTERIOR	TEMPER GLASS		
(3)		INTERIOR DOORS	NO. 2	SEE FLOOR PLAN	

**DOORS NOTES:**  
1. EXTERIOR DOOR SHALL BE SELF-CLOSING, WITH FITTING 1/2" SW. FINISHED, 20 GA. & RECESSED FINISH.  
2. EXTERIOR DOORS SHALL BE 1 1/2" ABOVE GRADE.  
3. EXTERIOR DOORS SHALL BE 2" ABOVE GRADE.  
4. EXTERIOR DOORS SHALL BE 4" ABOVE GRADE.  
5. EXTERIOR DOORS SHALL BE 6" ABOVE GRADE.  
6. EXTERIOR DOORS SHALL BE 8" ABOVE GRADE.  
7. EXTERIOR DOORS SHALL BE 10" ABOVE GRADE.  
8. EXTERIOR DOORS SHALL BE 12" ABOVE GRADE.  
9. EXTERIOR DOORS SHALL BE 14" ABOVE GRADE.  
10. EXTERIOR DOORS SHALL BE 16" ABOVE GRADE.  
11. EXTERIOR DOORS SHALL BE 18" ABOVE GRADE.  
12. EXTERIOR DOORS SHALL BE 20" ABOVE GRADE.  
13. EXTERIOR DOORS SHALL BE 22" ABOVE GRADE.  
14. EXTERIOR DOORS SHALL BE 24" ABOVE GRADE.  
15. EXTERIOR DOORS SHALL BE 26" ABOVE GRADE.  
16. EXTERIOR DOORS SHALL BE 28" ABOVE GRADE.  
17. EXTERIOR DOORS SHALL BE 30" ABOVE GRADE.  
18. EXTERIOR DOORS SHALL BE 32" ABOVE GRADE.  
19. EXTERIOR DOORS SHALL BE 34" ABOVE GRADE.  
20. EXTERIOR DOORS SHALL BE 36" ABOVE GRADE.  
21. EXTERIOR DOORS SHALL BE 38" ABOVE GRADE.  
22. EXTERIOR DOORS SHALL BE 40" ABOVE GRADE.  
23. EXTERIOR DOORS SHALL BE 42" ABOVE GRADE.  
24. EXTERIOR DOORS SHALL BE 44" ABOVE GRADE.  
25. EXTERIOR DOORS SHALL BE 46" ABOVE GRADE.  
26. EXTERIOR DOORS SHALL BE 48" ABOVE GRADE.  
27. EXTERIOR DOORS SHALL BE 50" ABOVE GRADE.  
28. EXTERIOR DOORS SHALL BE 52" ABOVE GRADE.  
29. EXTERIOR DOORS SHALL BE 54" ABOVE GRADE.  
30. EXTERIOR DOORS SHALL BE 56" ABOVE GRADE.  
31. EXTERIOR DOORS SHALL BE 58" ABOVE GRADE.  
32. EXTERIOR DOORS SHALL BE 60" ABOVE GRADE.  
33. EXTERIOR DOORS SHALL BE 62" ABOVE GRADE.  
34. EXTERIOR DOORS SHALL BE 64" ABOVE GRADE.  
35. EXTERIOR DOORS SHALL BE 66" ABOVE GRADE.  
36. EXTERIOR DOORS SHALL BE 68" ABOVE GRADE.  
37. EXTERIOR DOORS SHALL BE 70" ABOVE GRADE.  
38. EXTERIOR DOORS SHALL BE 72" ABOVE GRADE.  
39. EXTERIOR DOORS SHALL BE 74" ABOVE GRADE.  
40. EXTERIOR DOORS SHALL BE 76" ABOVE GRADE.  
41. EXTERIOR DOORS SHALL BE 78" ABOVE GRADE.  
42. EXTERIOR DOORS SHALL BE 80" ABOVE GRADE.  
43. EXTERIOR DOORS SHALL BE 82" ABOVE GRADE.  
44. EXTERIOR DOORS SHALL BE 84" ABOVE GRADE.  
45. EXTERIOR DOORS SHALL BE 86" ABOVE GRADE.  
46. EXTERIOR DOORS SHALL BE 88" ABOVE GRADE.  
47. EXTERIOR DOORS SHALL BE 90" ABOVE GRADE.  
48. EXTERIOR DOORS SHALL BE 92" ABOVE GRADE.  
49. EXTERIOR DOORS SHALL BE 94" ABOVE GRADE.  
50. EXTERIOR DOORS SHALL BE 96" ABOVE GRADE.  
51. EXTERIOR DOORS SHALL BE 98" ABOVE GRADE.  
52. EXTERIOR DOORS SHALL BE 100" ABOVE GRADE.



1 PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"

Drilling Services  
Ardito M. Martini  
629 E. University St.  
San Jose, CA 95128  
Ph: 408.252.3523  
www.drilling-services.com

Owner:  
Thakur Anirudha V and Sanita Thakur  
727 Kearley Way  
Sunnyvale, CA 94087

Contractor:  
RELIABLE E. LLOYD  
CONSTRUCTION MANAGEMENT  
14000 N. 1st St., Suite 100  
Sunnyvale, CA 94087

FIRST FLOOR PLAN

REVISIONS BY

THAKUR RESIDENCE  
Thakur Anirudha V and Sanita Thakur  
727 Kearley Way  
Sunnyvale, CA 94087

Date: October 2023  
Scale: AS SHOWN  
Drawn: Aditya Sankar  
Job: 002 Sunnyvale  
Sheet: A3

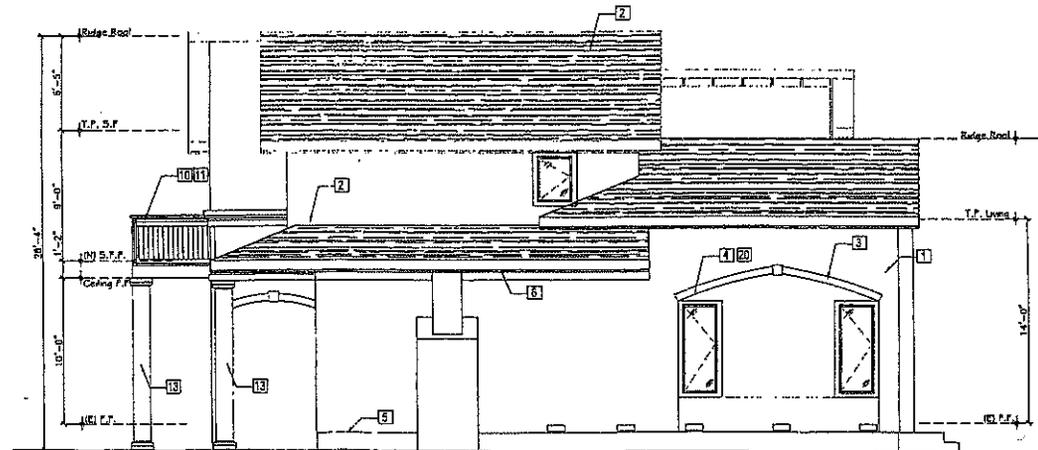


EXTERIOR ELEVATION NOTES

1. 7/8" Cement plaster, 3 coats o/ metal lath o/ layers of "D" building paper o/ ply sheathing (CARSON'S COATINGS, Acrylic finish, Blue sky 212)
2. Roofing: Campo Shingle class "A" over underlayment
3. Windows: "Milford" vinyl dual glazed windows, color white.
4. Windows Trimms: Cement plaster o/ 2x4 foam trim, color to match building
5. Weep Screed: 3/4" min above finished grade or +2" above conc. Porch.
6. Fascia Gutter: G.I. Fascia gutter painted.
7. Fascia Board painted, color same as gutter
8. Window Sill: Cement plaster o/ foam trim, color to match building.
9. Corbels o/ foam trim, color to match building.
10. Decorative Iron Rail.
11. 42" Height Iron Guard Rail at Rear Deck. (max opn'g such that a 4" sphere cannot pass through, Min 200 pounds load any direction.
12. G.I. wall to roof flashing painted
13. Stucco. Columns with accents 14. Roll-up garage doors (Existing to remain)
15. Exterior Trim: cement o/ foam trim, color to match building
16. Chimney G.I. sheet metal cap/cover and shroud w/ approved spark arrester, paint shroud to match cement plaster.
17. Concrete porch with brick trim
18. Cap trim @ Stucco/foam shapes w/ smooth to simulate cast stone.
19. N/A
20. Foam decoration at wall



① PROPOSED SOUTH ELEVATION  
 SCALE: 1/4"=1'-0"  
 FRONT ELEVATION



② PROPOSED WEST ELEVATION  
 SCALE: 1/4"=1'-0"  
 LEFT SIDE ELEVATION

RESIDENTIAL  
 10000 S. 10th St. #100  
 Phoenix, AZ 85042  
 Tel: 602-998-1000  
 Fax: 602-998-1001  
 www.reliable.com

Owner  
 Thakar Aniruddha V and Sarita  
 727 Karmley Way  
 Sunnyvale, CA 94087  
 PH:

Contractor  
 RELIABLE & LOYAL  
 CONSTRUCTION MANAGEMENT  
 4055 TWIN LAKE  
 CARROLL, CA 95009

ELEVATION PLANS

REVISIONS BY	DATE

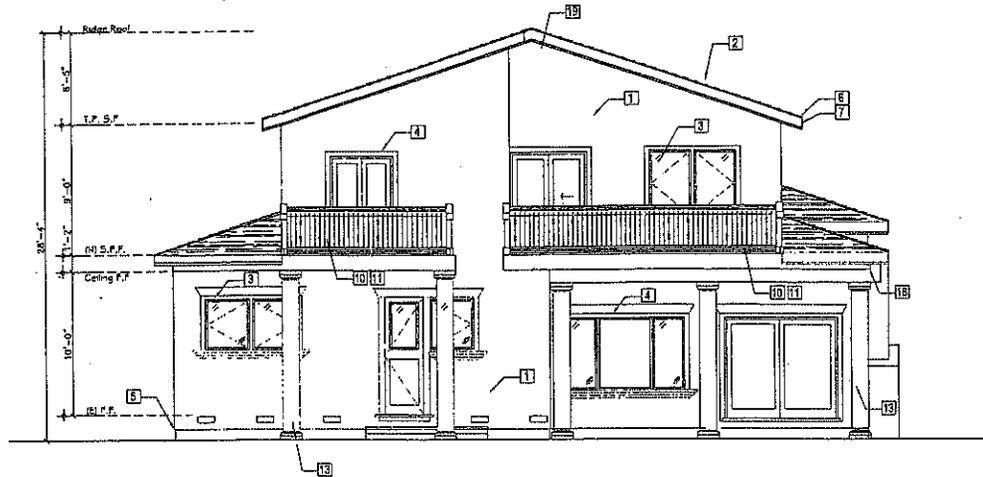
THAKAR RESIDENCE  
 Thakar Aniruddha V and Sarita  
 727 Karmley Way  
 Sunnyvale, CA 94087  
 PH:

Date: October 2008  
 Scale: as shown  
 Drawn: Ashish Harkwad  
 Job: 08-03000-SW001  
 Sheet:

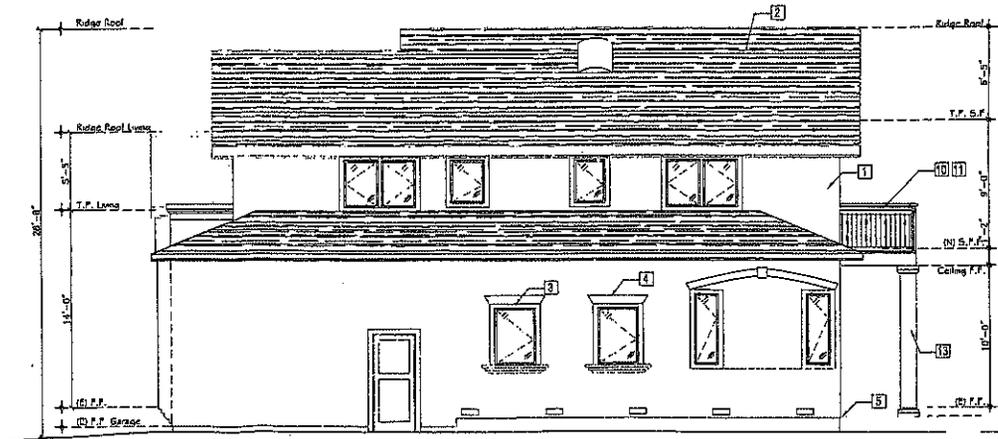
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EXTERIOR ELEVATION NOTES

1. 7/8" Cement plaster, 3 coats o/ metal lath o/ layers of "D" building paper o/ ply sheathing (CARSON'S COATINGS, Acrylic finish, Blue sky 212)
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3. Windows: Millard vinyl dual glazed windows, color white.
4. Windows Trims: Cement plaster o/ foam trim, color to match building
5. Weep Scream: @+4" min above finished grade o/ +2" above conc. Porch.
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16. Chimney G.I. sheet metal cap/cover and shroud w/ approved spark arrester, point shroud to match cement plaster.
17. Concrete porch with brick trims
18. Cap trim @ Stucco/foam shapes w/ smooth to simulate cast stone.
19. N/A
20. Foam decoration at wall



① PROPOSED NORTH ELEVATION  
SCALE: 1/4"=1'-0"  
REAR ELEVATION



② PROPOSED EAST ELEVATION  
SCALE: 1/4"=1'-0"  
RIGHT SIDE ELEVATION

Adelle M. Mar  
1988 12 Approved  
Drawn: Guy C. B.  
Title: Designer  
F0237@earthlink.net

Owner:  
Thakar Anrudhha  
727 Kentley Way  
Summerville, SC

Contractor:  
RELIABLE & TRUST  
CONSTRUCTION COMPANY  
Near East 10th Street  
Summerville, SC

ELEVATION PLANS

REVISIONS BY

NO.	DATE	BY

THAKAR RESIDENCE  
Thakar Anrudhha V and Sankha  
727 Kentley Way  
Summerville, CA 94087

Date: 02/05/2011  
Scale: AS SHOWN  
Drawn: Adelle Mar  
Job: 02374049  
Sheet:

A6

