



July 12, 2010

SUBJECT: **2010-7048- O'Brien Homes/Sunnyvale Associates LLC and TRE B of A v WL Homes** [Applicant/Owner]: Application for related proposals on a 13.9 acre site located at **920 & 962 East Duane Avenue** (near De Guigne Dr.) in an M-S (Industrial & Service) Zoning District; (APN: 205-55-001 through 040)

Motion **Special Development Permit** to allow architectural and landscaping modifications to a previously approved project. Previous project included 242 condominium townhomes and a tentative map, as a specific project component of the Duane ITR General Plan Amendment and EIR Study.

REPORT IN BRIEF

Existing Site Conditions Vacant parcel

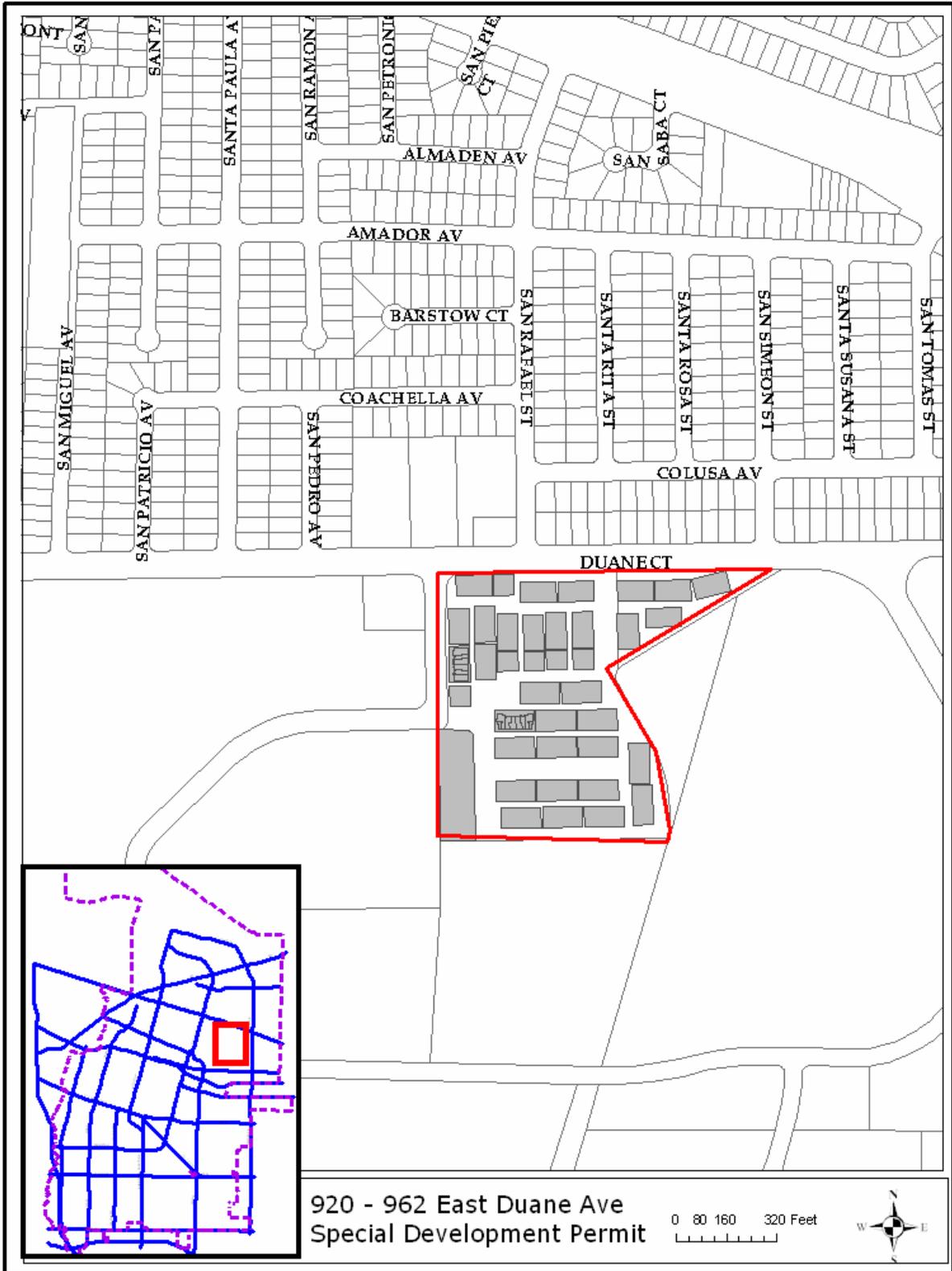
Surrounding Land Uses

North	Single-family Residential and Neighborhood Business
South	Industrial and office
East	Industrial and office (AMD campus)
West	Industrial and office

Issues Architecture, parking

Environmental Status The project is within the boundaries of a previously certified Environmental Impact Report (East Sunnyvale Industrial-To-Residential ITR Project).

Staff Recommendation Approve the conditions.



920 - 962 East Duane Ave
Special Development Permit

0 80 160 320 Feet



PROJECT AND SITE DESCRIPTION

Project Background: This project was previously reviewed by the Planning Commission at their February 12, 2007 meeting. The Commission voted 7-0 to recommend approval to the City Council with modified conditions. The City Council reviewed and approved the project on February 27, 2007.

At that time, the application was processed concurrently with the East Sunnyvale Industrial to Residential application (General Plan Amendment, Rezone, and Environmental Impact Report) to allow the Rezone of the area from Industrial and Service to Industrial to Residential (ITR). See Attachment C for the Data Table comparing this project with the previous approval.

In 2008, John Laing Homes submitted building permits and began construction on the project. Construction included substantial completion of on-site and off-site improvements, the clubhouse, and two model buildings (14 units). Although the model buildings were constructed, no units were sold. At the end of 2008, John Laing Homes declared bankruptcy and ultimately relinquished control of the project.

Currently, there are two property owners who have partnered with local home builder, O'Brien Homes, to complete the remaining site improvements and 228 units. One property owner is IHP Capitol who owns over 90% of the site, including the 228 units that have not been constructed. The second property owner is Bank of America, who is currently represented by a Receiver (California Real Estate Receiverships) and owns the 14 built units and some common ground areas.

The application was scheduled to be heard by the Planning Commission at the June 28, 2010 meeting but was continued by the Commission to the June 12, 2010 meeting at a request of one property owner (Receiver). The Commission stated their preference for the two property owners to resolve their differences prior to the June 12th meeting, or if not, the objecting property owner was to state their specific objections in writing to the Commission.

Description of Project: The applicant is requesting approval of a Special Development Permit (SDP) to allow for a modification to the architecture of the remaining 228 townhome units and a deviation in Sunnyvale Municipal Code (SMC) parking standards. There are also minor modifications to the landscaping proposed. The project will include the required 12.5% Below Market Rate (BMR) units, for a total of 30 units, pursuant to the Sunnyvale Municipal Code (SMC) Section 19.66.020 (see BMR Conditions of Approval in Attachment B).

The total project consists of 242 ownership condominium townhome units at a density of 18.9 units/acre. The maximum allowed density under the R-3 zoning

designation is 24 units/acre for a maximum number of 307 units. A 242 unit project satisfies the housing goal of achieving at least 75 percent of the maximum allowable density, which is 18 units/acre minimum.

The application does not include a request to modify the density, general site plan, circulation, project impacts, or general program elements that were previously approved by the City Council.

Site Layout: The approved project's 242 units are arranged into 38 buildings on the site, with buildings accommodating between three and seven units. The buildings and driveways have been aligned so the buildings face one another to create linear common front yard areas (paseos). The townhome units located adjacent to the existing and new public streets are all oriented so they front on the streets (Attachment D – Site and Architectural Plans).

The new internal streets will be private drives and also provide both public safety and solid waste vehicle access. There will be a new public street dedicated as part of the project, which leads from De Guigne, across the southern property line, to the eastern property line. The new public street which is partially completed at this time, will serve future projects on adjacent parcels to the south and east.

There are several common open space areas located throughout the site which include site features including a clubhouse and children's play areas. The community clubhouse is centrally located within the site in order to maximize the usability of the potential future park in the southwest corner of the project.

At the City's direction, the applicant has submitted a lot line adjustment application to accommodate shifts in the lot lines proposed for eight of the 38 buildings due to minor changes in building footprints. The lot line adjustment application is being processed administratively by the Department of Public Works.

Architecture: The project proposes two different styles of architecture with each style having several plan types (see Attachment D for details). Two architectural styles, Spanish Eclectic and Contemporary are combined within the community. The Spanish architecture has traditional elements along with a more contemporary color palette. The Contemporary style provides a more modern appearance and adds architectural diversity to the community. While different, the style is compatible with the Spanish Eclectic architecture, as well as the two existing model buildings. The applicant is also proposing a number of color combinations for the 38 buildings on site. The intent is to create a unified look for the project while still differentiating each building with a unique appearance.

The applicant has provided a sample of the color pallet in Attachment F – Color Elevations.

The project is proposed to combine the architectural styles into five Districts: three Spanish Eclectic (Traditional) and two Contemporary. The Traditional Districts are oriented outward on the project edges and also include the community center and both of the existing, previously built, models. The Spanish Eclectic style will be more compatible with the existing homes fronting on E. Duane and the existing model buildings. Each District will have unique but compatible landscape elements within the district as is described in the District Plan in Attachment F – Color Elevations.

In general, staff finds the applicant has met the goals of the City-Wide Design Guidelines with the proposed architecture and that the styling is consistent with other townhome projects approved elsewhere in the City. However, staff is recommending several conditions of approval for minor design modifications to further differentiate the Spanish Eclectic and the Contemporary designs. Given the number of buildings (38) on the site, the designs should differentiate the diversity of the districts. Staff recommends the following:

1. The garage doors shall have a variation in their designs that reflects the building basic design style.
2. The stucco textures shall vary between building styles (i.e. smooth, Monterey, skip trowel, wavy.)
3. The applicant shall continue to explore the idea of climbing vines or a green screen on the sides, rear, and/or front of the buildings.

Clubhouse: All multifamily residential projects over 50 units are required to provide a community room. To meet this requirement, the approved project provided a clubhouse of 2,213 square feet where 450 square feet (plus kitchen and restrooms) is the minimum required. The building is completed and includes approximately 1,850 square feet of usable floor area, a full kitchen, and restrooms, for a total square footage of 2,213 square feet.

The applicant is proposing a minor remodel to the interior and exterior of the community center to make it a more multi-functional space. The prior clubhouse was designed primarily as a culinary center which was spacious but had limited functionality. The proposed clubhouse will include a WiFi lounge/living room, a fitness room, a home theater/TV room, and a kitchen facility. All changes will be interior to the existing building and no square footage will be added or removed as a result. Staff supports these changes.

Landscaping: The applicant is proposing to make substantial upgrades to the existing landscaping, in conformance with the previous approval. The project includes the installation of numerous new trees of varying species and the

addition of bushes/shrubs throughout the site. The applicant is proposing to modify the species of new trees originally approved in the 2008 project. The city arborist has reviewed the arborist's report and applicant's plans and concurs with the proposed development.

Parking/Circulation: The project was approved with a total of 558 parking spaces on-site where 554 were required by SMC. Included in the 558 spaces were 350 garage spaces and 208 uncovered spaces throughout the site, all of which would be unassigned and available to guests and residents. The required parking is generated by the number of units and number of bedrooms within each unit. The approved project included 108 units with two car garages and 134 units with one car garages. Thirty-two of the 134 units had tandem parking spaces.

The applicant is now proposing to increase the number of bedrooms in some of the units, thereby increasing the total required parking for the project. The project is proposed to increase by 30 bedrooms, which will require an additional 33 unassigned parking spaces. The applicant's justification for the redesign of the units is as follows:

The primary reason for the redesign was to make the current floor plans functional and desirable in today's competitive marketplace. Changes that the current proposed plans include are as follows:

- *The current plans have a minimum of 2 bedrooms (for all units). The prior plan had 48 one bedroom units.*
- *The plans have a minimum 2-car tandem or 2-car side by side garages. The prior plan had 96 one-car garages.*
- *Storage spaces in the garages of 66 of the 102 plans that have 2-car side by side plans have been added*
- *The Plan 7 is expandable to 4 bedrooms. The prior plan had no 4 bedroom homes.*
- *No plans have a substandard living/dining/kitchen area. The prior plan had 72 plans (Townhomes 2 and 3 – both 3 bedroom homes) that had unacceptably small and dysfunctional main living areas for the size of the homes.*
- *78 homes (our new Plans 4 and 5 as well as the Plan 7 in the 3 unit buildings) have light on three sides of the living areas.*
- *In general the floor plans average 61 feet larger (saleable), and overall they are much more functional, flexible and marketable.*

As part of the architectural redesign, the applicant is proposing to add 96 tandem garage spaces to the already approved 32 spaces for a total of 128 spaces. While these spaces are functional parking spaces, they are not counted by SMC towards the required on-site parking. The applicant is requesting a

deviation from SMC for the additional 33 unassigned parking spaces. In addition to the tandem spaces provided, the applicant has noted that there are 70 spaces on the public streets surrounding the project.

Staff is supporting this parking deviation based on the number of tandem spaces (128). Staff notes that there are also on-street spaces (70) available. Staff believes the number of actual spaces that will be available on-site (681) versus the minimum number of spaces required (558) will ensure the site will not be under-parked when the project is completed.

Green Building Requirements: Under the City’s new green building standards, this project will be required to achieve 70 Green Rated points. The project is not required to be certified, but will be required to submit a Green Rated checklist demonstrating the project achieves 70 points.

Compliance with Development Standards: The applicant is requesting one new deviation from SMC through the SDP application. The following table outlines the new deviation and the five previously approved deviations:

Requested Deviations	Justifications
<p>New Deviation</p> <ul style="list-style-type: none"> • 203 unassigned parking spaces where 236 is the minimum required 	<ul style="list-style-type: none"> • The 128 tandem spaces and 70 on-street spaces will provide sufficient parking spaces so the site will not be under-parked.
<p>Previously Approved Deviations</p> <ul style="list-style-type: none"> • Building heights of 39' where 35' is the maximum allowed • The distance between building is at places 15' where 26' is the minimum allowed • A front yard setback on De Guigne of 15' average where 20' average is required • A front yard setback on the new public street of 10' minimum and 15' average where 15' is the minimum and 20' average is required. 	<ul style="list-style-type: none"> • Building height deviations are typical for townhouse projects, particularly those recently approved in Sunnyvale. • Greater open space is provided in the common open space areas and a larger clubhouse is provided • The units facing De Guigne present to the street, thereby mimicking and complementing the current streetscape pattern in the neighborhood. In addition, the front elevations are articulated so that some portions encroach as close as 10' and some are greater than 20'. The average width is 15' for the entire perimeter of the project.

Requested Deviations	Justifications
<ul style="list-style-type: none"> A frontage width of 15' average and 10' minimum where 15' is the minimum required. 	<ul style="list-style-type: none"> The 10' frontage width is only on the new public street. The frontage width on De Guigne and Duane is a minimum width of 15'.

Staff believes this project provides a high level of architectural quality, increased average open space (clubhouse square footage and landscaping per unit) versus SMC requirements, a compatible residential use with the surrounding uses (existing and future uses) and additional ownership opportunities that would not be available if the project were required to comply with the standards noted. Staff finds adequate justification to approve the requested deviation with the Recommended Conditions of Approval.

EXPECTED IMPACT ON SURROUNDINGS

Staff finds that with mitigation measurements contained in the EIR, the proposed project will not have an impact to the surrounding neighborhood (existing and future ITR). No significant traffic or noise impacts are expected as a result of the project and no visual impacts are expected. The applicant has worked with staff to address the project's architectural compatibility with the single-family existing neighborhood across East Duane Avenue and to minimize any potentially negative impacts.

PUBLIC CONTACT

Planning Commission Study Session: This project was heard at a Planning Commission Study Session on May 24, 2010. At that meeting the Commission voiced concern and support for the project, including:

- Support for the District Plan
- Proposed architecture good, but some enhancements are needed
- Parking may be a concern

The architect has responded to these concerns and the revisions have been included in the site and architecture plans in Attachment D and F.

Public Contact: 109 notices were sent to surrounding property owners and residents adjacent to subject site in addition to standard noticing practice. No letters were received.

ENVIRONMENTAL DETERMINATION

The project is within the boundaries of a previously certified Environmental Impact Report (East Sunnyvale Industrial-To-Residential ITR Project).

ALTERNATIVES:

1. Approve the Special Development Permit with the Conditions of Approval located in Attachment A.
2. Approve the Special Development Permit with the modified Conditions of Approval.
3. Deny the Special Development Permit

RECOMMENDATION

Alternative 1: Approve the Special Development Permit with the Conditions of Approval located in Attachment A.

Staff was able to make the required Findings as located in Attachment A.

Reviewed by:

Trudi Ryan
Planning Officer
Prepared By: Steve Lynch, Senior Planner

Attachments:

- A. Findings
- B. Standard Requirements and Recommended Conditions of Approval
- C. Project Data Table
- D. Site and Architectural Plans
- E. Project Description Letter from the Applicant
- F. Color Elevations (11x17)
- G. Letter from SMNA Board (Tara Martin-Milius, et al)
- H. Draft Minutes from Planning Commission Meeting of June 28, 2010

General Plan Goals and Policies

Housing and Community Revitalization Sub-element

Policy A.2: *All new residential developments should build at least 75 percent of the permitted density.*

The proposal exceeds this policy with 242 housing units, where 230 units would meet the 75 percent minimum allowed.

Policy C.1: *Continue efforts to balance the need for additional housing with other community values, such as preserving the character of established neighborhoods, high quality design, and promoting a sense of identity in each neighborhood.*

The project provides needed housing opportunities within an Industrial to Residential conversion neighborhood (recently approved).

Goal D: *Maintain diversity in tenure, type, size, and location of housing to permit a range of individual choices for all current residents and those expected to become city residents.*

The project provides additional ownership opportunities within a multi-family style of residential development.

Goal E: *Maintain and increase housing units affordable to households of all income levels and ages.*

The proposal meets this goal with 212 market rate units and 30 new BMR units.

Land Use and Transportation Element

Policy C2.2: *Encourage the development of ownership housing to maintain a majority of housing in the city for ownership choices.*

This project achieves this policy with 242 ownership housing units.

Policy N1.2: *Require new development to be compatible with the neighborhood, adjacent land uses and the transportation system.*

The project site is situated between one existing low density single-family neighborhood and an approved, Industrial to

Residential conversion zone. The proposed project is compatible with the adjacent land uses and the zoning for the area.

Community Design Sub-element

Policy C.4: *Encourage quality architectural design, which improves the City's identity, inspires creativity, and heightens individual as well as cultural identity.*

The proposed architecture incorporates high quality design and significantly improves the visual appearance of the site.

FINDINGS

1. The proposed use attains the objectives and purposes of the General Plan of the City of Sunnyvale.

The project meets the goals and policies of the General Plan, as enumerated above.

2. The proposed use ensures that the general appearance of proposed structures, or the uses to be made of the property to which the application refers, will not impair either, the orderly development of, or the existing uses being made of, adjacent properties.

The proposed architecture meets the City-Wide Design Guidelines. The proposed project meets the intent of the ITR zoning district. There will be no change in Sunnyvale code requirements as a result of this project; therefore, the existing uses on adjacent properties will not be impacted, interfered, or otherwise damaged by the proposed use. The related IER for the East Sunnyvale Industrial to Residential project includes measures to avoid conflicts with adjacent industrial uses.

**RECOMMENDED
CONDITIONS OF APPROVAL AND
STANDARD DEVELOPMENT REQUIREMENTS
JUNE 28, 2010**

Planning Application 2010-7048
920-962 E. Duane Avenue

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

THE FOLLOWING GENERAL CONDITIONS SHALL APPLY TO THE APPROVED PROJECT.

1. CONFORMANCE WITH APPROVED PLANNING APPLICATION – All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]
2. PERMIT EXPIRATION (Ordinance 2895-09): The Special Development Permit shall be valid for three (3) years from the date of approval by the final review authority (as adopted by City Council on April 21, 2009, RTC 09-094). Extensions of time may be considered, for a maximum of two one year extensions, if applied for and approved prior to the expiration of

the permit approval. If the approval is not exercised within this time frame, the permit is null and void. [SDR] (PLANNING)

3. CONFORMANCE WITH PREVIOUS PLANNING PERMIT – The subject site shall comply with all conditions of approval and requirements of planning application 2006-0598, unless otherwise modified by these conditions of approval. [PLANNING] [COA]

THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF BUILDING PERMIT, AND/OR GRADING PERMIT.

4. PUBLIC WORKS – Additional project requirements:
 - a) A new (or amended) subdivision agreement and improvement securities shall be executed with adequate parties who are responsible for completion of the public improvements.
 - b) The record engineer shall provide an updated utility analysis (to verify if the current design is still adequate) for City's review and approval, due to the changes of unit mix. Revise design and construction as needed based upon the updated analysis.
 - c) Pay additional water and sewer connection fees based on the new unit mix of 136 low-occupancy units and 106 standard-occupancy units (former unit mix was 166 low-occupancy units and 76 standard-occupancy units): \$3,870.00 for incremental water connection fee and \$34,713.90 for incremental sewer connection fee. Please note that fee amounts are subject to annual change and approval by the City Council.
5. CONDITIONS, COVENTANT, AND RESTRICTIONS: A restriction shall be added to the CC&Rs that requires the tandem parking spaces to be used for parking. Under no circumstances shall this space be used as storage.
6. REQUIRED REVISIONS TO PROJECT PLANS - The plans shall be revised to address the following:
 - a) The garage doors shall have a variation in their designs that reflects the building basic design style.
 - b) The stucco textures shall vary between building styles (i.e. smooth, Monterey, skip trowel, wavy.)
 - c) The applicant shall continue to explore the idea of climbing vines or a green screen on the sides, rear, and/or front of the buildings.
7. PARKING MANAGEMENT PLAN (RESIDENTIAL MULTI-FAMILY) - A Parking Management Plan is subject to review and approval by the Director of Community Development prior to issuance of a building permit. The Parking Management Plan shall include the following:
 - a) A clear definition of “guest” as proposed by the property manager/homeowner’s association and subject to review and approval by the Director of Community Development.

- b) The property manager/homeowner's association must specify that at least 50% and not more than 75% of unassigned spaces be reserved for guest use.
- c) Clearly indicate that the property manager/homeowner's association shall not rent unassigned spaces, except that a nominal fee may be charged for parking management.
- d) Tenants shall use their assigned parking spaces prior to using unassigned parking spaces.
- e) Prohibit tenants from parking RV's, trailers, or boats in assigned spaces.
- f) Notify potential residents that number of parking spaces provided for each unit on-site as per the approved plans. [PLANNING] [COA]

THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF BUILDING PERMIT, AND/OR FINAL OCCUPANCY OF ANY UNIT IN THE PROJECT.

8. SUBDIVISION AGREEMENT: Execute and Amended and Restated Subdivision Agreement and provide improvement securities and/or cash deposits as outlined in the Agreement executed prior to issuance of the first certificate of occupancy or prior to issuance of any building permit.

Previous Condition of Approval to Be Modified

General Conditions 1.(I):

Both of the ~~children's play areas (tot lots)~~ common areas shall contain ~~playground~~ site features (children's play structures, adult sport courts, pool) for active uses (not passive) by different ~~two~~ age groups. ~~of children. One shall be for toddlers and the second shall be for younger elementary age children.~~ Final design is subject to approval by the Director of Community Development prior to issuance of a building permit.

PROJECT DATA TABLE

	Approved	PROPOSED	REQUIRED/ PERMITTED
General Plan	Industrial to Residential	Industrial to Residential	Industrial to Residential
Zoning District	MS/ITR/R-3/PD	MS/ITR/R-3/PD	MS/ITR/R-3/PD
Lot Size (s.f.)	Net = 557,523 (less public street dedication) Gross = 607,019	Net = 557,523 (less public street dedication) Gross = 607,019	8,000 min.
Gross Floor Area (s.f.)	427,387	488,857	N/A
Lot Coverage (%)	34.4%	38%	40% max.
Floor Area Ratio (FAR)	76.7%	87.7%	N/A
No. of Units	242	242	307 max.
Density (units/acre)	18.9	18.9	24 du/ac max.
Meets 75% min?	Yes	Yes	230 min.
Lockable Storage/Unit	Covered garages	Covered garages	300 cu. ft. min.
No. of Buildings On-Site	38	38	N/A
★ Distance Between Buildings (ft.)	15' min	15' min	26' min.
★ Building Height (ft.)	39'	39'	35' max.
No. of Stories	3	3	3 max.
Setbacks (First & Second Stories Facing Property)			
★ • Front on Duane (minimum and average)	15' min. 30' avg.	15' min. 30' avg.	15' min. 20' avg.
★ • Front on De Guigne (minimum and average)	15' min. 15' avg.	15' min. 15' avg.	15' min 20' avg.
★ • Front on new public street (minimum and average)	10' min. 15' avg.	10' min. 15' avg.	15' min 20' avg.
• Right Side	13'	13'	12' min
Landscaping (s.f.)			
• Total Landscaping	225,217 (includes 47,000 sf. park area)	224,182 (includes 44,253 sf. park area)	102,850 min.
• Landscaping/Unit	931	926	425 min.
• Total Usable Open Space	123,301	125,609	96,800 min.

	Approved	PROPOSED	REQUIRED/ PERMITTED
★ • Usable Open Space/Unit	510	519	400 min.
★ • Frontage Width (ft.)	15' average (10' minimum on new public street frontage only)	15' average (10' minimum on new public street frontage only)	15' min.
• Parking Lot Area Shading (%)	51%	51%	50% min. in 15 years
• Water Conserving Plants (%)	70%	70%	70% min.
• Clubhouse (s.f.)	2,213 (including kitchen and restrooms)	2,213 (including kitchen and restrooms)	450
Parking			
★ • Total Spaces	558	553	586 min.
• Covered Spaces	350	350	350 min.
★ • Unassigned Spaces	205	203	236 min.
• Accessible Spaces	6	6	6 min.
• Aisle Width (ft.)	26' min.	26' min.	24' min.
• Bicycle Parking	20 Class II spaces	24 Class II spaces	16 Class II spaces

★ Starred items indicate deviations from Sunnyvale Municipal Code requirements.

SUNNYVALE ASSOCIATES LLC
DEVELOPER
228 TOWNHOME UNITS
SOUTHEAST CORNER OF DUANE AVENUE & DE GUIGNE DRIVE

PROJECT DATA

APN 228-22-005 & 020	MR	Let Coverage (%)	38%
General Plan Category	R-3/PD	Floor Area Ratio (FAR)	87.70%
Zoning District	807.01B±	No. of Buildings (X-Site)	2 existing, 36 remaining
Lot Size Gross (sq. ft.)	557,523±	Distance Between Buildings (ft.)	15 front to front
Lot Size Net (sq. ft.)	488,557±	Building Height (ft.)	39
Gross Floor Area (sq. ft.)	228 proposed 1/4 existing	No. of Stories	3
No. of Units	Approx. 16.8 cu/acre	Ex. Impervious	36,020±
Density (units/acre)	Meets 75% min	Prop. Impervious	370,701±
Meets 75% min	Yes	Surface Area (sq.ft.)	
Lockable Storage/Unit (cu.ft.)	Covered Garage	Surface Area (sq.ft.)	370,701±
Proposed Buildings		Setbacks (ft.):	
No. of Bedrooms/Unit		Front - Ex. Public Street	15 living area
Plan 1: 2bd/2.5ba	30 Units	Front - Prop. Public Street	10 living area
Plan 2: 2bd/2.5ba	30 Units	Front - Adjacent Property	15 living area
Plan 3: 2bd/2.5ba	30 Units	Side - Public Street	10
Plan 4: 2bd/2ba	36 Units	Side	NA
Plan 5: 3bd/3ba	30 Units	Recr	NA
Plan 7/7Nt: 3bd/3.5ba	35 Units	Landscaping (total sq.ft.)	224,182±
Unit Sizes (Net/Gross sq ft)	Pvt. Open Space (sq ft)	Usable open space -	
Plan 1: 1216/1302±	48±	Common Area (sq.ft.)	80,587±
Plan 2: 1237/1340±	54±	Total No. of On Site Parking Spaces	681
Plan 3: 1356/1513±	81±	Open Parking	203
Plan 4: 1288/1371±	81±	Handicap Stalls (6)	
Plan 5: 1479/1571±	134±	Standard 18' x 8.5' (130)	
Plan 6: 1600/1721±	88±	Compact (35% max) 16' x 7.5' (87)	
Plan 7/7Nt: 1879/1988±	142±	Standard Garage (108 units)	216
Existing Building No. 2		Tandem Garage (128 units)	128 + 128 in Tandem
No. of Bedrooms/Unit		Single Garage (5 units)	6
Plan 1: 2br/2ba	2 Units	Total No. of Public Street Parking Spaces	
Plan 2: 3br/3.5ba	2 Units	Duane Avenue	3
Plan 3: 3br/3.5ba	2 Units	DeGuigne Drive	0
Unit Sizes (sq. ft.)		Santa Rosa Ave	2: (15) park side, (6) project side
Plan 1: 1573±		Indian Wells Ave	18
Plan 2: 1374±			
Plan 3: 1541±			
Existing Building No. 28			
No. of Bedrooms/Unit			
Plan 1: 1br/1.5ba	1 Unit		
Plan 2: 1br/1.5ba	2 Units		
Plan 3: 2br/2.5ba	2 Units		
Plan 4: 2br/3ba	2 Units		
Plan 5: 2br/2.5	1 Unit		
Unit Sizes (sq. ft.)			
Plan 1: 960±			
Plan 2: 1,075±			
Plan 3: 1,327±			
Plan 4: 1,575±			
Plan 5: 1,465±			

LOCATION MAP
SCALE: 1" = 1000'

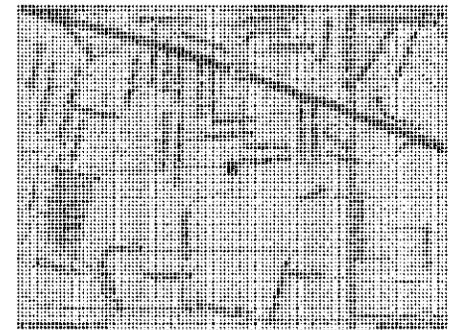


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A3.1-3.7	Building 3 Elevations and Floor Plans
A4.1-4.7	Building 4 Elevations and Floor Plans
A5.1	Clubhouse Floor Plans, existing and proposed
L8.1	Landscape Site Plan
L8.2	Neighborhood District Plan
L8.3	Circulation Plan
L8.4	Landscape Enlargement Plan
L8.5-8.6	Plant Palette and Imagery
L8.7	Parking Area Shade Analysis
L8.8-8.9	Landscape Imagery

The following drawings were not substantially changed from the approved project and are included here for reference.

1 of 1	Trash Enclosure Plan
1 of 3	Tentative Map - Lotting & Easement Plan
2 of 3	Tentative Map - Grading and Drainage Plan
3 of 3	Tentative Map - Existing Topo
10.	Conceptual Stormwater Treatment Plan
12.	Tree Analysis

* Based on net acres excluding public park & public street dedication

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MAY 11 2010

SUNNYVALE ASSOC. LLC
DUANE AVENUE

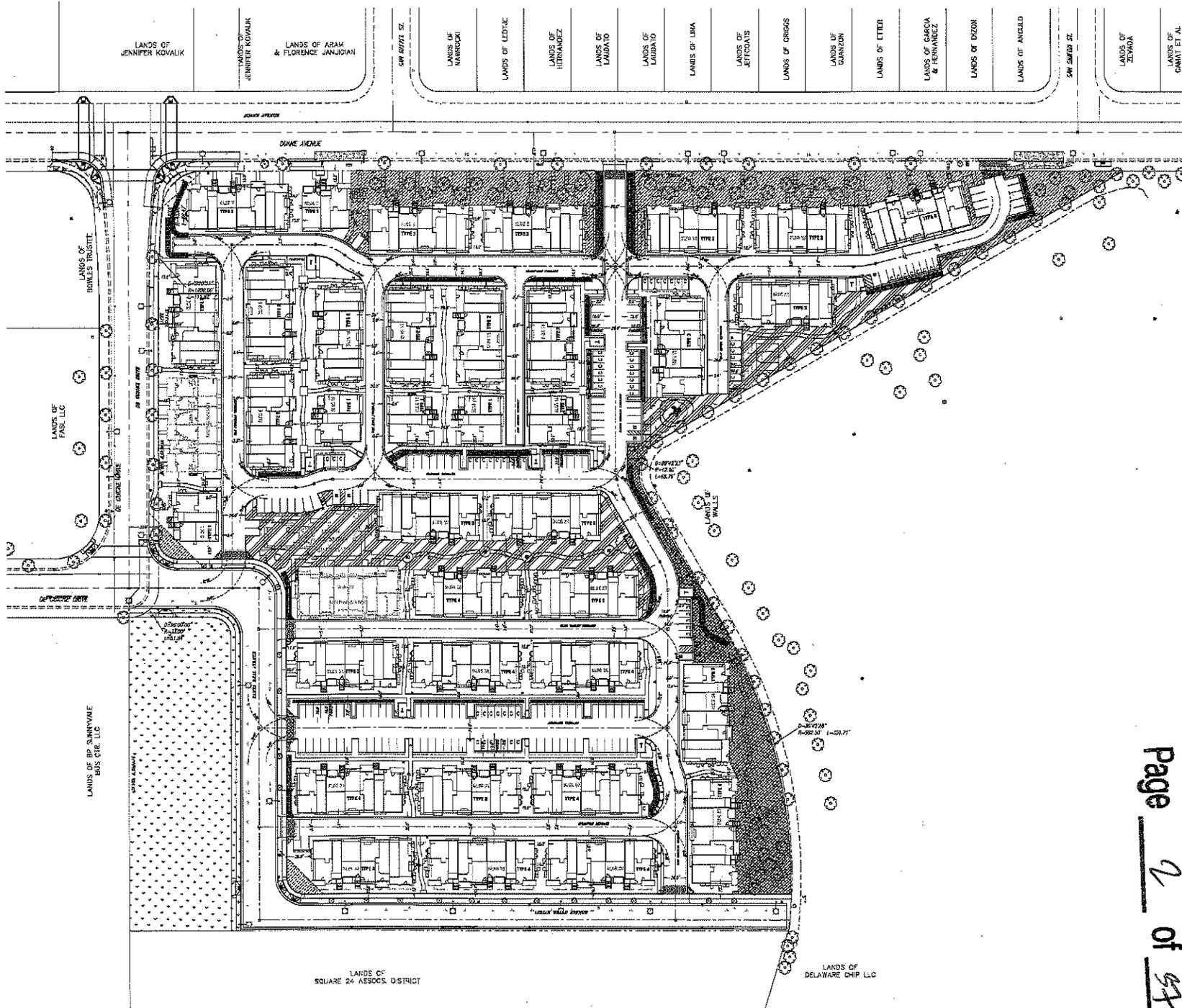
FOR SHEET	
S/E CORNER OF DUANE AVENUE & DE GUIGNE DRIVE	
SUNNYVALE ASSOCIATES LLC	
DATE: MAY 12, 2010	
SCALE: AS SHOWN	
DRAWN BY: [Signature]	
CHECKED BY: [Signature]	
RECORDED BY: [Signature]	
DATE	SHEET
	1
	OF

DEVELOPER:
Sunnyvale Assoc. LLC
950 Tower Lane Suite 1250
Foster City, CA 94404
Phone Number: (650) 524-7615
Fax Number: (650) 349-2442
Contact Person: Steve Zales

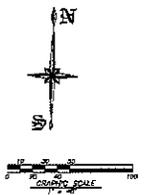
ARCHITECT:
KTGY Group
283 4th Street, Third Floor
Oakland, CA 94607
Phone Number: (650) 272-2910
Fax Number: (650) 272-2911
Contact Person: Jill Williams

LANDSCAPE ARCHITECT:
Van Dorn Abed Landscape Arch. Inc.
81 14th Street
San Francisco, CA 94103
Phone Number: (415) 864-1921
Fax Number: (415) 864-4796
Contact Person: Zeki Abed

ENGINEER:
Charles W. Davidson Co.
255 West Julian Street Suite 200
San Jose, CA 95110
Phone Number: (408) 295-9162
Fax Number: (408) 993-1511
Contact Person: Michelle Fisk



SITE AREA		
NET SITE AREA	877,016 sq. ft.	
PUBLIC PARK	44,253 sq. ft.	
NEW PUBLIC STREET	49,498 sq. ft.	
REMAINING SITE AREA	513,275 sq. ft.	
REDWOOD TREE GROVE	16,937 sq. ft.	
DUANE AVE. TREE GROVE	31,523 sq. ft.	
TOTAL OPEN SPACE	32,888 sq. ft.	

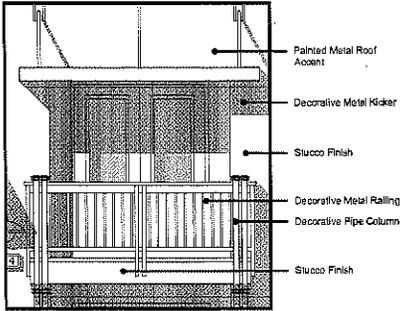


O'BRIEN HOMES/
SUNNYVALE ASSOC. LLC
DUANE AVENUE

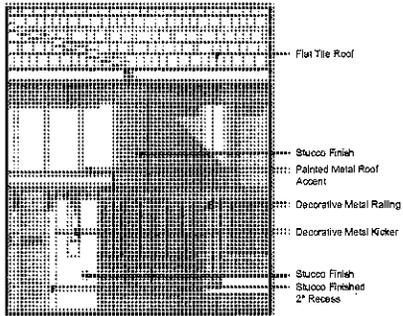
TECHNICAL SITE PLAN S/E CORNER OF DUANE AVENUE & DE GUE DRIVE SUNNYVALE, CALIFORNIA		
Shirley W. Swanson Co. A CALIFORNIA CORPORATION CONSULTING CIVIL ENGINEERS 1001 S. MAIN STREET, SUITE 200 SUNNYVALE, CALIF. 94086-3500 TEL. (415) 335-1100 FAX (415) 335-1101		
JOB NUMBER	1877	
DATE	January 27, 2010	
SCALE	1" = 40'	
DESIGNED BY		M.N.E.
CHECKED BY		
REVISION	DATE	SHEET
		2
		of 54

ATTACHMENT **D**
Page 2 of 54

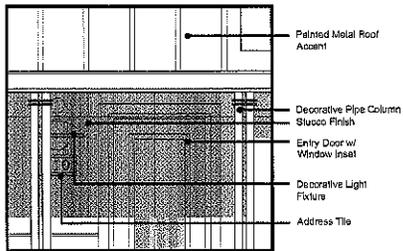
ALL RIGHTS RESERVED BY THE CONSULTING ENGINEER. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM SHIRLEY W. SWANSON CO.



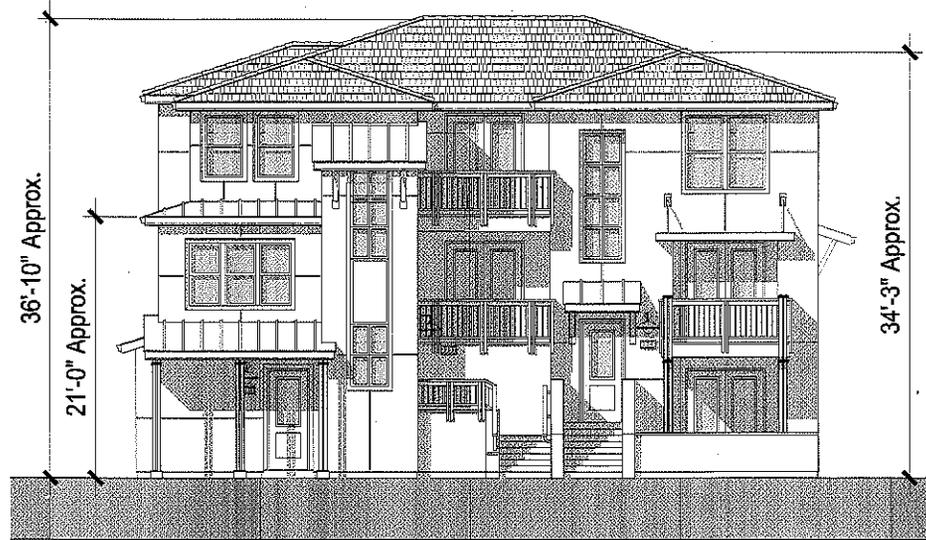
Deck Detail



Metal Accents



Entry Patio



Front Elevation

ATTACHMENT
Page 4 of 27

BLDG. 1
Contemporary
3-PLEX



A1.1

EXTERIOR ELEVATIONS

Duane Avenue

Sunnyvale, California

O'Brien Homes/Sunnyvale
Associates, LLC

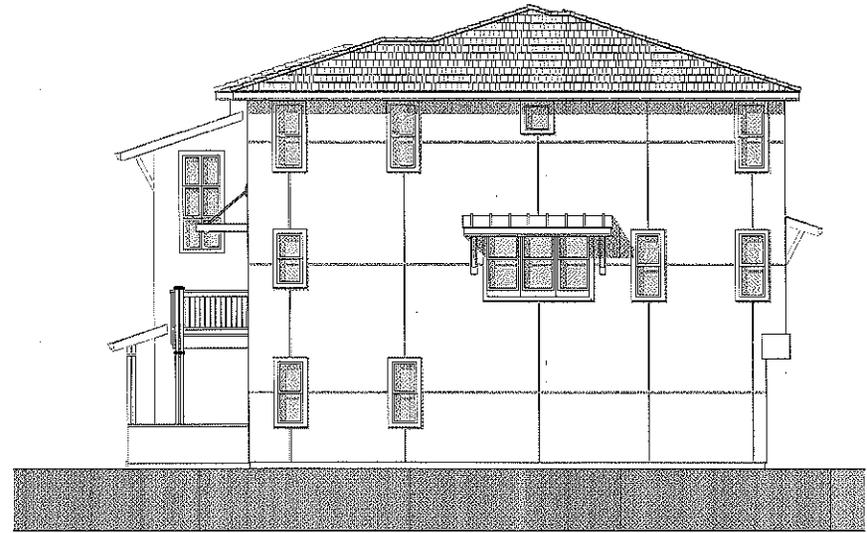
KTGY NO. 2009-0241
June 18, 2010

Architecture + Planning
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Oakland, California 94607
ktgy.com
510.272.2910 Main
510.292.2911 Fax

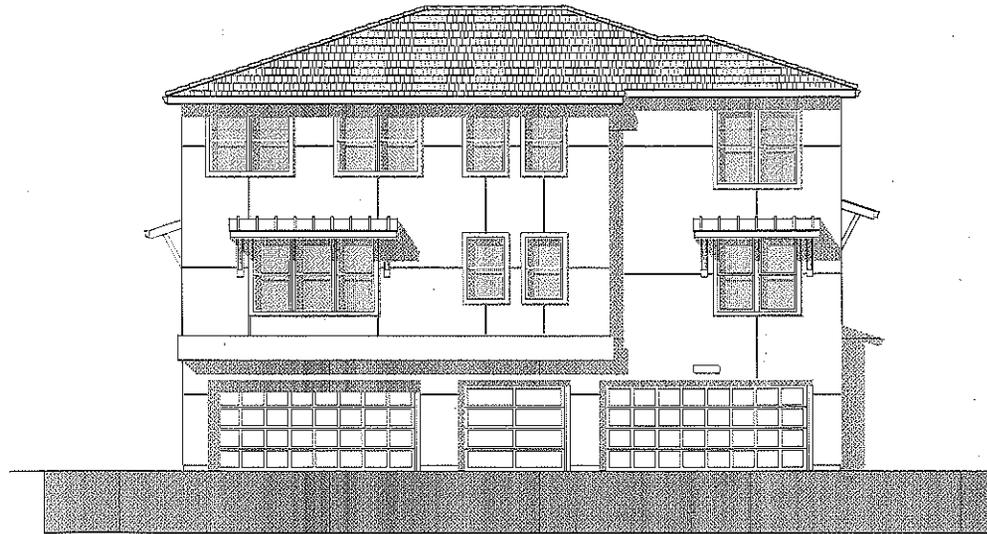




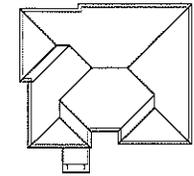
Left Elevation



Right Elevation



Rear Elevation



Roof Plan

ATTACHMENT
Page A of 37

BLDG. 1
Contemporary
3-PLEX



A1.2

EXTERIOR ELEVATIONS

Duane Avenue

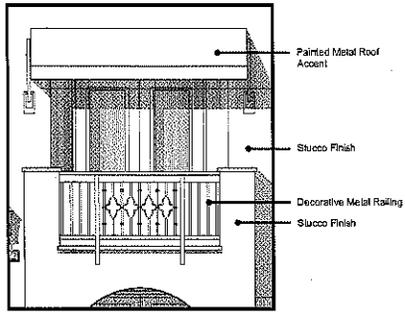
Sunnyvale, California

O'Brien Homes/Sunnyvale
Associates, LLC

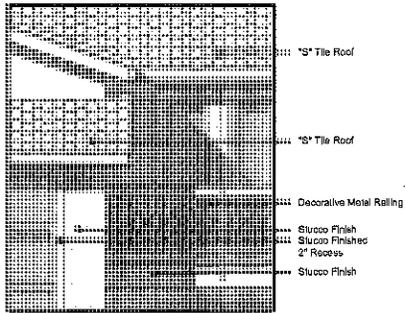
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510.272.2910 Main
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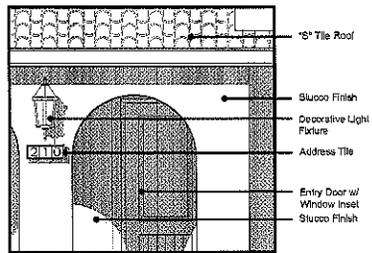




Deck Detail



Accents



Entry Patio



Front Elevation

ATTACHMENT
 Page 5 of 17

BLDG. 1
 Spanish Eclectic
 3-PLEX



A1.3

EXTERIOR ELEVATIONS

Duane Avenue

Sunnyvale, California

O'Brien Homes/Sunnyvale Associates, LLC

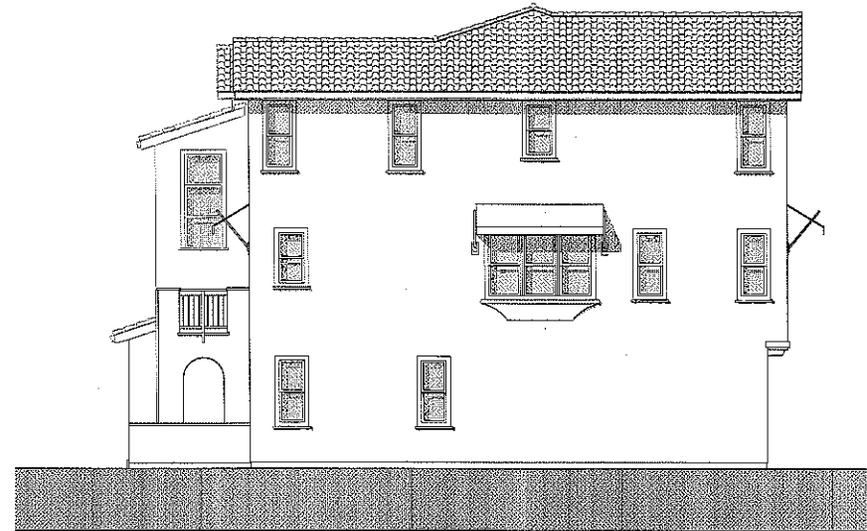
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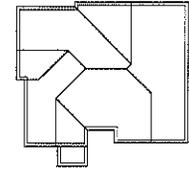
Left Elevation



Right Elevation



Rear Elevation



Roof Plan

ATTACHMENT
Page 10 of 27

BLDG. 1
Spanish Eclectic
3-PLEX



A1.4

O'Brien Homes/Sunnyvale
Associates, LLC

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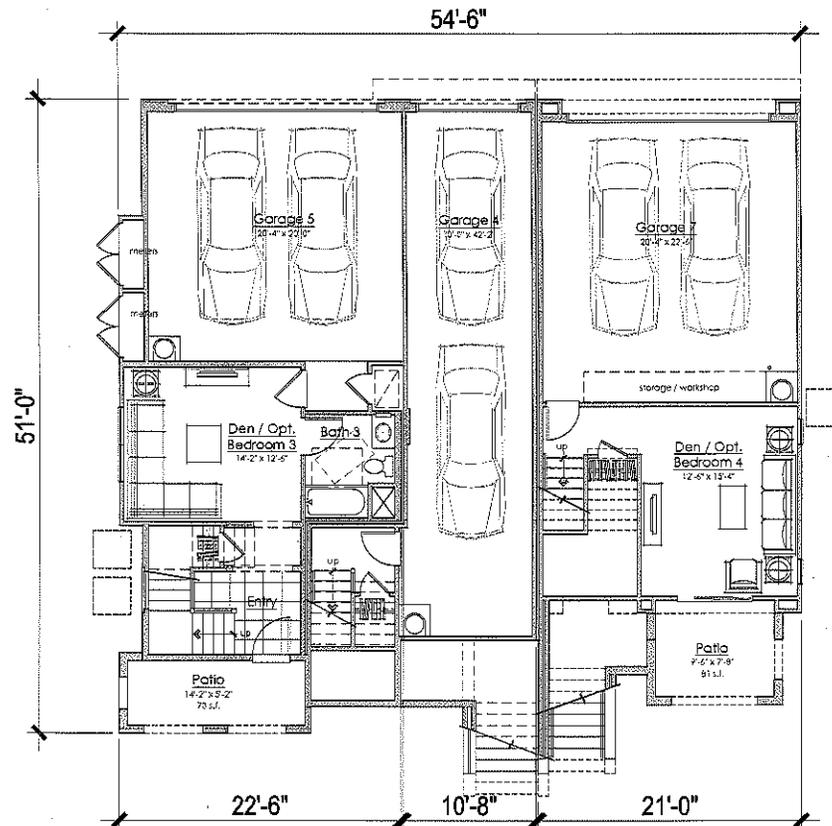
EXTERIOR ELEVATIONS

Duane Avenue

Sunnyvale, California

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Plan 5	Plan 4	Plan 7Alt - End Unit
2 Bedrooms + Den	2 Bedrooms + Office	3 Bedrooms + Den
Opt. Bedroom 3	2 Bath	Opt. Bedroom 4
3 Bath	1,377 S.F. Gross	2.5 Bath / Opt. Bath 3
1,571 S.F. Gross	1,298 S.F. Net	1,978 S.F. Gross
1,479 S.F. Net		1,872 S.F. Net

First Floor

BLDG. 1 COMPOSITE PLANS

Duane Avenue
Sunnyvale, California

ATTACHMENT
Page 4 of 27

3- PLEX

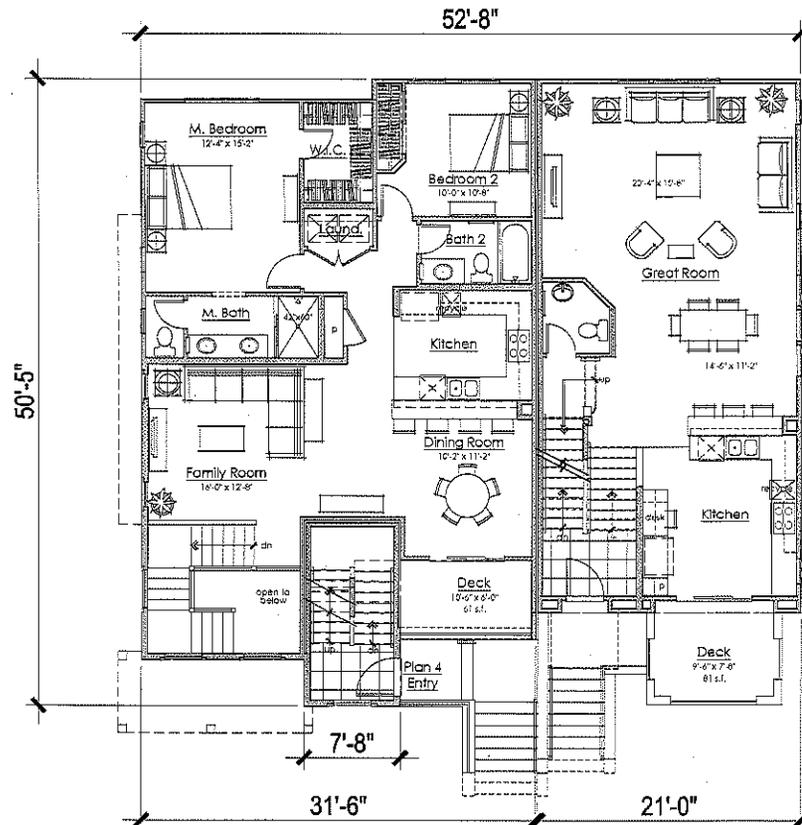
A1.5

O'Brien Homes/Sunnyvale
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- | | | |
|------------------|---------------------|------------------------|
| Plan 5 | Plan 4 | Plan 7Alt - End Unit |
| 2 Bedrooms + Den | 2 Bedrooms + Office | 3 Bedrooms + Den |
| Opt. Bedroom 3 | 2 Bath | Opt. Bedroom 4 |
| 3 Bath | | 2.5 Bath / Opt. Bath 3 |

Second Floor

BLDG. 1 COMPOSITE PLANS

Duane Avenue
Sunnyvale, California

ATTACHMENT
Page 8 of 37
3-PLEX

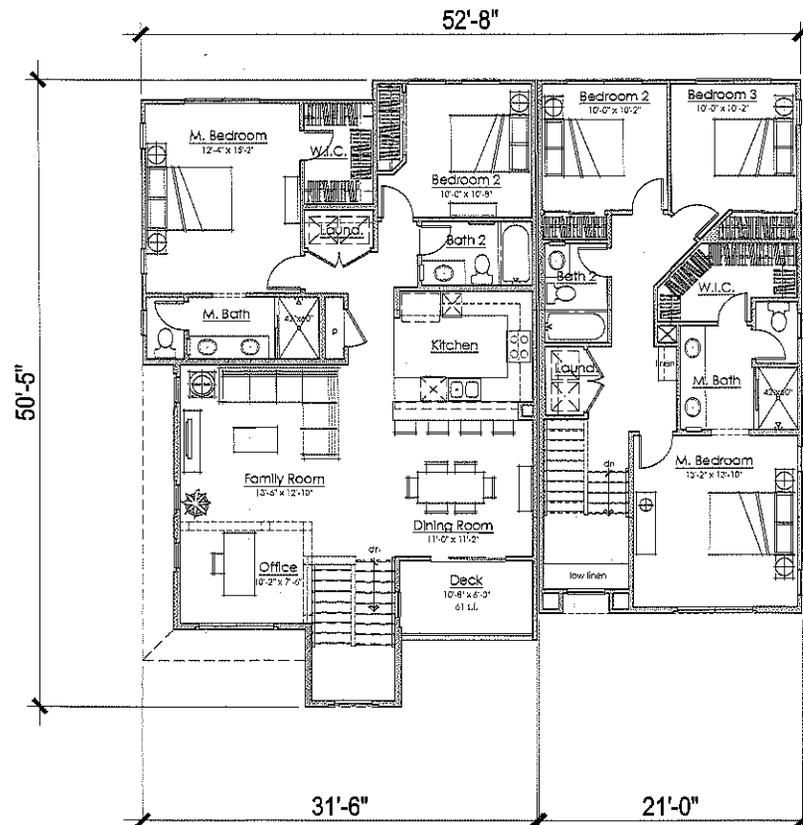
A1.6

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Plan 4
2 Bedrooms + Office
2 Bath

Plan 7Alt - End Unit
3 Bedrooms + Den
Opt. Bedroom 4
2.5 Bath / Opt. Bath 3

Third Floor

BLDG. 1 COMPOSITE PLANS

ATTACHMENT
 Page 1 of 5
 3 PLEX

A1.7

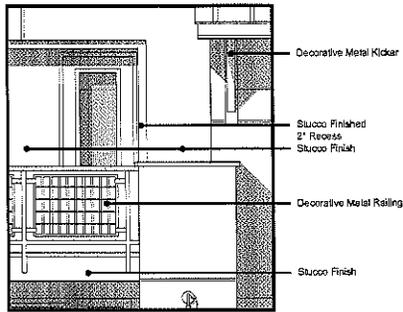
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Associates, LLC

Duane Avenue
Sunnyvale, California

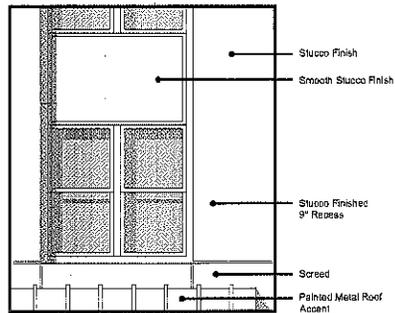
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510.292.2911 Fax

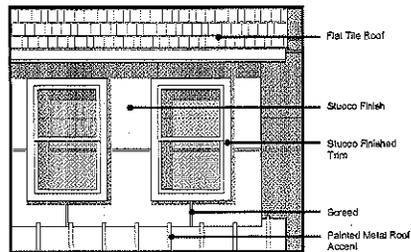




Metal Accents



Window Grouping



Roof Variation



Front Elevation

BLDG. 2
 Contemporary
 7-PLEX



A2.1

EXTERIOR ELEVATIONS

Duane Avenue

Sunnyvale, California

ATTACHMENT
 Page 10 of 37

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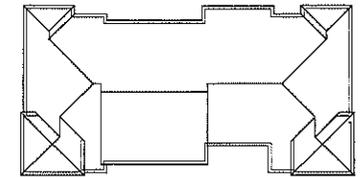
Left Elevation



Right Elevation



Rear Elevation



Roof Plan

ATTACHMENT
 Page 7 of 7
 BLDG. Contemporary
 7-LEVEL

A2.2

O'Brien Homes/Sunnyvale
 Associates, LLC

KTGY NO. 2009-0241
 June 18, 2010

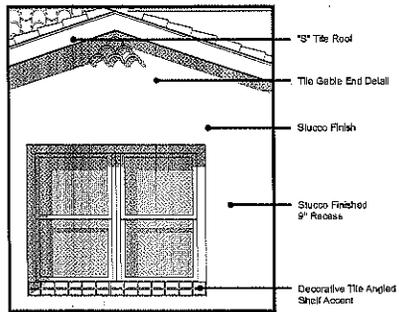
EXTERIOR ELEVATIONS

Duane Avenue

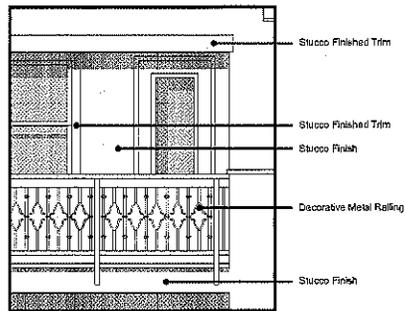
Sunnyvale, California

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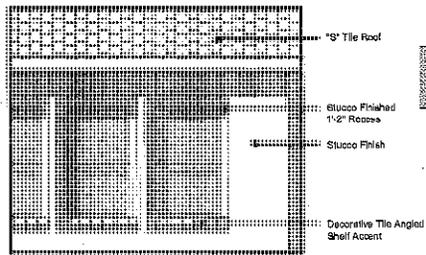
D



Gable End Detail



Deck Accents



Recessed Tile Accent



38'-10" Approx.

34'-8" Approx.

20'-0" Approx.

Front Elevation

BLDG. 2
Spanish Eclectic
7-PLEX



A2.3

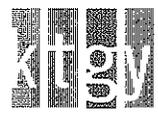
EXTERIOR ELEVATIONS

Duane Avenue
Sunnyvale, California

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Associates, LLC

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Left Elevation

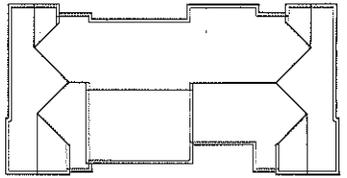


Right Elevation

ATTACHMENT
 Page 13 of 24
 ALL APPROX.



Rear Elevation



Roof Plan

BLDG. 2
 Spanish Eclectic
 7-PLEX



A2.4

EXTERIOR ELEVATIONS

Duane Avenue

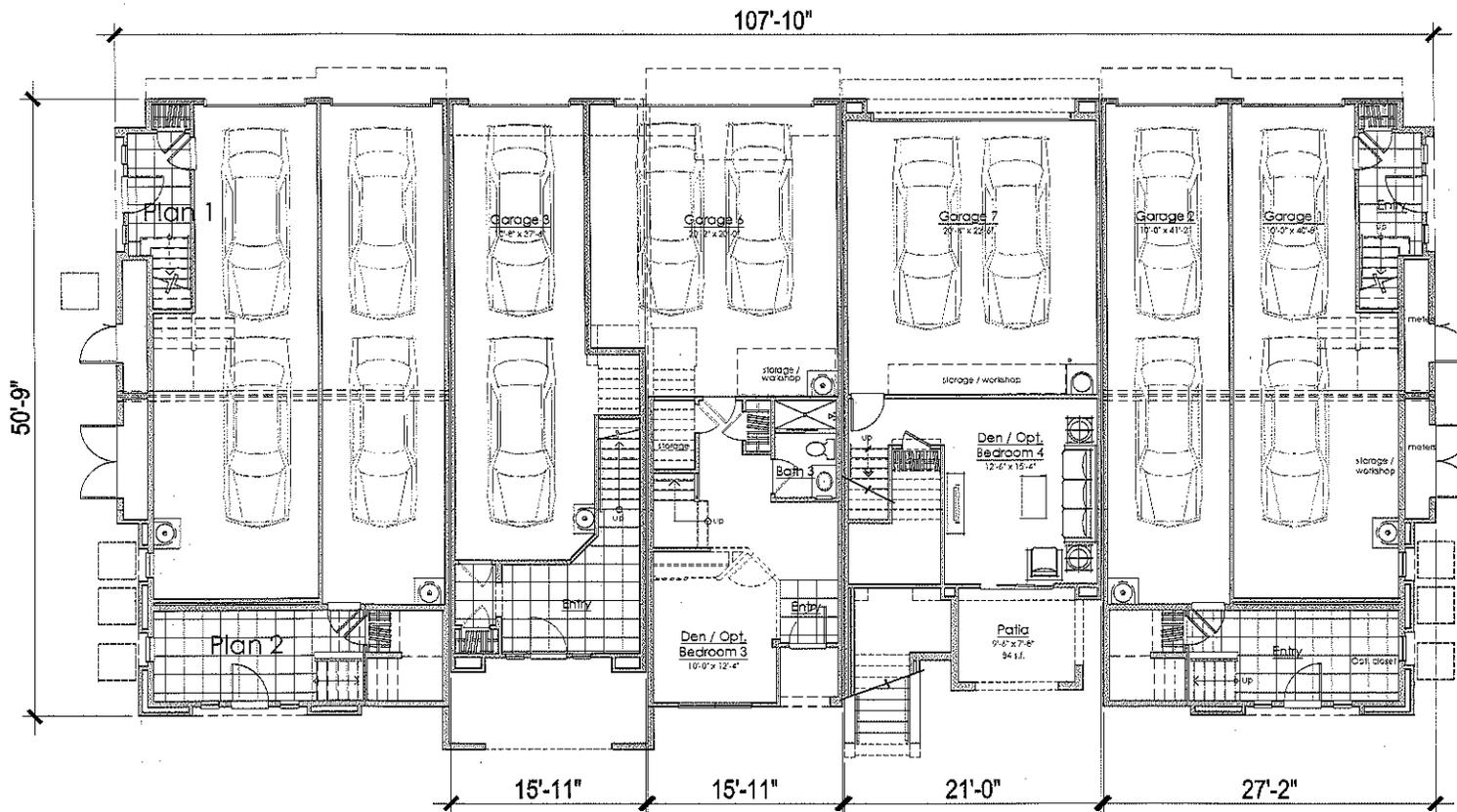
Sunnyvale, California

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 ktgy.com
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Plan 1
 2 Bedrooms
 2.5 Bath
 1,302 S.F. Gross
 1,215 S.F. Net

<p>Plan 3 2 Bedrooms 2.5 Bath 1,494 S.F. Gross 1,386 S.F. Net</p>	<p>Plan 6 2 Bedrooms + Den Opt. Bedroom 3 3 Bath 1,721 S.F. Gross 1,600 S.F. Net</p>	<p>Plan 7 3 Bedrooms + Den Opt. Bedroom 4 2.5 Bath / Opt. Bath 3 1,978 S.F. Gross 1,872 S.F. Net</p>	<p>Plan 2 2 Bedrooms 2.5 Bath 1,340 S.F. Gross 1,237 S.F. Net</p>
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First Floor

BLDG. 2 COMPOSITE PLANS

7- PLEX

A2.5

ATTACHMENT
 Page 14 of 41

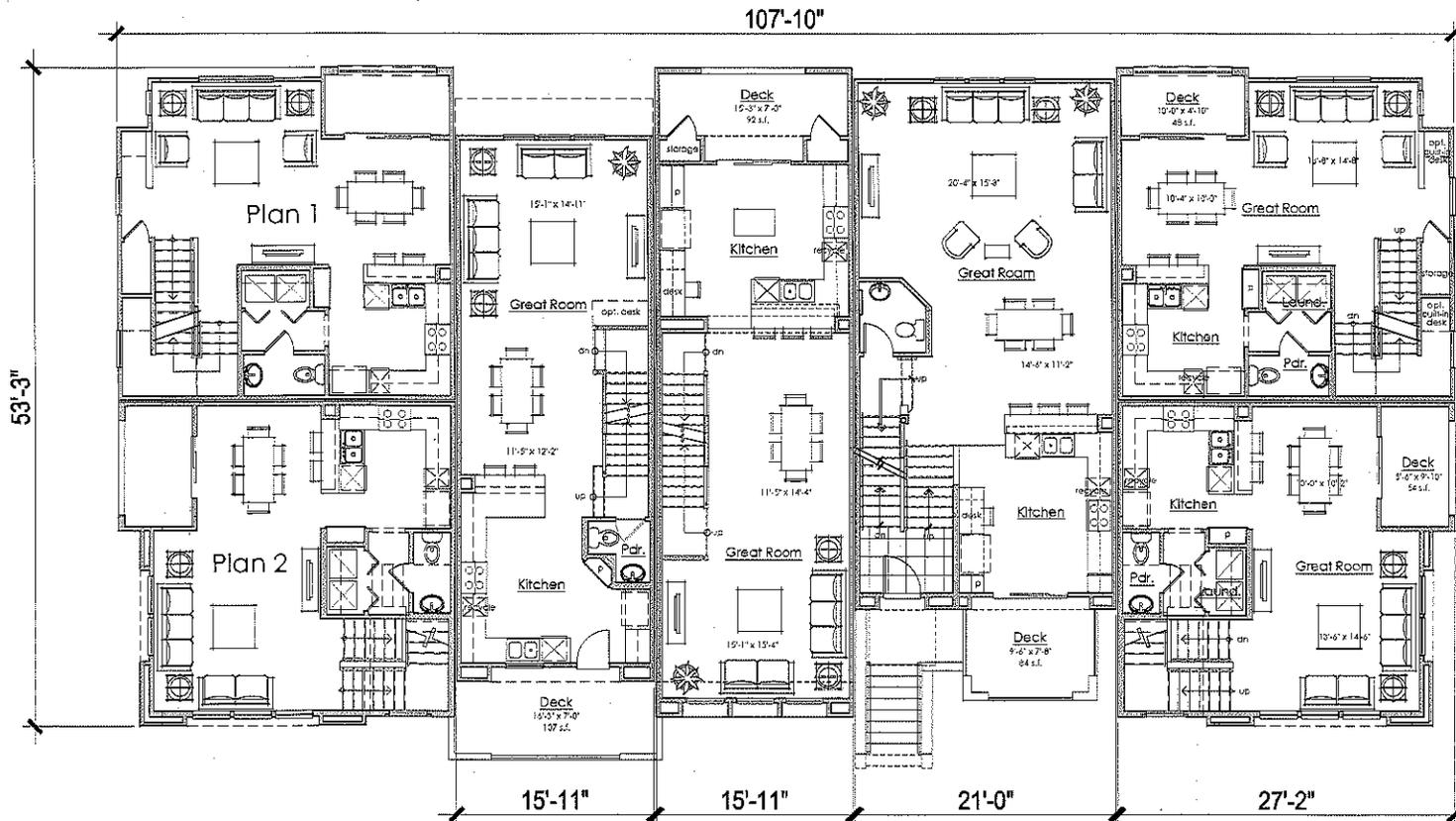
O'Brien Homes/Sunnyvale
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KTGY NO. 2009-0241
 June 18, 2010



Plan 1
2 Bedrooms
2.5 Bath

Plan 3
2 Bedrooms
2.5 Bath

Plan 6
2 Bedrooms + Den
Opt. Bedroom 3
3 Bath

Plan 7
3 Bedrooms + Den
Opt. Bedroom 4
2.5 Bath / Opt. Bath 3

Plan 2
2 Bedrooms
2.5 Bath

ATTACHMENT
Page 15 of 41

7- PLEX

Second Floor

BLDG. 2 COMPOSITE PLANS

A2.6

O'Brien Homes/Sunnyvale
Associates, LLC

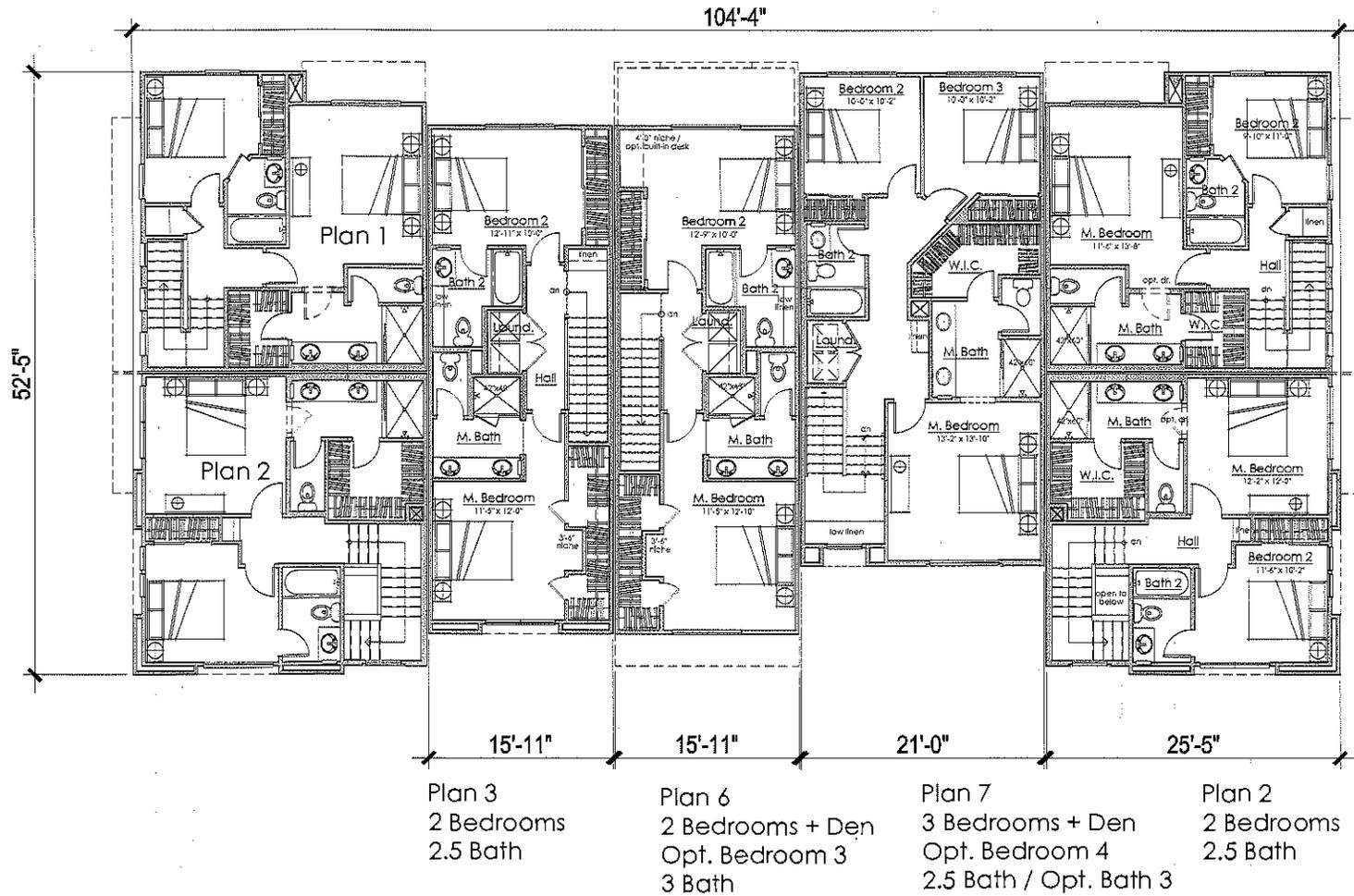
Duane Avenue

Sunnyvale, California

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June 18, 2010

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Plan 1
2 Bedrooms
2.5 Bath

Plan 3
2 Bedrooms
2.5 Bath

Plan 6
2 Bedrooms + Den
Opt. Bedroom 3
3 Bath

Plan 7
3 Bedrooms + Den
Opt. Bedroom 4
2.5 Bath / Opt. Bath 3

Plan 2
2 Bedrooms
2.5 Bath

Third Floor

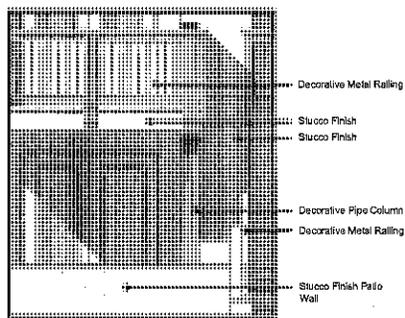
BLDG. 2 COMPOSITE PLANS

Duane Avenue
Sunnyvale, California

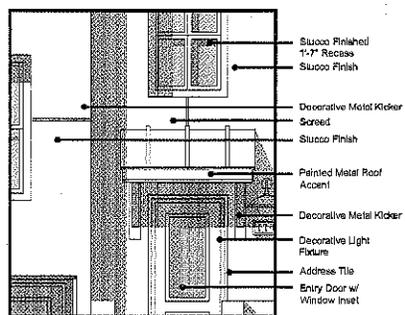
ATTACHMENT
Page 16 of 41

A2.7

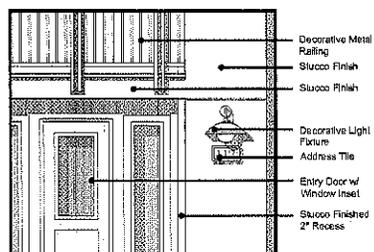




Deck/Patio Accents



Metal Accents



Entry Patio



38'-10" Approx.

21'-0" Approx.

33'-8" Approx.

Front Elevation

BLDG. 3
 Contemporary
 7-PLEX

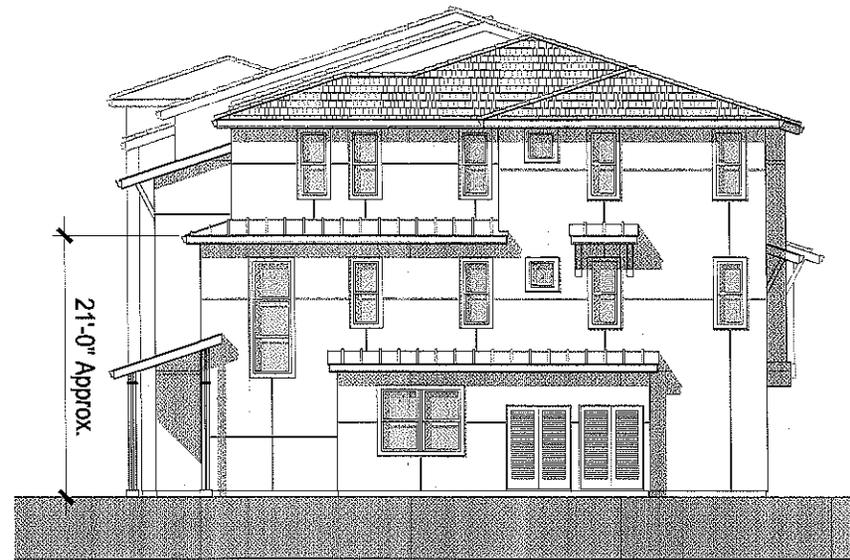


A3.1

EXTERIOR ELEVATIONS
 Duane Avenue
 Sunnyvale, California

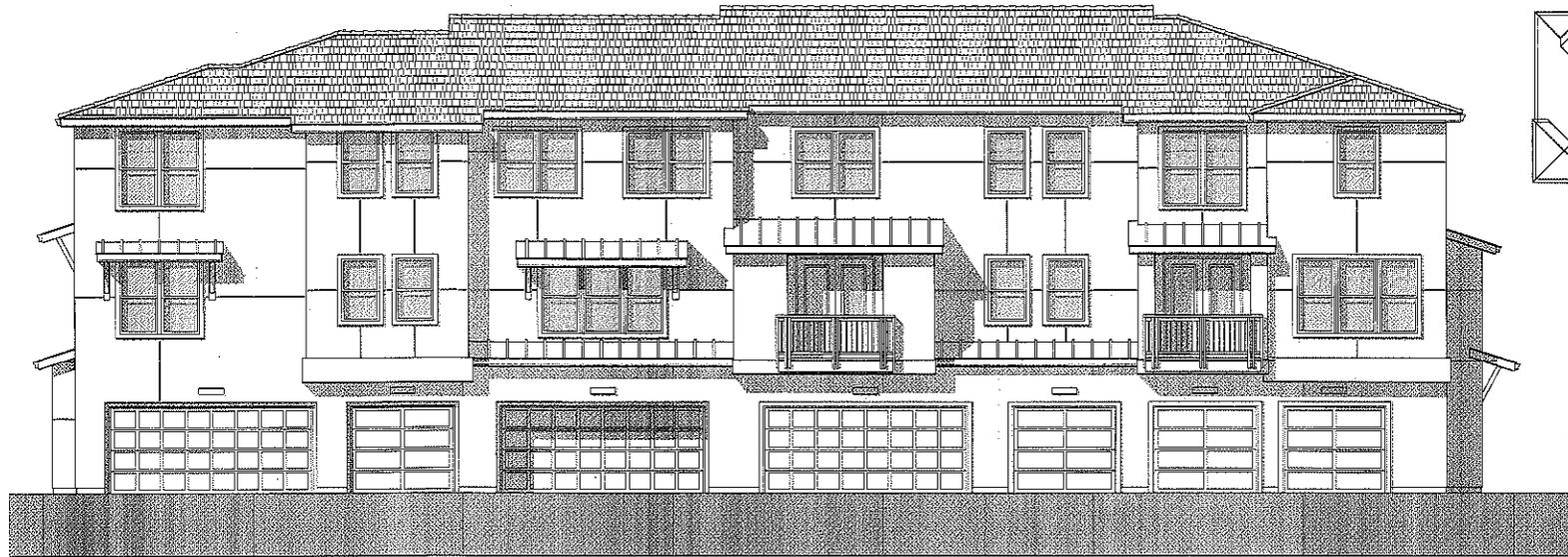


Left Elevation

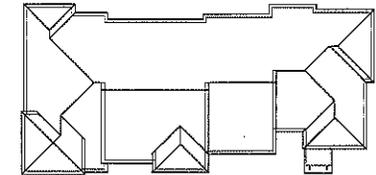


Right Elevation

ATTACHMENT
Page 18 of 41



Rear Elevation



Roof Plan

BLDG. 3
Contemporary
7-PLEX



A3.2

EXTERIOR ELEVATIONS

Duane Avenue

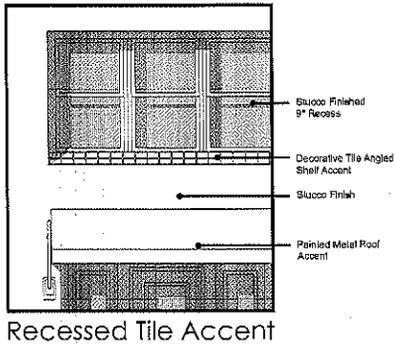
Sunnyvale, California

O'Brien Homes/Sunnyvale
Associates, LLC

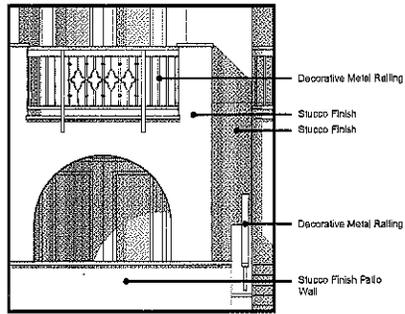
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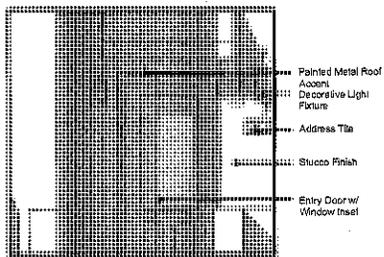




Recessed Tile Accent



Deck/Patio Accents



Entry Patio



38'-10" Approx.

21'-0" Approx.

33'-8" Approx.

Front Elevation

BLDG. 3
 Spanish Eclectic
 7-PLEX



A3.3

EXTERIOR ELEVATIONS

Duane Avenue

Sunnyvale, California

O'Brien Homes/Sunnyvale
 Associates, LLC

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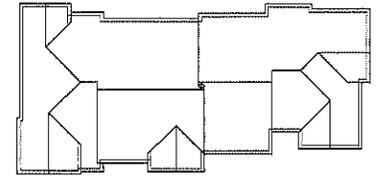
Left Elevation



Right Elevation



Rear Elevation



Roof Plan

BLDG. 3
Spanish Eclectic
7-PLEX



A3.4

EXTERIOR ELEVATIONS

Duane Avenue

Sunnyvale, California

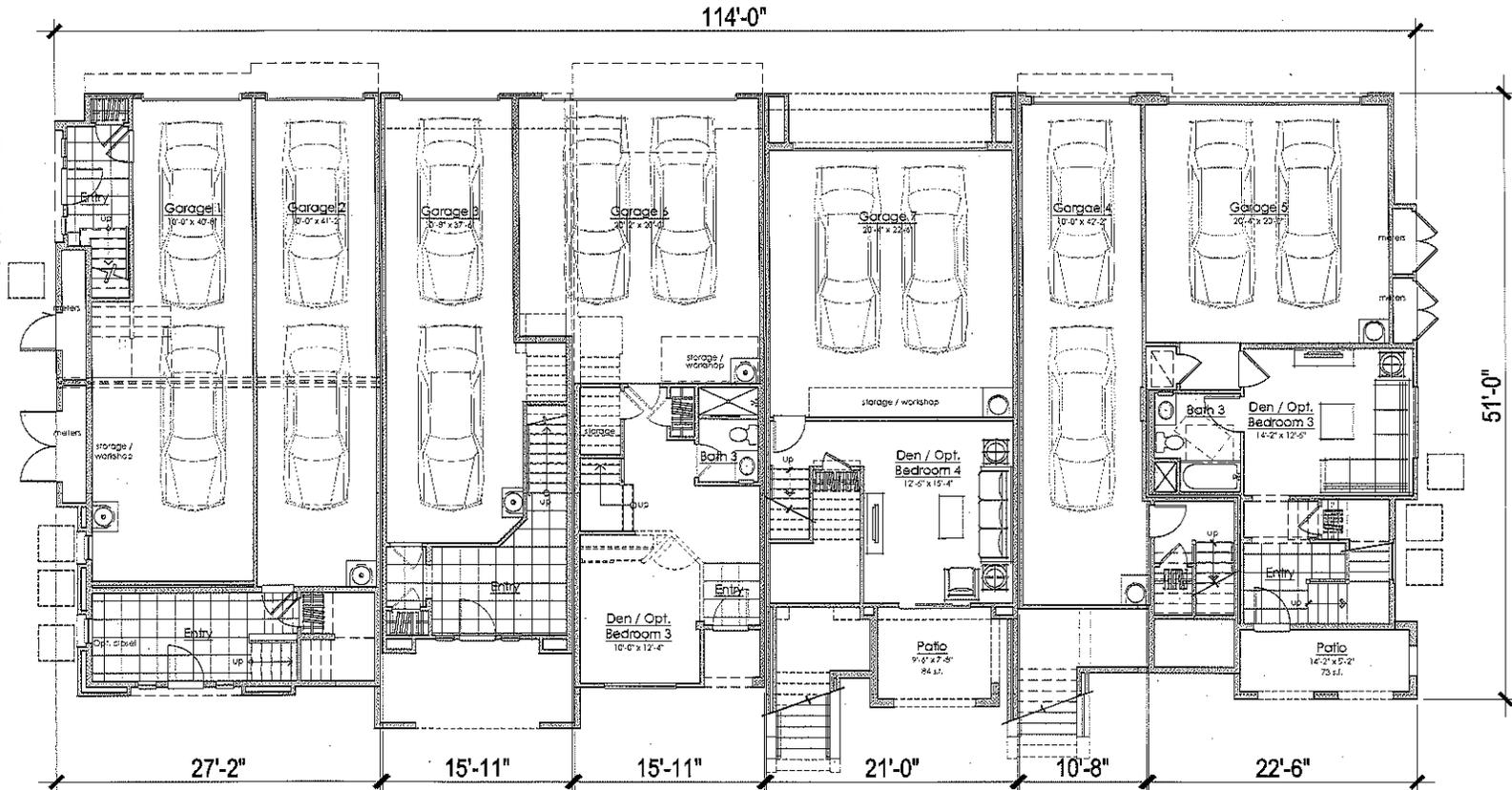
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Associates, LLC

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June 18, 2010

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Oakland, California 94607
kitgy.com
510.272.2910 Main
510.292.2911 Fax



Plan 1
2 Bedrooms
2.5 Bath
1,302 S.F. Gross
1,215 S.F. Net



Plan 2
2 Bedrooms
2.5 Bath
1,340 S.F. Gross
1,237 S.F. Net

Plan 3
2 Bedrooms
2.5 Bath
1,513 S.F. Gross
1,386 S.F. Net

Plan 6
2 Bedrooms + Den
Opt. Bedroom 3
3 Bath
1,721 S.F. Gross
1,600 S.F. Net

Plan 7
3 Bedrooms + Den
Opt. Bedroom 4
2.5 Bath / Opt. Bath 3
1,978 S.F. Gross
1,872 S.F. Net

Plan 4
2 Bedrooms + Office
2 Bath
1,377 S.F. Gross
1,298 S.F. Net

Plan 5
2 Bedrooms + Den
Opt. Bedroom 3
3 Bath
1,571 S.F. Gross
1,479 S.F. Net

First Floor

BLDG. 3 COMPOSITE PLANS

7-PLEX

A3.5

ATTACHMENT
Page 21 of 41

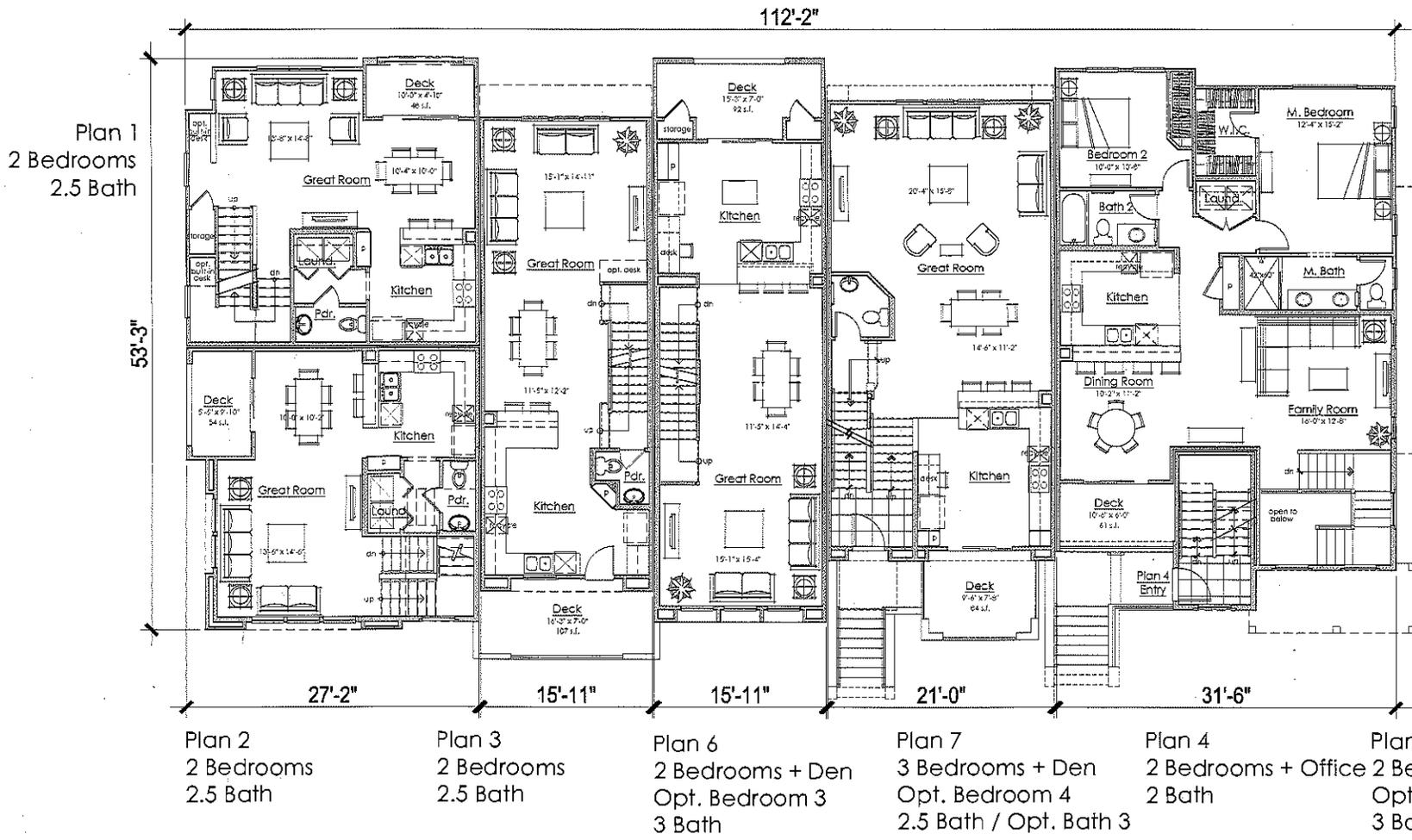
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Sunnyvale, California

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ATTACHMENT
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7-PLEX

Second Floor

BLDG. 3 COMPOSITE PLANS

A3.6

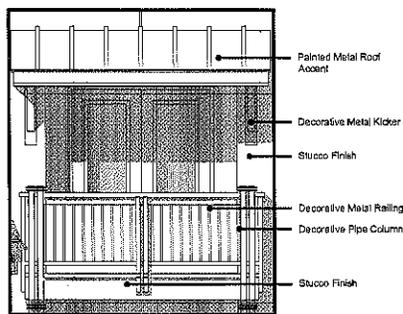
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Associates, LLC

Duane Avenue
Sunnyvale, California

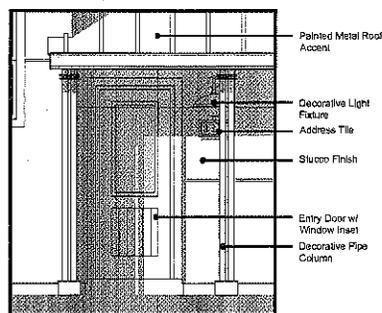
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510.272.2910 Main
510.292.2911 Fax



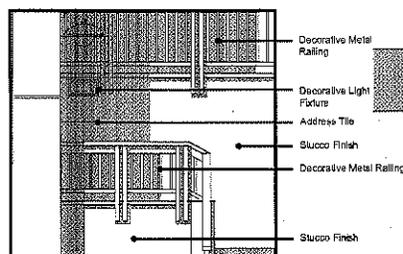
KTGY NO. 2009-0241
June, 18, 2010



Deck Accents



Entry Patio

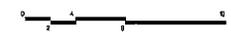


Side Entry



Front Elevation

BLDG. 4
 Contemporary
 7-PLEX



A4.1

EXTERIOR ELEVATIONS

Duane Avenue

Sunnyvale, California

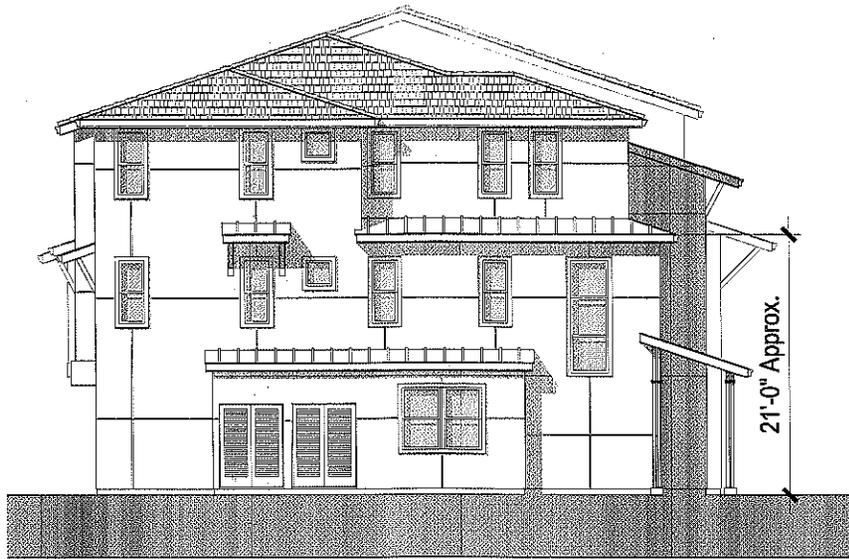
O'Brien Homes/Sunnyvale
 Associates, LLC

KTGY NO. 2009-0241
 June 18, 2010

Architecture + Planning
 285 4th Street Third Floor
 Oakland, California 94607
 ktgy.com
 510.292.2910
 510.292.2911



Main
 Fax



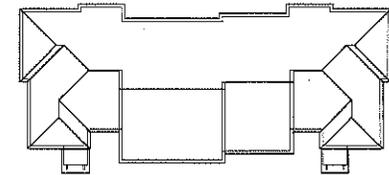
Left Elevation



Right Elevation



Rear Elevation



Roof Plan

BLDG. 4
Contemporary
7-PLEX



A4.2

EXTERIOR ELEVATIONS

Duane Avenue

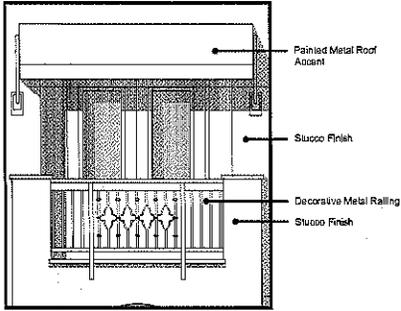
Sunnyvale, California

O'Brien Homes/Sunnyvale
Associates, LLC

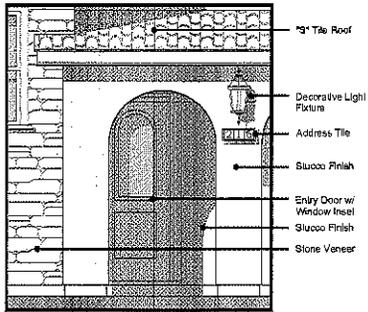
KTGY NO. 2009-0241
June 18, 2010

Architecture + Planning
283 4th Street Third Floor
Oakland, California 94607
ktgy.com
510.272.2910 Main
510.292.2911 Fax

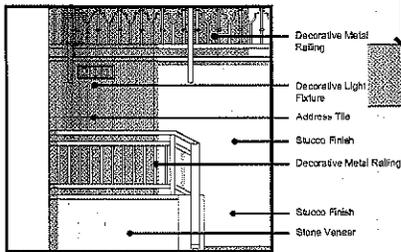




Deck Accents



Entry Patio



Side Entry



Front Elevation

* Note: Stone veneer occurs/varies per color scheme

BLDG. 4
Spanish Eclectic
7-PLEX

A4.3

EXTERIOR ELEVATIONS

Duane Avenue

Sunnyvale, California

ATTACHMENT
 Page 26 of 41

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Associates, LLC

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Oakland, California 94607
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510.272.2910 Main
510.292.2911 Fax





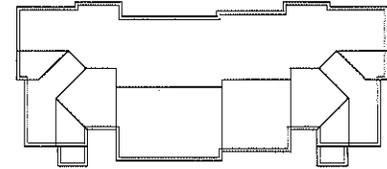
Left Elevation



Right Elevation



Rear Elevation



Roof Plan

BLDG. 4
Spanish Eclectic
7-PLEX

EXTERIOR ELEVATIONS

Duane Avenue

Sunnyvale, California

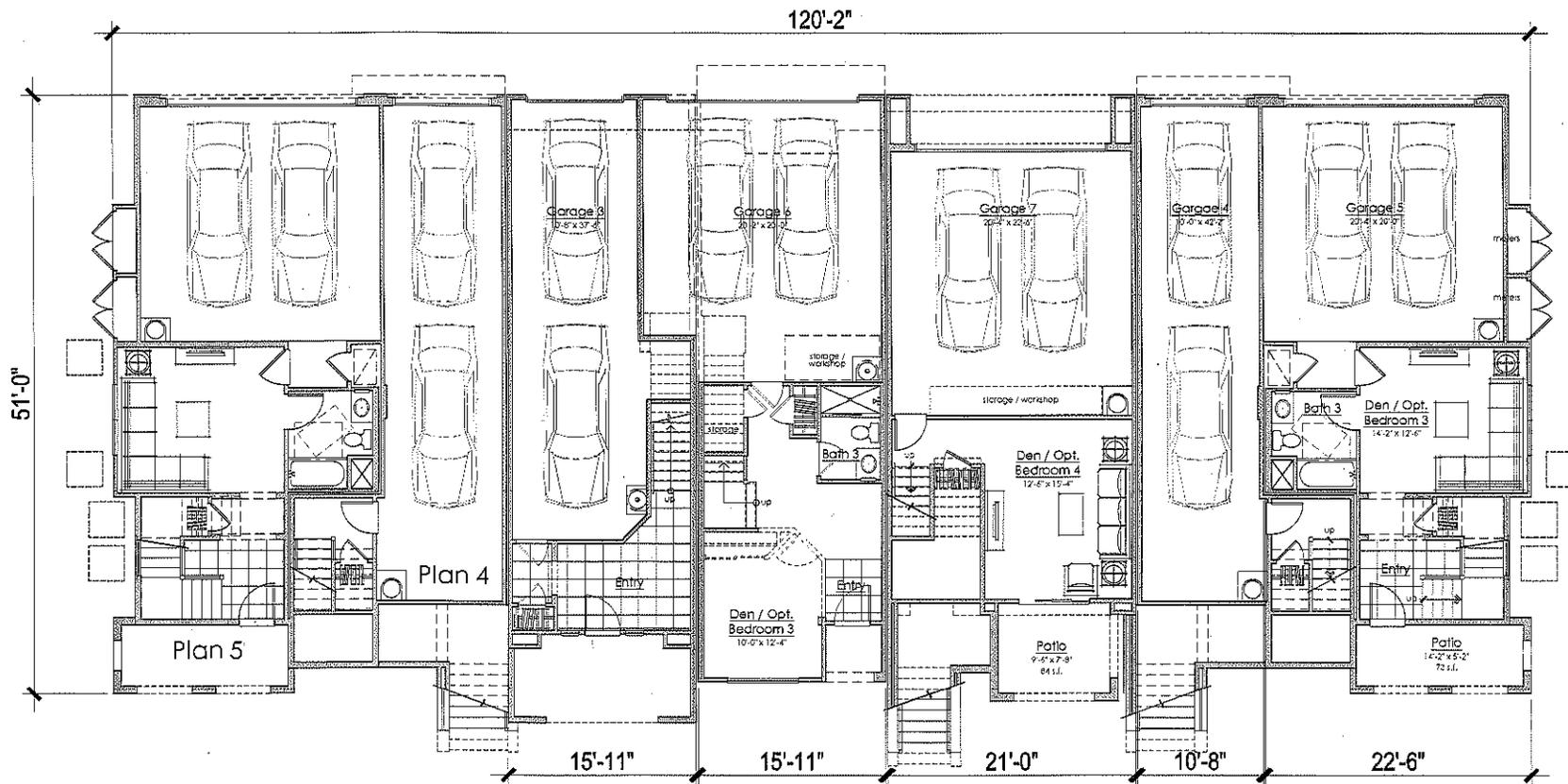
A4.4

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Oakland, California 94607
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510.292.2911 Fax





Plan 3	Plan 6	Plan 7	Plan 4	Plan 5
2 Bedrooms	2 Bedrooms + Den	3 Bedrooms + Den	2 Bedrooms + Office	2 Bedrooms + Den
2.5 Bath	Opt. Bedroom 3	Opt. Bedroom 4	2 Bath	Opt. Bedroom 3
1,513 S.F. Gross	3 Bath	2.5 Bath / Opt. Bath 3	1,377 S.F. Gross	3 Bath
1,386 S.F. Net	1,721 S.F. Gross	1,978 S.F. Gross	1,298 S.F. Net	1,571 S.F. Gross
	1,600 S.F. Net	1,872 S.F. Net		1,479 S.F. Net

First Floor

BLDG. 4 COMPOSITE PLANS

7-PLEX

A4.5

ATTACHMENT
Page 28 of 41

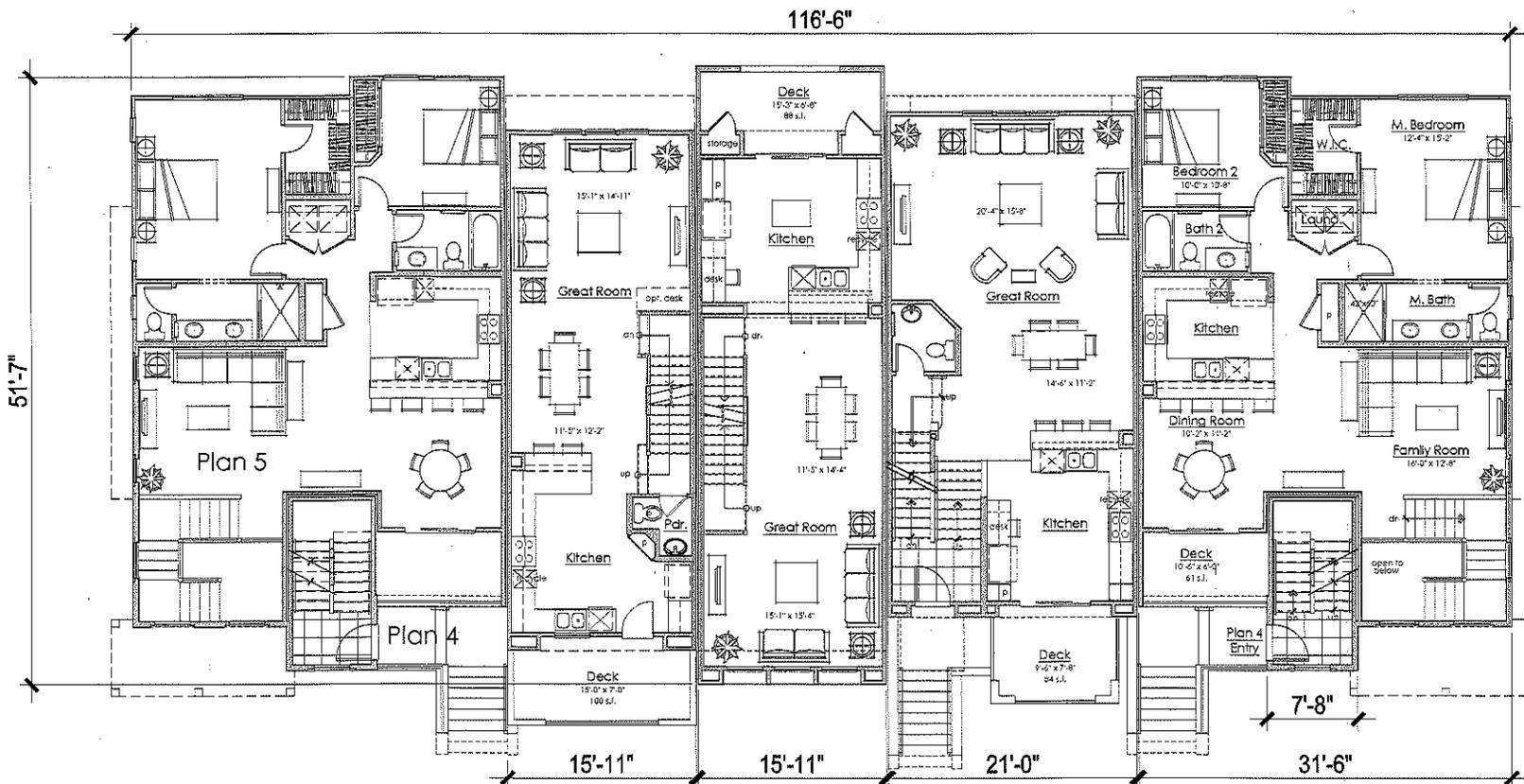
O'Brien Homes/Sunnyvale Associates, LLC

Duane Avenue
Sunnyvale, California

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283 4th Street Third Floor
Oakland, California 94607
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KTGY NO. 2009-0241
June 18, 2010



Plan 3
2 Bedrooms
2.5 Bath

Plan 6
2 Bedrooms + Den
Opt. Bedroom 3
3 Bath

Plan 7
3 Bedrooms + Den
Opt. Bedroom 4
2.5 Bath / Opt. Bath 3

Plan 4
2 Bedrooms + Office
2 Bath

Plan 5
2 Bedrooms + Den
Opt. Bedroom 3
3 Bath

ATTACHMENT
Page 29 of 41

Second Floor

BLDG. 4 COMPOSITE PLANS

7-PLEX



A4.6

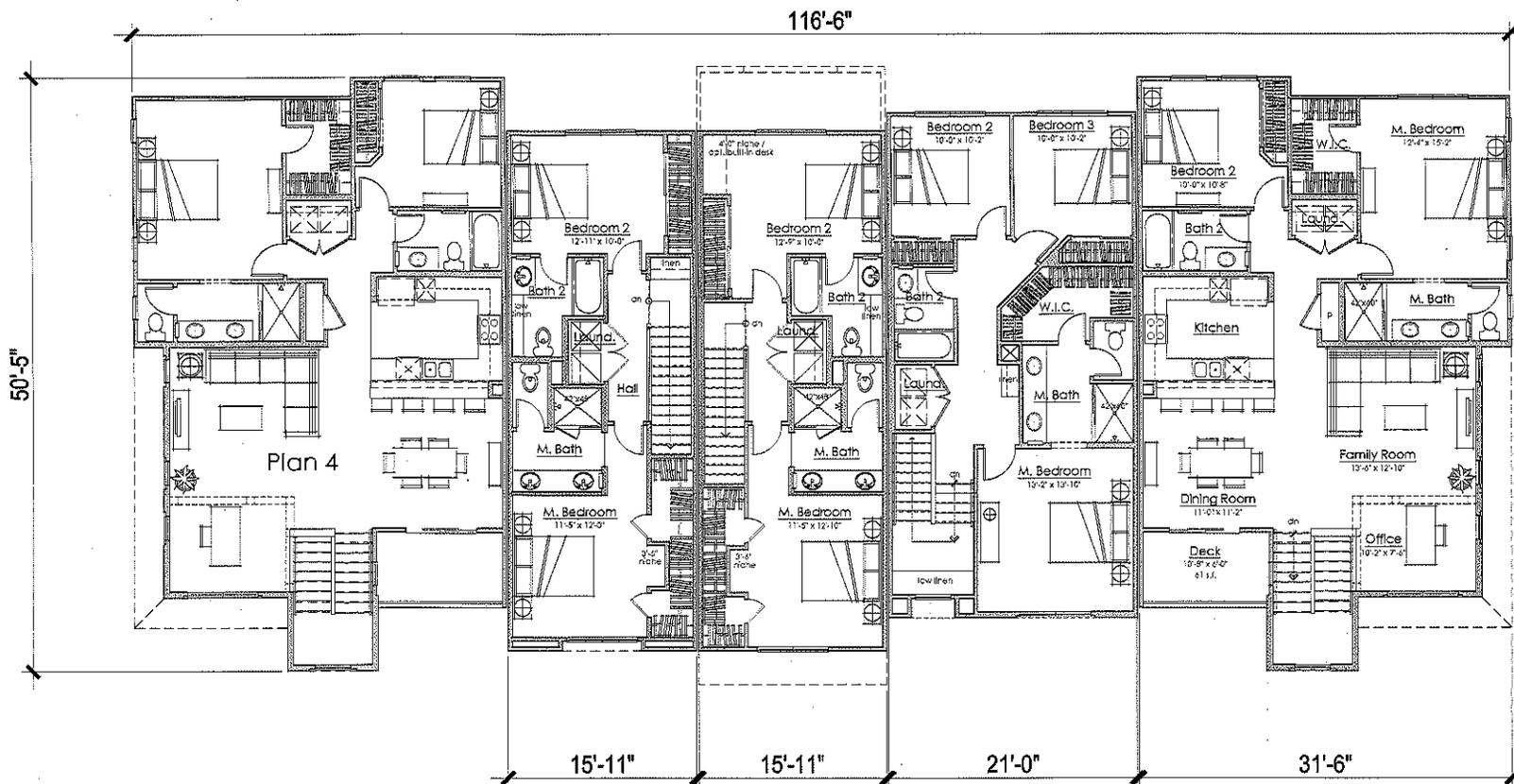
O'Brien Homes/Sunnyvale
Associates, LLC

KTGY NO. 2009-0241
June 18, 2010

Duane Avenue
Sunnyvale, California

Architecture + Planning
283 4th Street Third Floor
Oakland, California 94607
ktgy.com
510.272.2910 Main
510.292.2911 Fax





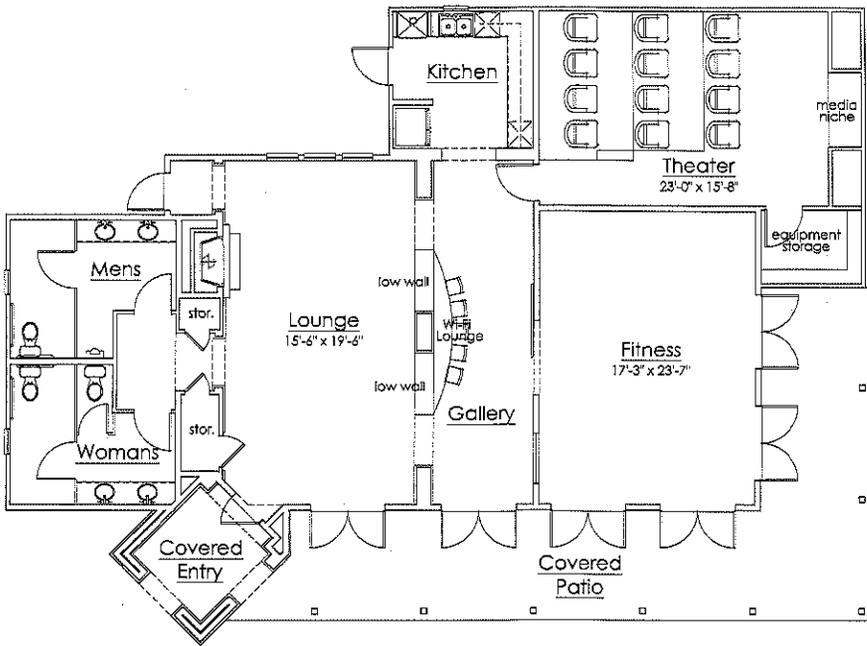
Plan 3 2 Bedrooms 2.5 Bath	Plan 6 2 Bedrooms + Den Opt. Bedroom 3 3 Bath	Plan 7 3 Bedrooms + Den Opt. Bedroom 4 2.5 Bath / Opt. Bath 3	Plan 4 2 Bedrooms + Office 2 Bath
----------------------------------	--	--	---

Third Floor

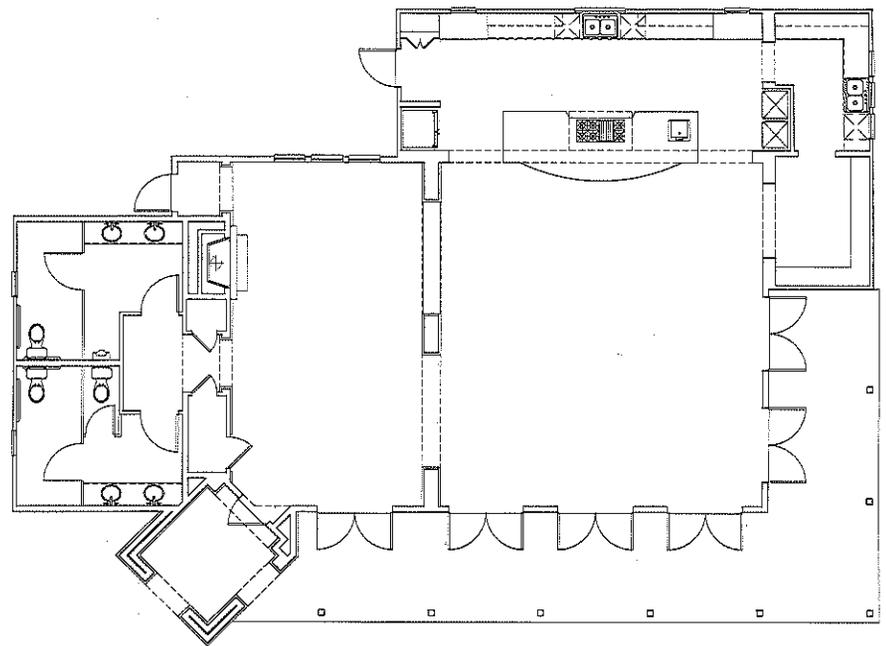
BLDG. 4 COMPOSITE PLANS

ATTACHMENT
 Page 30 of 41
 7-PLEX

A4.7



PROPOSED FLOOR PLAN SCALE: 3/16" = 1'-0" 2
2,200 Sq. Ft.



EXISTING FLOOR PLAN SCALE: 3/16" = 1'-0" 1
2,200 Sq. Ft.

CLUBHOUSE FLOOR PLAN

Duane Avenue
Sunnyvale, California

O'Brien Homes/Sunnyvale
Associates, LLC

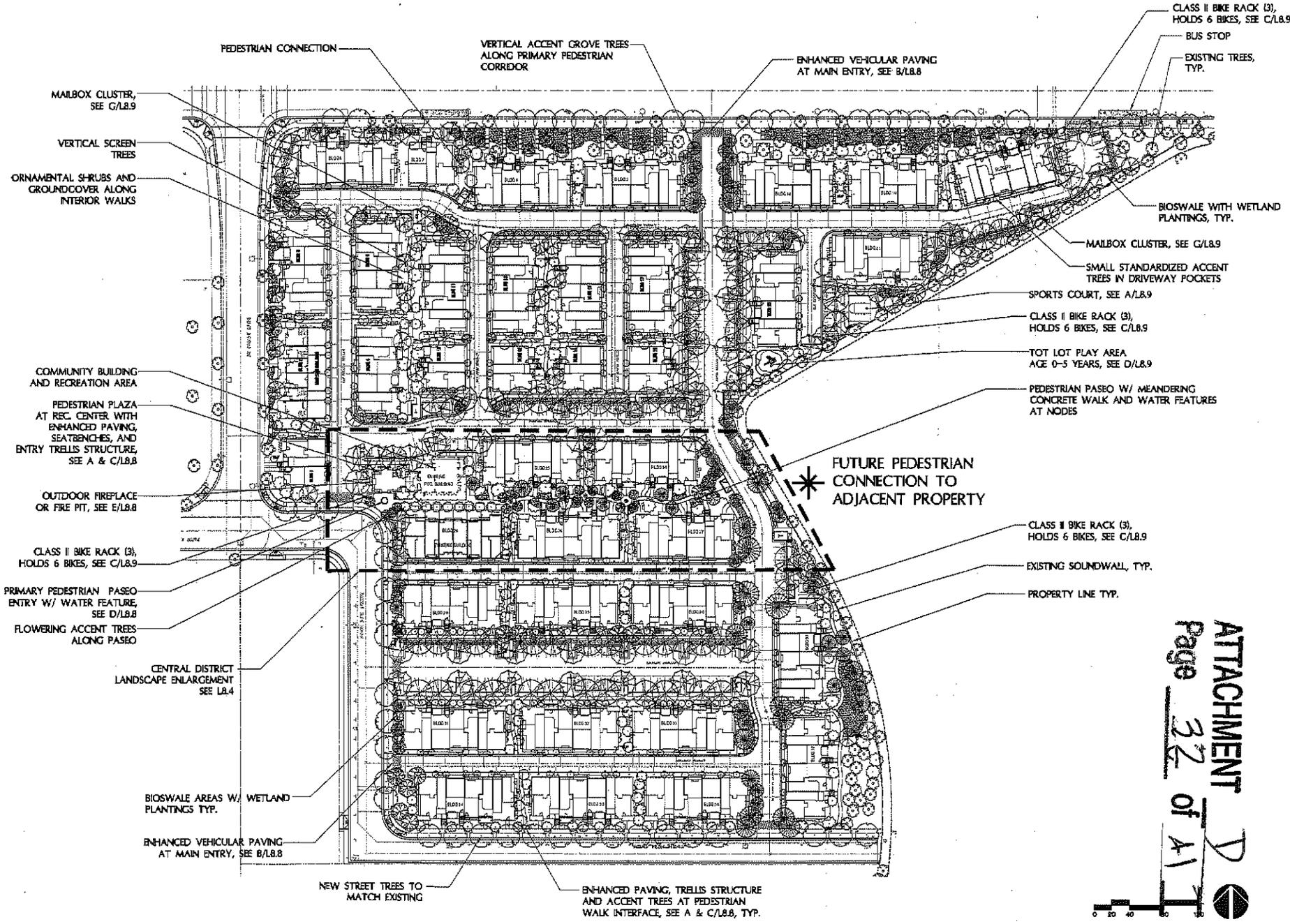
KTGY NO. 2009-0241
June 18, 2010

ATTACHMENT D
Page 31 of 41

A5.1

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Oakland, California 94607
ktgy.com
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MAILBOX CLUSTER, SEE G/L8.9

VERTICAL SCREEN TREES

ORNAMENTAL SHRUBS AND GROUND COVER ALONG INTERIOR WALKS

COMMUNITY BUILDING AND RECREATION AREA

PEDESTRIAN PLAZA AT REC. CENTER WITH ENHANCED PAVING, SEATBENCHES, AND ENTRY TRELLIS STRUCTURE, SEE A & C/L8.8

OUTDOOR FIREPLACE OR FIRE PIT, SEE E/L8.8

CLASS II BIKE RACK (3), HOLDS 6 BIKES, SEE C/L8.9

PRIMARY PEDESTRIAN PASEO ENTRY W/ WATER FEATURE, SEE D/L8.8

FLOWERING ACCENT TREES ALONG PASEO

CENTRAL DISTRICT LANDSCAPE ENLARGEMENT SEE L8.4

BIOSWALE AREAS W/ WETLAND PLANTINGS TYP.

ENHANCED VEHICULAR PAVING AT MAIN ENTRY, SEE B/L8.8

PEDESTRIAN CONNECTION

VERTICAL ACCENT GROVE TREES ALONG PRIMARY PEDESTRIAN CORRIDOR

ENHANCED VEHICULAR PAVING AT MAIN ENTRY, SEE B/L8.8

CLASS II BIKE RACK (3), HOLDS 6 BIKES, SEE C/L8.9

BUS STOP

EXISTING TREES, TYP.

BIOSWALE WITH WETLAND PLANTINGS, TYP.

MAILBOX CLUSTER, SEE G/L8.9

SMALL STANDARDIZED ACCENT TREES IN DRIVEWAY POCKETS

SPORTS COURT, SEE A/L8.9

CLASS I BIKE RACK (3), HOLDS 6 BIKES, SEE C/L8.9

TOT LOT PLAY AREA AGE 0-5 YEARS, SEE D/L8.9

PEDESTRIAN PASEO W/ MEANDERING CONCRETE WALK AND WATER FEATURES AT NODES

FUTURE PEDESTRIAN CONNECTION TO ADJACENT PROPERTY

CLASS II BIKE RACK (3), HOLDS 6 BIKES, SEE C/L8.9

EXISTING SOUNDWALL, TYP.

PROPERTY LINE TYP.

NEW STREET TREES TO MATCH EXISTING

ENHANCED PAVING, TRELLIS STRUCTURE AND ACCENT TREES AT PEDESTRIAN WALK INTERFACE, SEE A & C/L8.8, TYP.

SCALE 1"=40'



ATTACHMENT D
 Page 32 of 41

O'SHEEN TOMBS/SUNNYVALE ASSOC., I/A,
 9001 TORRANCE BLVD., SUITE 100,
 SUNNYVALE, CA 94086
 TEL: 415-351-1000 FAX: 415-351-1001

VAN DORN ABED
 11111 1/2 ST. JAY BLANCKE, CA
 SAN FRANCISCO, CA 94134
 TEL: 415-778-1111 FAX: 415-778-1112

PROJECT NAME: SUNNYVALE
 DATE: 01-27-10
 SCALE: 1"=40'
 SHEET NO: 10941
 SHEET OF: 18.1

DUNE AVENUE
 SUNNYVALE
 CALIFORNIA
 PRELIMINARY LANDSCAPE PLAN

THE BOULEVARD DISTRICT

Traditional styled homes created by the existing grove of mature Ash trees will allow the new homes to blend harmoniously into the streetscape. In this District the use of freestanding wallis structures as primary pedestrian entries and enhanced paving nodes link main circulation connections through the community. Multi-trunked deciduous and/or flowering specimen trees, such as Japanese Maples, Star Magnolias and live oaks, colorful layering of ornamental shrubs and groundcovers will establish a sense of arrival, individuality and character.

THE GROVE DISTRICT

Contemporary style residential District characterized by meandering interior passage with enhanced paving courts at direct local intersections, dwarf fruiting citrus species as entries and along walks, with larger ornamental flowering trees spaces as identifiers as entries into the District. This district will also provide recreational opportunities with the integration of a set-plot for toddlers up to the age of five and a passive park with lawn and benches for playing with young children or small dogs. The plant palette to include Meyer Lemons, Kumquats, Limes, Orange, Espaliered Apples and flowering ornamental cherries.

THE CENTER DISTRICT

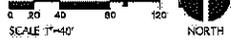
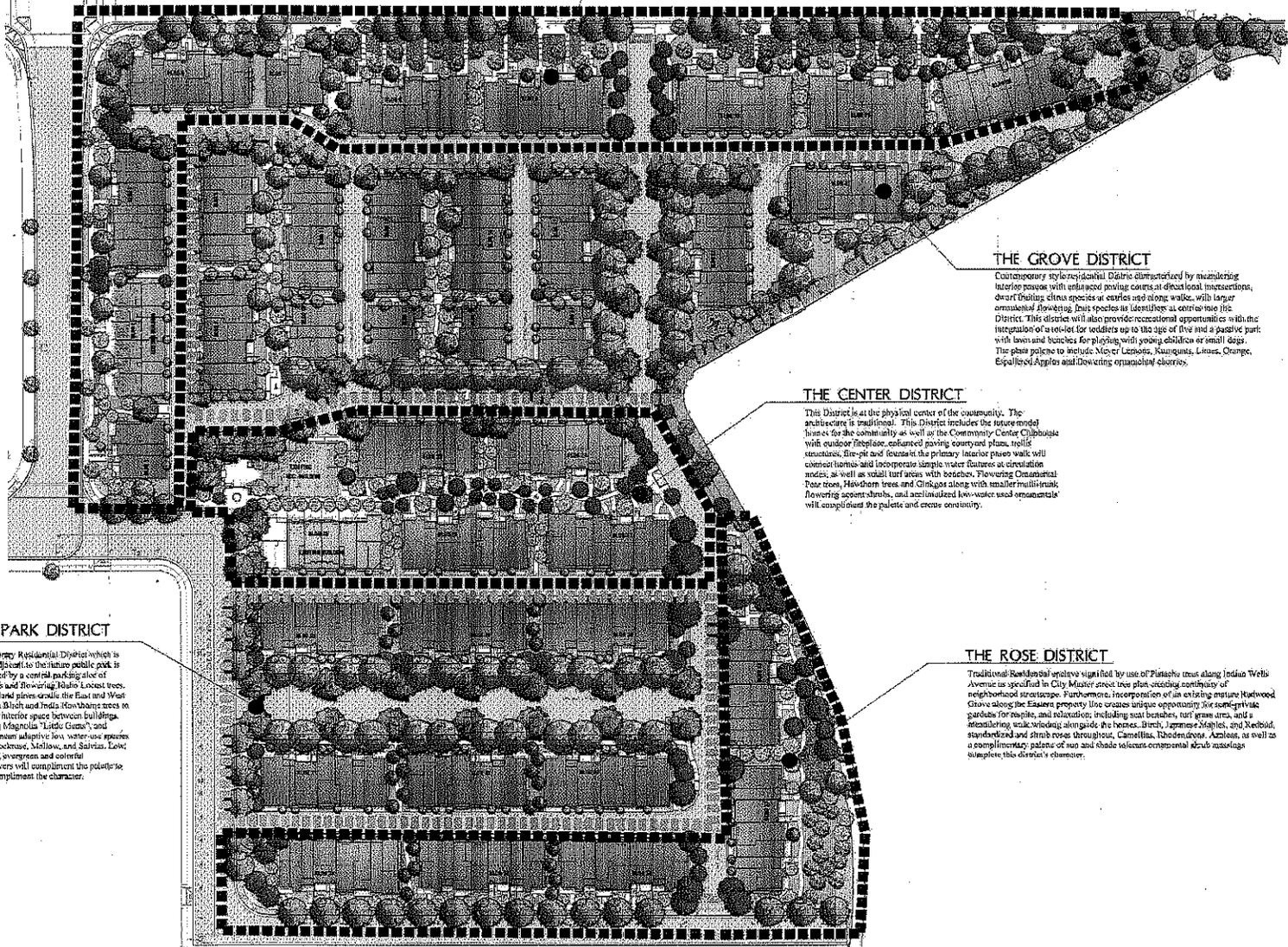
This District is at the physical center of the community. The architecture is traditional. This District includes the future model homes for the community as well as the Community Center Clubhouse with outdoor fireplace, enhanced paving courtyard plans, wallis structures, fire-pit and fountain. The primary interior plaza walk will connect homes and incorporate simple water features at circulation nodes, as well as small turf areas with benches. Flowering Ornamental Tree trees, Haldern trees and Ginkgos along with smaller multi-trunk flowering accent shrubs, and ameliorated low-water used ornaments will complement the palette and create continuity.

THE ROSE DISTRICT

Traditional Residential palette signified by use of Platanus trees along Indiana Wells Avenue as specified in City Master street tree plan creating continuity of neighborhood streetscape. Furthermore, incorporation of an existing mature Hawthorn Grove along the Gasque property line creates unique opportunity for semi-private gardens for people, and relaxation; including seat benches, turf grass area, and a meandering walkway along the homes. Birch, Japanese Maples, and Xetiboid, standertrial and shrub roses throughout, Camellias, Rhododendros, Azaleas, as well as a complementary palette of sun and shade tolerant ornamental shrub palettes complete this district's character.

THE PARK DISTRICT

Contemporary Residential District which is situated adjacent to the future public park is characterized by a central parking area of Sycamores and flowering Dabo Locomot trees. Century Inland pines cradle the East and West Sides with Blush and Indigo Ironbarn trees to soften the interior space between buildings. Flowering Magnolia "Little Gem", and Mediterranean adaptive low water use species such as Rockrose, Malvaceae, and Salvia. Low, rounded evergreen and colorful groundcovers will complement the palette to further compliment the character.



ATTACHMENT D
 Page 33 of 71

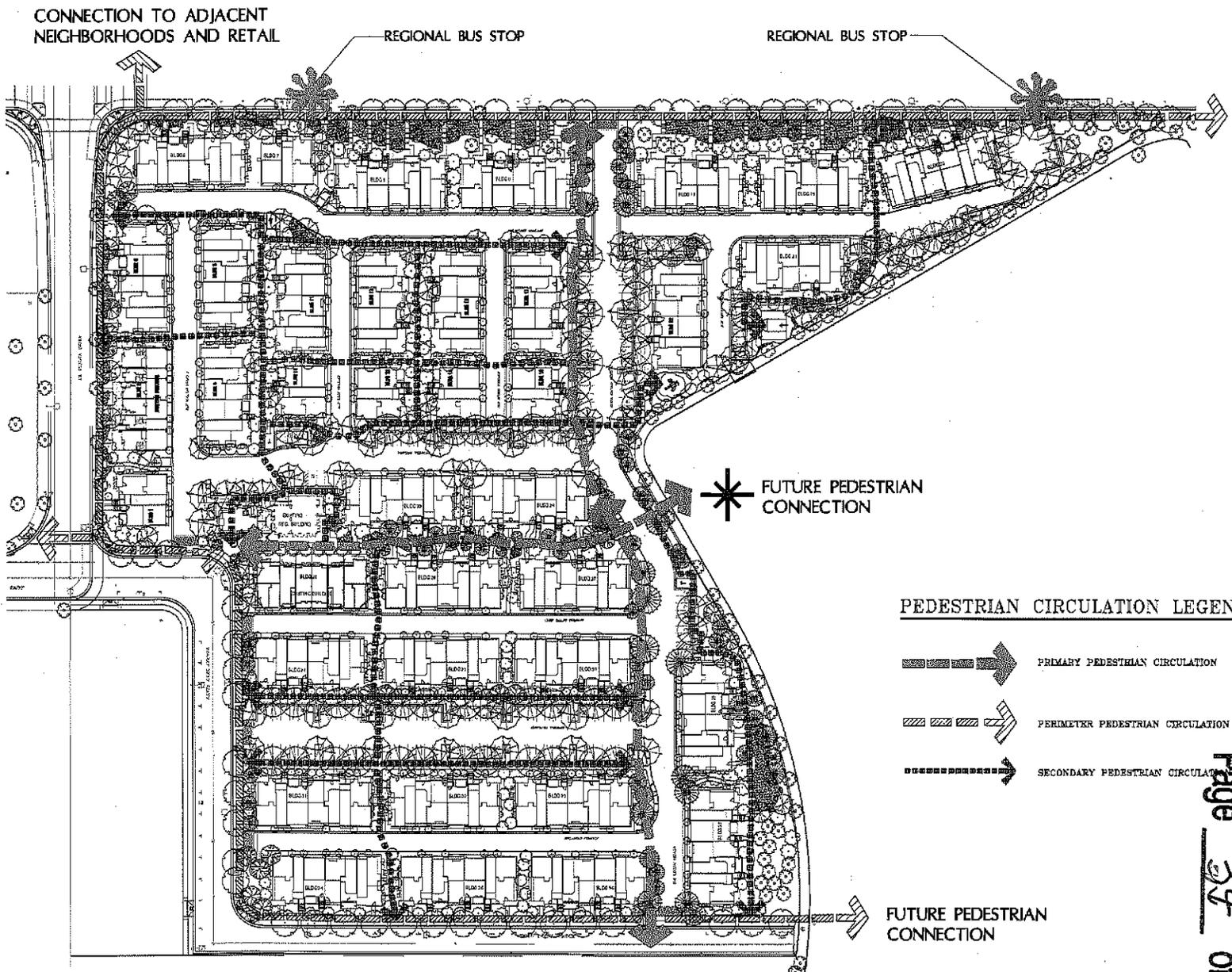
O'BRIEN HOMES/SUNNYVALE ASSOC., LLC
 5001 TOPPER LAKE
 SUITE 100
 SUNNYVALE, CA 95086
 TEL: 415-353-1000
 FAX: 415-353-1001

VAN BORN AERB
 LANDSCAPE ARCHITECTURE, INC.
 2000 W. 14TH AVE., SUITE 100
 DENVER, CO 80202
 TEL: 303-733-1100
 FAX: 303-733-1101

COLLEEN
 PRELIMINARY LANDSCAPE PLANS

NEIGHBORHOOD DISTRICTS PLAN
 SCALE = 40'-0"
 DATE = 01-27-10
 PROJECT NO. V0841

L8.2



PEDESTRIAN CIRCULATION LEGEND

-  PRIMARY PEDESTRIAN CIRCULATION
-  PERIMETER PEDESTRIAN CIRCULATION
-  SECONDARY PEDESTRIAN CIRCULATION

ATTACHMENT D
 Page 34 of 141



O'DRIEN TOMES SKINNYWALK ASSOC., LLC.
 8500 TOMPKINS LANE
 SUITE 100
 COSTA MESA, CA 92626
 949-441-7700



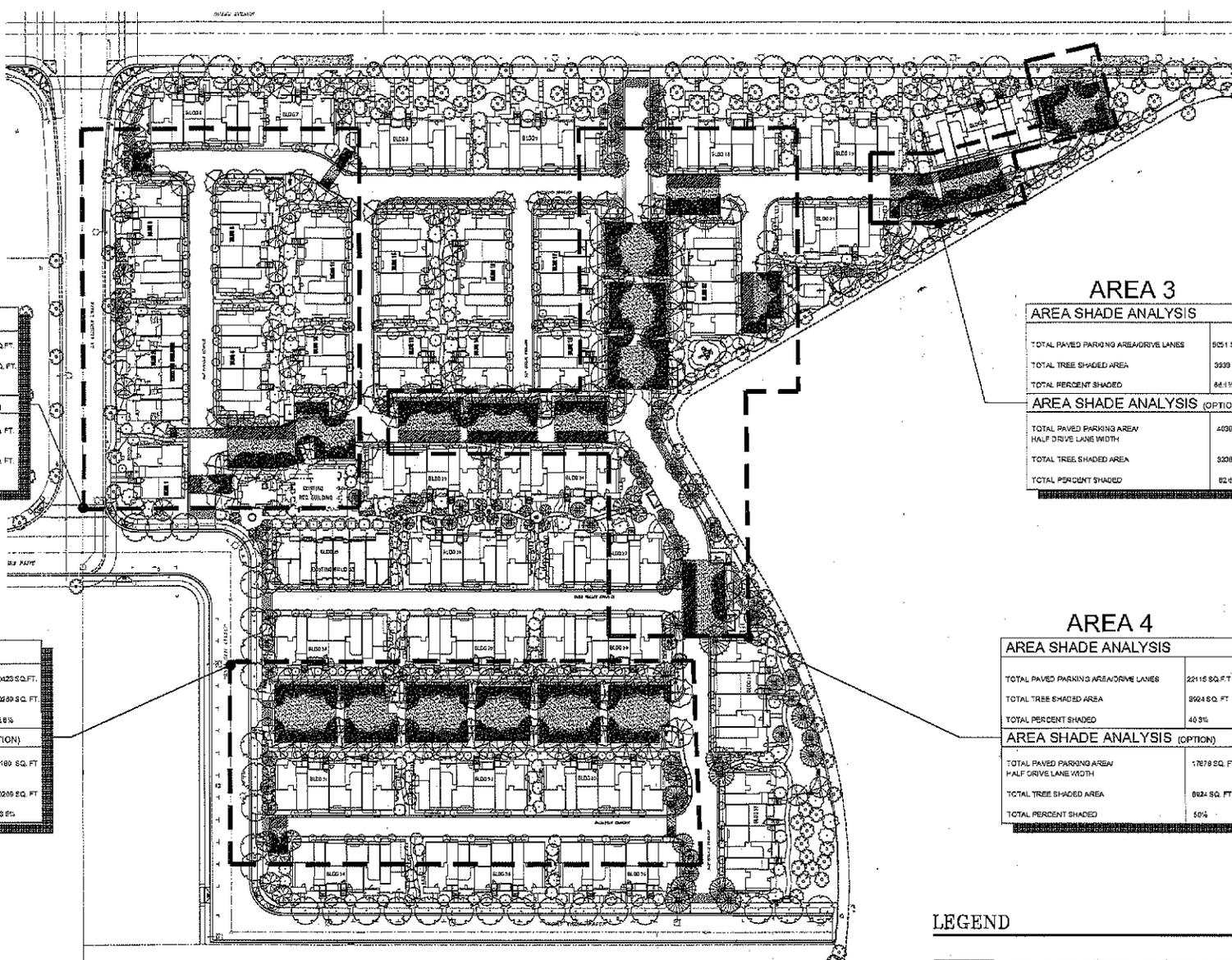
VAN DORN, ABEED, VAN DORN ARCHITECTS, P.C.
 10000 VAN DORN DRIVE, SUITE 100
 COSTA MESA, CA 92626
 949-441-7700

PROJECT: LANDSCAPE ARCHITECTURE
 DATE: _____
 SHEET NO.: _____
 SHEET TITLE: _____
 PROJECT LOCATION: _____
 CLIENT: _____
 PROJECT NO.: _____

CALIFORNIA
 PRELIMINARY LANDSCAPE PLANS

CIRCULATION PLAN
 SCALE: 1" = 40'-0"
 DATE: 01-27-10
 PROJECT NO.: Y0941
 SHEET NO.:

L8.3



AREA 1

AREA SHADE ANALYSIS	
TOTAL PAVED PARKING AREA/DRIVE LANES	7897 SQ. FT.
TOTAL TREE SHADED AREA	3274 SQ. FT.
TOTAL PERCENT SHADED	41.6%
AREA SHADE ANALYSIS (OPTION)	
TOTAL PAVED PARKING AREA/ HALF DRIVE LANE WIDTH	6606 SQ. FT.
TOTAL TREE SHADED AREA	3274 SQ. FT.
TOTAL PERCENT SHADED	49.6%

AREA 3

AREA SHADE ANALYSIS	
TOTAL PAVED PARKING AREA/DRIVE LANES	5051 SQ. FT.
TOTAL TREE SHADED AREA	3339 SQ. FT.
TOTAL PERCENT SHADED	66.1%
AREA SHADE ANALYSIS (OPTION)	
TOTAL PAVED PARKING AREA/ HALF DRIVE LANE WIDTH	4036 SQ. FT.
TOTAL TREE SHADED AREA	3339 SQ. FT.
TOTAL PERCENT SHADED	82.5%

AREA 2

AREA SHADE ANALYSIS	
TOTAL PAVED PARKING AREA/DRIVE LANES	10423 SQ. FT.
TOTAL TREE SHADED AREA	10249 SQ. FT.
TOTAL PERCENT SHADED	98.3%
AREA SHADE ANALYSIS (OPTION)	
TOTAL PAVED PARKING AREA/ HALF DRIVE LANE WIDTH	19189 SQ. FT.
TOTAL TREE SHADED AREA	10249 SQ. FT.
TOTAL PERCENT SHADED	53.4%

AREA 4

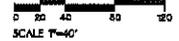
AREA SHADE ANALYSIS	
TOTAL PAVED PARKING AREA/DRIVE LANES	22116 SQ. FT.
TOTAL TREE SHADED AREA	8924 SQ. FT.
TOTAL PERCENT SHADED	40.3%
AREA SHADE ANALYSIS (OPTION)	
TOTAL PAVED PARKING AREA/ HALF DRIVE LANE WIDTH	17679 SQ. FT.
TOTAL TREE SHADED AREA	8924 SQ. FT.
TOTAL PERCENT SHADED	50%

TOTAL SHADE ANALYSIS/ FULL DRIVE LANE	
TOTAL PAVED PARKING AREA/DRIVE LANES	54449 SQ. FT.
TOTAL TREE SHADED AREA	25607 SQ. FT.
TOTAL PERCENT SHADED	47.3%

TOTAL SHADE ANALYSIS/ HALF DRIVE LANE	
TOTAL PAVED PARKING AREA/ HALF DRIVE LANE WIDTH	46679 SQ. FT.
TOTAL TREE SHADED AREA	25607 SQ. FT.
TOTAL PERCENT SHADED	55.3%

LEGEND

- TOTAL PAVED PARKING AREA/DRIVE LANES
- TOTAL PAVED PARKING AREA/HALF WIDTH DRIVES
- TOTAL TREE SHADED AREA



O'BRIEN HOMES/SUNNYVALE ASSOC., LLC.
 1850 TOWER LANE
 FORTY CITY
 ALBANY, CA 94706
 415-947-1000

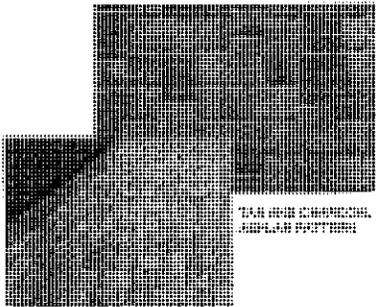


VAN ECKEN ARBER
 LANDSCAPE ARCHITECTS P.C.
 1500 W. 14TH ST., SAN FRANCISCO, CA
 94115
 415-778-8888

CALIFORNIA
 DUANE AVENUE

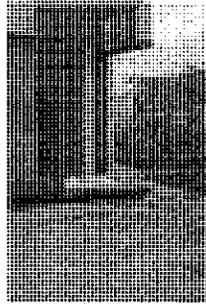
PRELIMINARY LANDSCAPE PLANS

ATTACHMENT
 Page 38 of 41
 PARKING AREA
 SHADE ANALYSIS
 18.7

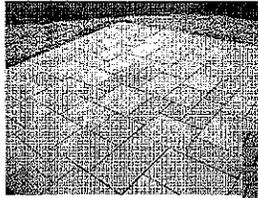


TAN AND CHARCOAL
HERRINGBONE PATTERN

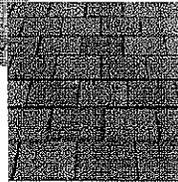
TAN AND CHARCOAL
ASHLAR PATTERN



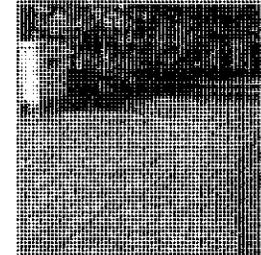
MEDIUM GRAY RECTANGULAR PAVER
RUNNING BOND PATTERN



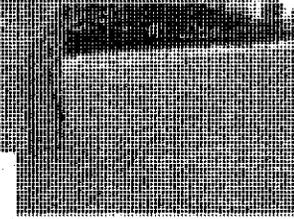
LIGHT GRAY PAVER
ASHLAR PATTERN



CHARCOAL GRAY SQUARE PAVER
RUNNING BOND PATTERN



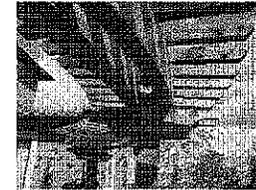
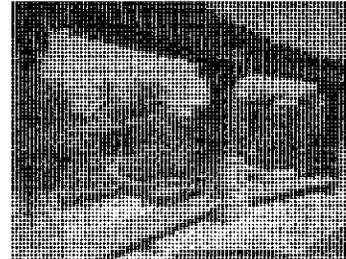
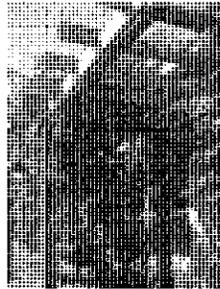
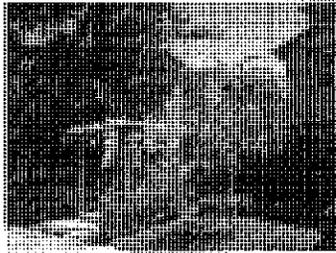
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RUNNING BOND PATTERN



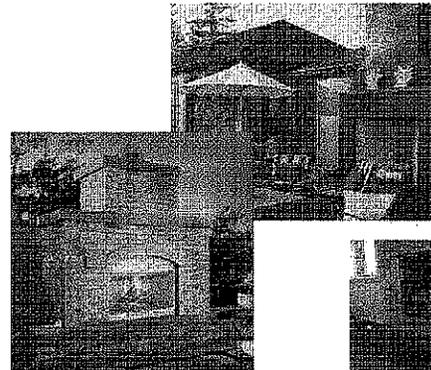
GRAY STAMPED
RUNNING BOND PATTERN

A ENHANCED PEDESTRIAN PAVING
NTS

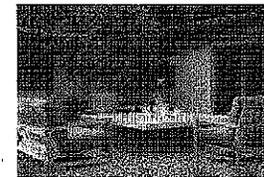
B ENHANCED VEHICULAR PAVING
NTS



C TRELLIS STRUCTURES
NTS



OUTDOOR FIREPLACES



FIREPIT



D WATER FOUNTAINS
NTS

E FIRE ELEMENT ALTERNATIVES AT REC. CENTER
NTS

Client: O'BRYEN HOMES/SUNNYVALE ASSOC, LLC.
850 TOWER LAKE
DUBLIN, CA
94568-1008



VAN DORN ABED
11718 ST. ANTHONY BLVD.
SAN FRANCISCO, CA
94133-1000
STATE OF CALIFORNIA
LANDSCAPE ARCHITECT
No. 10000
Exp. 12/31/18

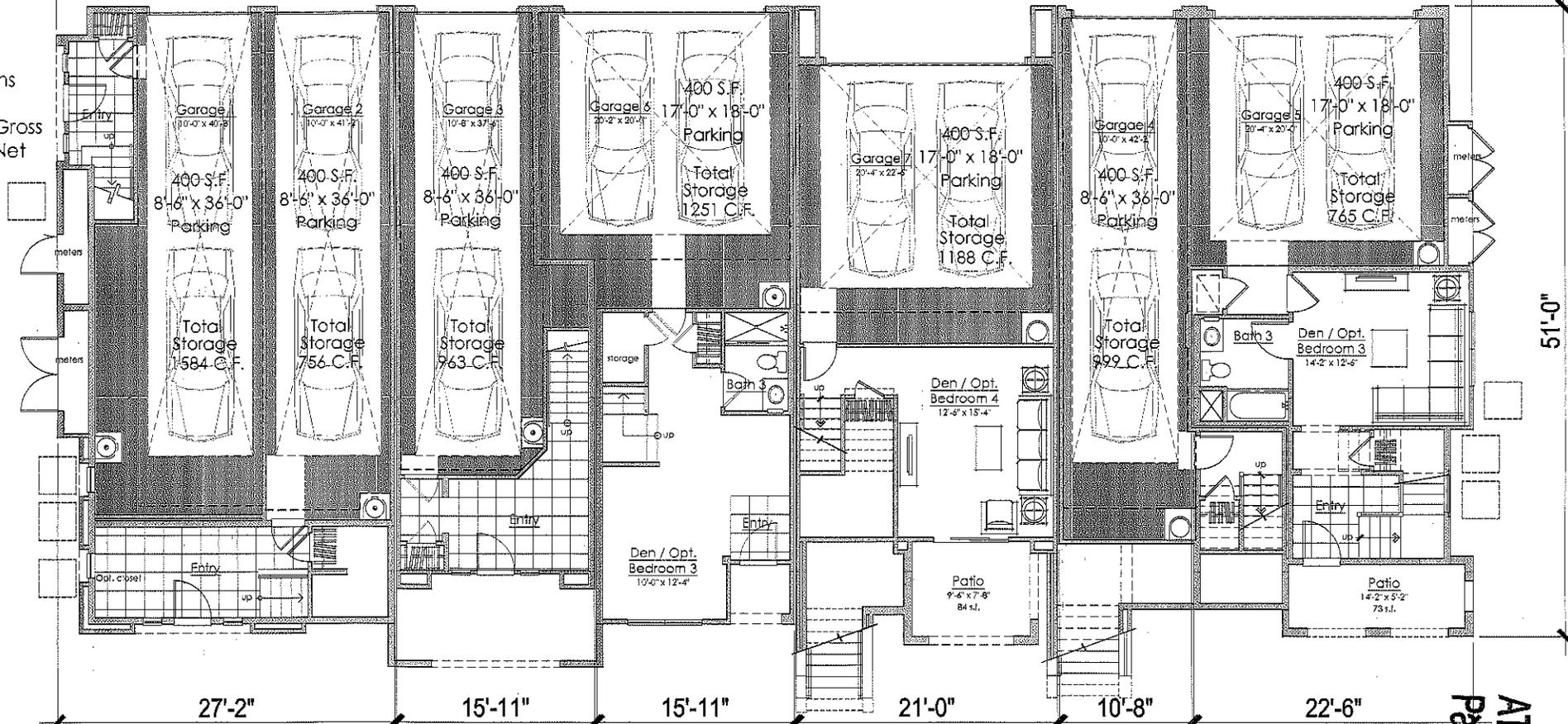
CALIFORNIA

DUANE AVENUE
PRELIMINARY LANDSCAPE PLANS

Page 39 of A1
ATTACHMENT D
1.0
8.8

114'-0"

Plan 1
2 Bedrooms
2.5 Bath
1,302 S.F. Gross
1,215 S.F. Net



Plan 2
2 Bedrooms
2.5 Bath
1,340 S.F. Gross
1,237 S.F. Net

Plan 3
2 Bedrooms
2.5 Bath
1,513 S.F. Gross
1,386 S.F. Net

Plan 6
2 Bedrooms + Den
Opt. Bedroom 3
3 Bath
1,721 S.F. Gross
1,600 S.F. Net

Plan 7
3 Bedrooms + Den
Opt. Bedroom 4
2.5 Bath / Opt. Bath 3
1,986 S.F. Gross
1,879 S.F. Net

Plan 4
2 Bedrooms + Office
2 Bath
1,377 S.F. Gross
1,298 S.F. Net

Plan 5
2 Bedrooms + Den
Opt. Bedroom 3
3 Bath
1,571 S.F. Gross
1,479 S.F. Net

Original Average Garage S.F. - 366 S.F.
Proposed Average Garage S.F. - 474 S.F.

P a r k i n g E x h i b i t

D u a n e A v e n u e

Sunnyvale, California

7 - P L E X
Page 41 of 41

O'Brien Homes/Sunnyvale
Associates, LLC

KTGY NO. 2009-0241
June 18, 2010

Architecture + Planning
283 4th Street Third Floor
Oakland, California 94607
ktgy.com
510.272.2910 Main
510.292.2911 Fax

ATTACHMENT
Page 41 of 41

Duane Avenue – 242 townhomes – Design/Parking Overview:

The previously approved homes were marketed for sale for approximately 10 months in 2008 and remarkably achieved zero sales. The lack of success was due to a combination of a weak market for homes, prices that were too high and we believe most significantly the majority of the home plans having severe design flaws relating to bedrooms, living areas and parking that needed correction and redesign. Our team has been working hard the last 12 months on studying the market and the target buyer, redesigning the homes, and for the last 7 months working with city staff in refining and improving what we now propose to build. With Planning Commission approval, we plan to resume construction on the remaining 228 homes in less than 3 months and it will allow occupancy of the existing 14 homes to occur in 45 to 60 days.

Goals:

The proposed redesign in our application has the following goals:

- Since the streets, utilities and building pads are already in for 80% of the site, we sought to retain the existing site plan, circulation, density (242 townhomes) project impacts and general program elements that were previously approved.
- Position the project so the pricing and homes offered will sell successfully in today's still soft, non-bubble environment. Prospective homebuyers now have many good options available to them, where they can get much more of what they want, for a much lower cost than they could have when this project was originally designed, approved and unsuccessfully introduced to the market.
- The primary reason for the redesign of the homes was to make the current plans attractive, functional, desirable, more current and more diverse so they can be successfully built and sold now -- in today's competitive and selective marketplace.
- The parking and storage for the remaining 228 homes have been greatly improved. 96 garage spaces and additional storage have been added to the plans which have increased garages by an average of 30% (108 sf per home) which will significantly reduce pressure on unassigned parking.
- There were also many changes to the living areas of the floorplans, particularly the prior Towne product, to make them much more functional.
- The mix of bedrooms offered has shifted considerably but net, net only 30 bedrooms have been added.
- Significant improvements were made to the architectural and landscaping diversity through the creation of 5 Districts with the community.
- The prior "Culinary Center building" is proposed to be remodeled into a Community Center we plan to call Pulse. The Community Center will now include a fitness room, a movie room, a wi fi lounge and living room, a public kitchen and an outdoor living room. We believe these amenities will find a high level of daily demand and will greatly increase the intra-community interaction and development of neighbors and a neighborhood.

Floorplans/Bedrooms:

In general overall the revised floorplans are much more functional, flexible and marketable which is critical to getting this community successfully restarted.

The following table summarizes changes to the bedrooms for the remaining 228 homes. It is the change in bedrooms, combined with having 198 legal spaces that aren't counted as usable parking, which drives the parking deviation requested:

# bedrooms by plan	Laing Plans	OH/IHP Plans	Laing Total BR's	OH/IHP Total BR's	Difference in # of BR's
1 bedroom	45	0	45	0	-45
2 bedroom	30	126	60	252	+192
3 bedroom	153	66	459	198	-261
4 bedroom	0	36	0	144	+144
Total homes	228	228	564	594	+30

- **1 Bedrooms:** The prior plan had 45 remaining 1 bedroom homes which are almost no one's preferred choice so they are very tough to market. The revised plans have a minimum of 2 bedrooms.
- **2 Bedrooms:** The prior plan had only 30 2 bedroom homes which are the "bread and butter" of the townhome market which include a wide demographic, but are most typically price sensitive, entry level young singles and couples, that work near by, most often with no or pre-school aged kids, that also desire the flexibility for a home office and/or guest or expansion room.
- **3 Bedrooms:** The prior plan had predominantly 3 bedroom homes, many of which (Towne plans 2 and 3) had living areas that were far too small and dysfunctional for homes of that size. 51 of the prior 3 bedroom homes had 1 car garages which is highly undesirable and unusual. In general 3 bedroom plans are desirable but too expensive for the primary, entry-level townhome demographic. The revised plans 3 bedroom homes all have appropriate sized living areas and large, side by side, 2 car garage.
- **4 Bedrooms:** The proposed project offers one "move-up/move-down" four bedroom plan to the mix to address the demand for buyers that need extra bedrooms or 3 bedrooms and an office.
- **General:** 78 homes (our new plans 4 and 5 as well as the plan 7 in the 3 unit buildings) have light on 3 sides of the living areas versus 2 sides. The prior plan had none.

Parking/Garages:

We believe the parking changes described below make the proposed project a much stronger offering, that will actually reduce demand on open, unassigned parking compared to the prior approved project.

- o The current plan has 747 parking spaces (3.1/home) available compared to 653 (2.7/home) for the approved plan. However the current plan has 198 legal spaces that exist that are not counted. So the "official" parking count is 549 (2.3/home) vs. the 582 (2.4/home) that are required. The difference between 747 actual and 549 counted is a primary reason the deviation is requested.
- o There would be no deviation required if credit is given for as little as 16.7% of the 198 legal spaces (128 tandem garage spaces plus 70 legal spaces on public streets) that are in fact counted as zero. We are confident that the benefit of these 198 spaces plus added garage storage will far exceed the 16.7% needed.
- o The prior plan has 96 - 1 car garages which is very undesirable and has been eliminated while still staying within the building footprints that have been built. The proposed plan upgrades all 96 1- car garages to large tandem garages averaging 435 square feet.
- o The prior approved plans had much less room for cars and/or storage within the homes. The revised garages average an oversized 474 sf, while the prior plans had an undersized 366 sf average. This will greatly help homeowners to park their cars in the garage where they would prefer to park.

Following is more detail on the parking:

- i.) Tandem garages: The current approval had 32 tandem garages which we're retaining so overall there are 128 tandem spaces. While these tandem spaces count as zero, in fact they will significantly relieve parking compared to one car garages in five ways.
 - a.) First, given storage issues in the previous plans and for townhomes in general, with the small one car garages the prior plan had, and common outside parking near their homes, many residents will resist parking in that one car garage and will use it for storage (as an alternative to renting a storage space) regardless of what the CC&R's say. That becomes an enforcement headache.
 - b.) Secondly, as proposed the tandem garages have more storage room even with 2 cars in them than the old design had with only one car in them.
 - c.) Third there are buyers that have a second, less used car such as a weekend car that would be more likely to be a second car parked on the inside of a tandem garage.
 - d.) Fourth some people would rather juggle two cars with two tandem spaces than park one car outside. This is particularly true if there was ever a time when parking was tight.
 - e.) Lastly, the CC&R's will require that owners keep both enclosed parking spaces in all garages clear of storage and available for parking, giving the HOA board enforcement authority should there ever be an issue.

None of these is an option with only a 1 car garage. There surely is a strong advantage of having 128 large, tandem spaces than 128 small, single spaces that the parking calculation doesn't take into account at all.

ii.) On street spaces: This site is very fortunate and unique that in addition to the on-site and garage parking, there are 70 legal spaces adjacent to the homes that are on public streets (Duane, Santa Real and Indian Wells) on 3 of the 4 sides of the community. These spaces are unlikely to be in demand from neighboring uses yet they count as zero, as if they didn't exist. Most of these spaces are right at the front door of the proposed home and will in fact be readily used, particularly by guests, significantly relieving pressure on unassigned parking. Many of the existing new townhome communities in Sunnyvale are subject to the same on-site parking calculation as this project, yet have zero adjacent spaces including: Bordeaux with 80 units, Evelyn Glen with 130 units, Verona with 64 units, Crossman Place with 30 units all have zero legal spaces on adjacent public streets. Danbury Park has over 200 units with no parking adjacent on 3 of its 4 sides. While the same parking calculation is applied to all sites, we believe this factor is also a strong consideration supporting the proposed deviation that is not factored into the parking calculation.

iii.) Storage added to standard 2 car garages: Garage storage has been added to 66 of the 2 car side by side plans increasing the probability that those owners will park 2 versus 1 car in their garages.

In summary, the parking calculation is an objective calculation that doesn't take into account significant factors that will influence whether a site is parked properly or not. The fact is on-site parking demand will not be equal, as the calculation suggests it will be, for this project and for a project that is exactly the same as this one except that it has i.) 128 single car garages instead of tandem ii.) no legal, adjacent public parking spaces vs. the 70 this site has and iii.) all homes with minimum dimension garages vs. the oversized garages that are provided in this application. We think these are more objective than subjective factors and that they merit the requested deviation of 33 which amounts to credit for just 1 out of every 6 (16.7%) of the actual spaces that exist but aren't counted.

Summary:

We believe the proposed project not only improves the parking on-site but it also significantly improves the floorplans, the diversity of the architecture and landscaping via the 5 integrated districts, and it greatly improves the functionality and usability of the Community Center. We are hopeful to gain support of the proposed changes from the Planning Commission in order that we may restart the work on this community that has now been stalled for nearly 2 years.



T
of F
32



of 32
E



INDIAN WELLS STREET SCENE SPANISH ECLECTIC BUILDING (TYPES 3 AND 4)
14 June 2010

O'Brien Parks/Sunnyvale
Associates, LLC
10000 Park
Sunnyvale, CA 94089

Ducne Avenue
Sunnyvale, CA 94089

Architect: O'Brien Parks/Sunnyvale Associates, LLC
Date: 14 June 2010
Project: Indian Wells Street Scene
Client: City of Sunnyvale
Scale: 1/8" = 1'-0"



colourSight
20000 Park
Sunnyvale, CA 94089
Tel: 415.335.1111
www.coloursight.com

ATTACHMENT F
Page 3 of 52



Bldg # 16, Building Type 1, Contemporary

Bldg # 17, Building Type 2, Contemporary

SANTA ROSALINA TERRACE STREET SCENE - CONTEMPORARY BUILDING TYPES 1 AND 2

18 June 2018

O'Brien Homes/Sunnyside
Associates LLC
10000
10000

Duane Avenue
Sunnyside, California

10000
10000
10000
10000



colours
10000
10000
10000

THE BOULEVARD DISTRICT

Characterized by wide boulevards, large lots, and a mix of building heights, this district is the heart of the city. It features a mix of residential and commercial buildings, and is a key area for public transit and pedestrian activity.

THE GROVE DISTRICT

This district is characterized by its lush greenery and mature trees. It features a mix of residential and commercial buildings, and is a key area for public transit and pedestrian activity.

THE CENTER DISTRICT

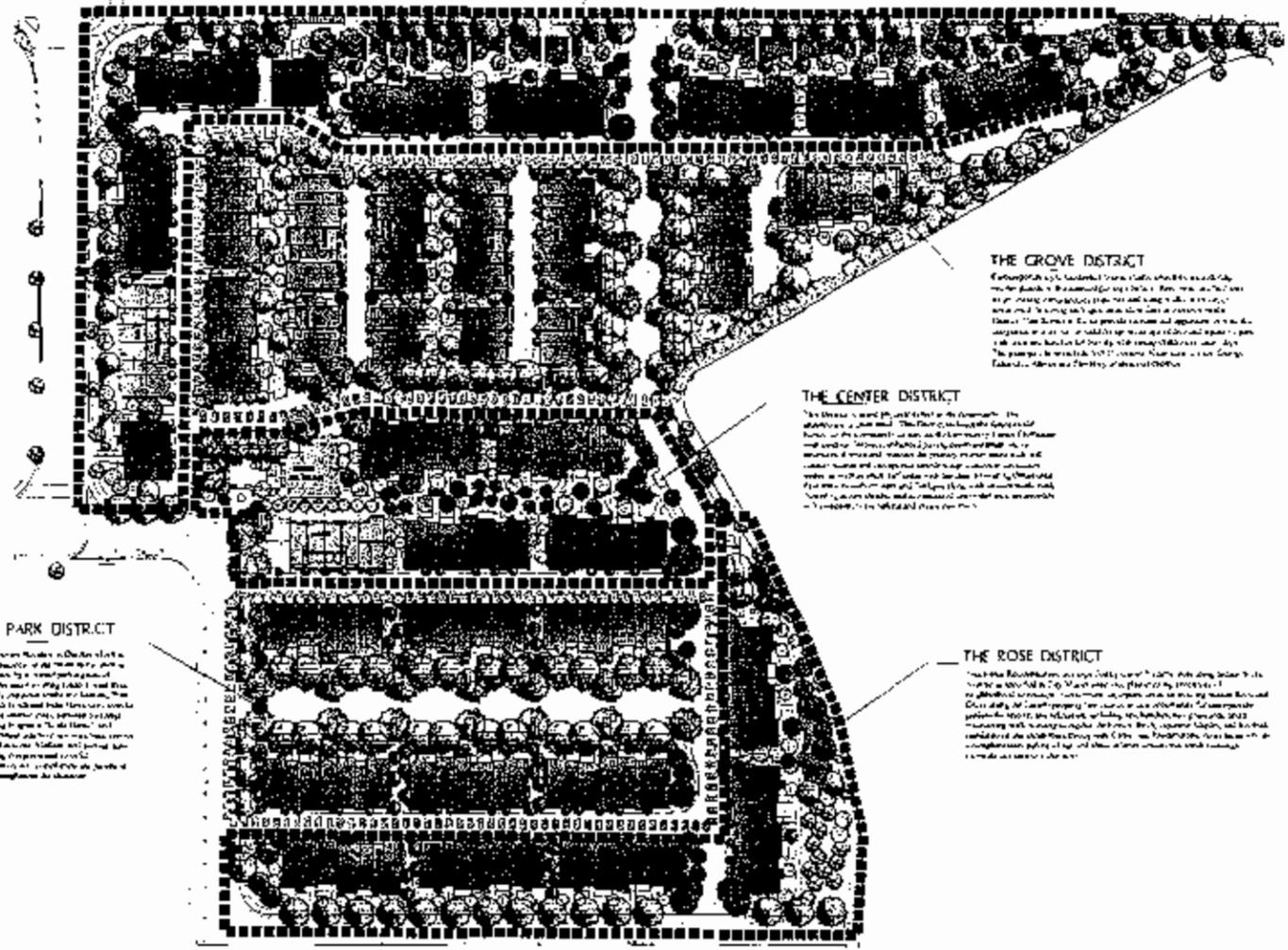
The Center District is the heart of the city, featuring a mix of residential and commercial buildings. It is a key area for public transit and pedestrian activity, and is characterized by its high density and diverse building heights.

THE ROSE DISTRICT

This district is characterized by its historic architecture and charming streets. It features a mix of residential and commercial buildings, and is a key area for public transit and pedestrian activity.

THE PARK DISTRICT

Characterized by its green spaces and recreational facilities, this district is a key area for public transit and pedestrian activity. It features a mix of residential and commercial buildings, and is a key area for public transit and pedestrian activity.



STOUTS' INDEPENDENT ASSESSORS, LLC
1000 10th Street, Suite 100
San Francisco, CA 94103
Tel: 415.774.1111
Fax: 415.774.1112



STATE OF CALIFORNIA
COUNTY OF SAN FRANCISCO
SUPERVISOR
MAYOR
COMMISSIONERS

THE LANDMARK LANDSCAPE PLAN



FRONT ELEVATION

Bldg. # 17, Building Type 2, Contemporary

O'Brien Homes/Sunnyvale
Associates, LLC

818-460-2884
314-72-3572

Duane Avenue
Sunnyvale, California

Architect: O'Brien Homes
333 4th Street, 10th Floor
Oakland, California 94612
415-761-1000
415-761-1001 Fax



colourSTUDIO
400 GLENN STREET S.
SAN FRANCISCO, CA

ATTACHMENT
Page 6 of 22

E
32



REAR ELEVATION

Bldg. # 17, Building Type 2, Contemporary

O'Brien Homes/Sunnyvale
Associates, LLC

1001 NO. 28th AVE
SUNNYVALE, CA 94085

Duane Avenue
Sunnyvale, California

Architect - Planning
225 W. 3rd Street
Oakland, California 94612
Lynn Kim
510.375.2000
510.992.0000



colourSTUDIO
450 GRANT STREET SUITE 200
SAN FRANCISCO, CA 94108

ATTACHMENT
Page 7 of 7

2/2



LEFT ELEVATION



RIGHT ELEVATION

Bldg. # 17, Building Type 2, Contemporary

O'Brien Homes/Sunnyvale
Associates, LLC

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Associates, LLC

Duane Avenue
Sunnyvale, California

ARCHITECTURE: O'Brien
2811 N. TERRY AVE. SUITE 100
DANFORTH, CALIFORNIA 94027
TEL: 408.299.1100
WWW.OBRIENHOMES.COM



colourSolutions
466 GEARY STREET SUITE 200
SAN FRANCISCO, CA 94102

ATTACHMENT
Page 8

32



FRONT ELEVATION

Bldg. # 34, Building Type 3, Spanish Eclectic

O'Brien Homes/Sunnyvale
Associates, LLC

Project No. 20090291
Date: 3/2/10

Duane Avenue
Sunnyvale, California

Architect: J. P. Planning
240 W. Street, Suite 400
Oakland, California 94612
Telephone:
510.332.2113 Fax:
510.332.2111



colourstudio
750 DEAR STREET, SUITE 100
SAN FRANCISCO, CA 94102

ATTACHMENT
Page 5

E
32



REAR ELEVATION

Bldg. # 34, Building Type 3, Spanish Eclectic

O'Brien Homes/Sunnyvale
Associates, LLC

4150 W. 20th St.
Sunnyvale, CA 94086

Duane Avenue
Sunnyvale, California

Architecture & Planning
333 San Jose Ave. 3 Floor
Daly City, California 94027
oap.com
310.873.2413
1.650.932.9111



colourSTUDIO
400 GARY STREET SUITE 300
SAN FRANCISCO, CA 94102

ATTACHMENT
 Page 10
 3-2



LEFT ELEVATION



RIGHT ELEVATION

Bldg. # 34, Building Type 3, Spanish Eclectic

O'Brien Homes/Sunnyvale
Associates, LLC

DISP. NO. 2009-054
June 13, 2012

Duane Avenue
Sunnyvale, California

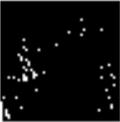
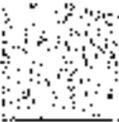
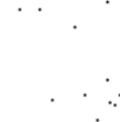
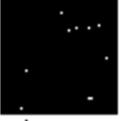
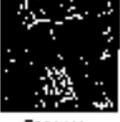
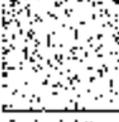
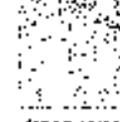
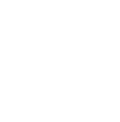
4000 AVENUE 17 FORTY-FOUR
200 BATTERY STREET SUITE 110
DOWNTOWN, CALIFORNIA 94011
415.350.1000
WWW.COLORSTUDIO.COM



colour studio
200 BATTERY STREET SUITE 110
SAN FRANCISCO, CA 94111

ATTACHMENT
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	Roof Top	Mezz Roof	Facade	Body 1	Body 2	Body 3	Garage Door	Rear Trim	Entry Doors	Stone
1	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Emperors Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold
2	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Emperors Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold
3	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Emperors Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold
4	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Emperors Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold
5	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Emperors Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold
6	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Emperors Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold	 Benjamin Moore MC1562 Mantel Gold

Roofing:
Sage Roofing

Paint:
Benjamin Moore Paint
Sherwin Williams Royal
Primer Paint
Dunn Edwards Paint

Stone:
El Dorado Stone

Color Schemes

O'Brien Homes/Sunnyvale
Associates LLC
12120 20th St
Sunnyvale, CA 94086

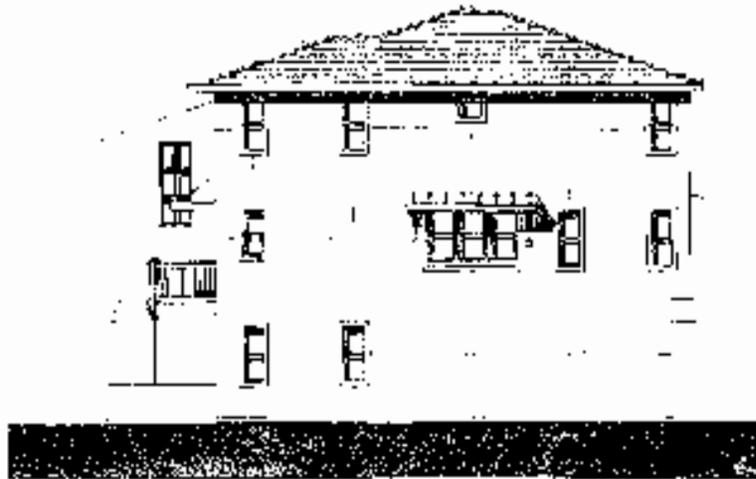
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Sunnyvale, California

colourSTUDIO
466 CLAY STREET SUITE 301
SAN FRANCISCO, CA 94102

ATTACHMENT
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Left Elevation



Right Elevation



Rear Elevation



Roof Plan

BLDG. 1
Contemporary
3-PLEX

EXTERIOR ELEVATIONS

Duane Avenue
Sunnyvale, California

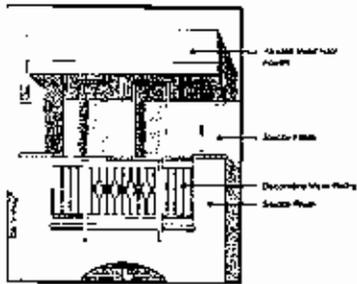
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Associates, LLC
111-111-1111
01/1/11

Architect: Planning
Set All Sheets for Plot
Drawing: 11/1/11
11/1/11
11/1/11

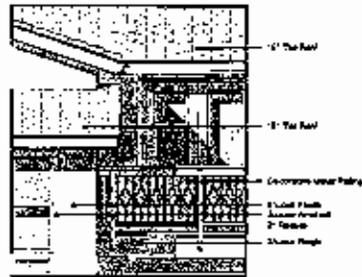


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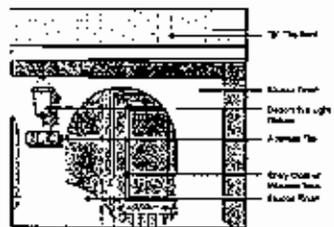
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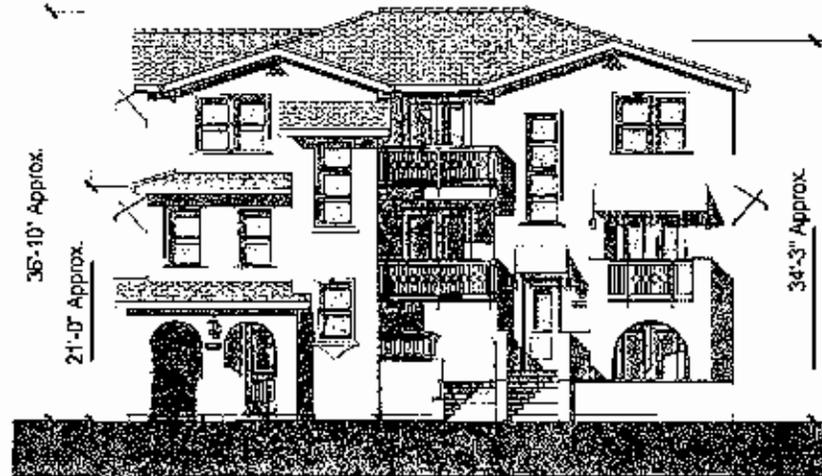
Deck Detail



Accents



Entry Patio



Front Elevation

BLDG. 1
Spanish Eclectic
3-PLEX

EXTERIOR ELEVATIONS

Duane Avenue

Sunnyvale, California

O'Brien Homes/Sunnyvale
Associates, LLC

CPG # 0 20040401
DATE 10.25.07

Architecture + Planning
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Oakland, California 94612
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510.273.2796
510.273.2797



A1.3

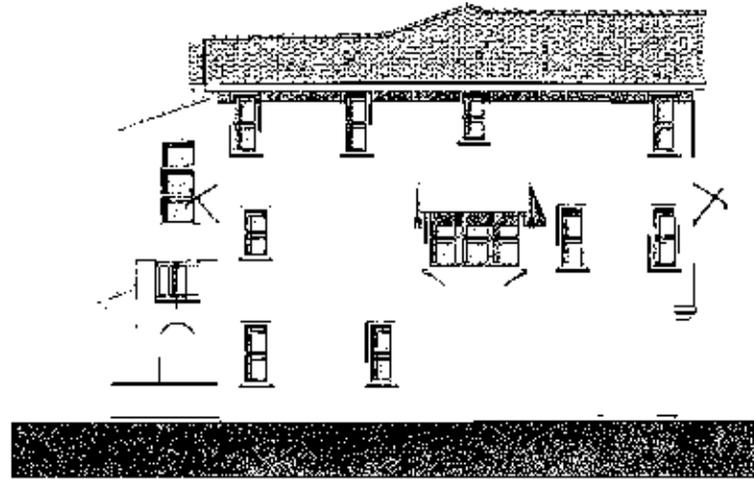
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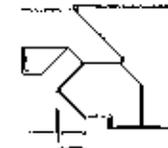
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Right Elevation

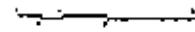


Rear Elevation



Roof Plan

BLDG. 1
Spanish Eclectic
3-PLEX



A1.4

O'Brien Homes/Sunnyvale
Associates, LLC

PROJ. NO. 2009-0217
REV. 11.2010

EXTERIOR ELEVATIONS

Duane Avenue

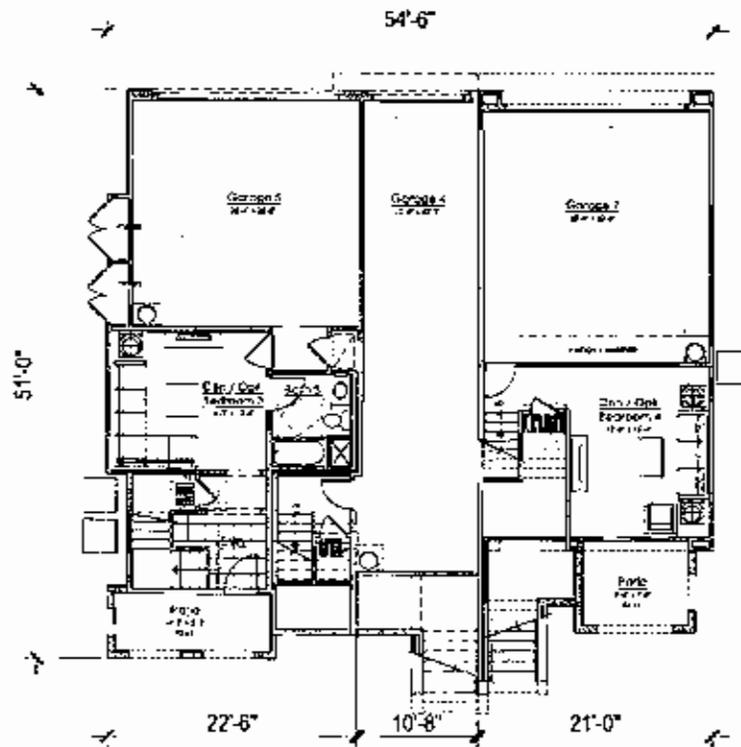
Sunnyvale, California

Architecture + Planning
250 1st Street, 3rd Floor
Oakland, California 94607
http://www.oba.com
378.275.2740 Fax
378.252.2911



ATTACHMENT
Page 14 of 32

1



<p>Plan 5 2 Bedrooms + Den Opt. Bedroom 3 3 Bath 1,571 S.F. Gross 1,479 S.F. Net</p>	<p>Plan 4 2 Bedrooms + Office 2 Bath 1,377 S.F. Gross 1,298 S.F. Net</p>	<p>Plan 7Alt - End Unit 3 Bedrooms + Den Opt. Bedroom 4 2.5 Bath / Opt. Bath 3 1,978 S.F. Gross 1,872 S.F. Net</p>
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3- PLEX

First Floor

BLDG. 1 COMPOSITE PLANS

A1.5

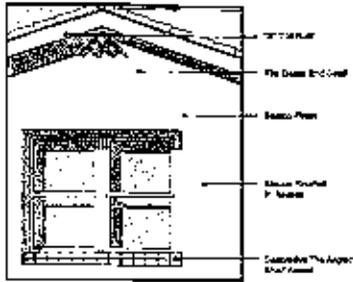
Duane Avenue
 Sunnyvale, California

O'Brien Homes/Sunnyvale
 Associates, LLC
 675 N. 23rd St.
 Sunnyvale, CA 94085

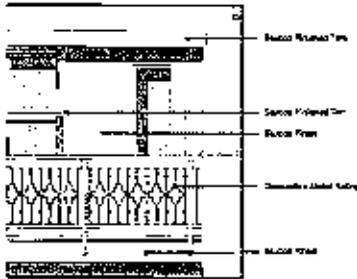
Architecture + Planning
 310 4th Street Third Floor
 Oakland, CA 94612
 City Center
 510 571 2910
 510 222 2911



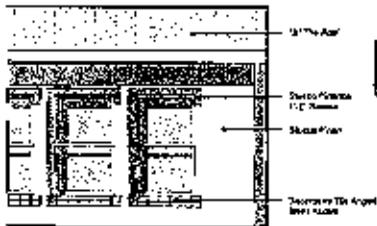
ATTACHMENT
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Gable End Detail



Deck Accents



Recessed Tile Accent



Front Elevation

BLDG. 2
Spanish Eclectic
7-PLEX

EXTERIOR ELEVATIONS

Duane Avenue

Sunnyvale, California

A2.3

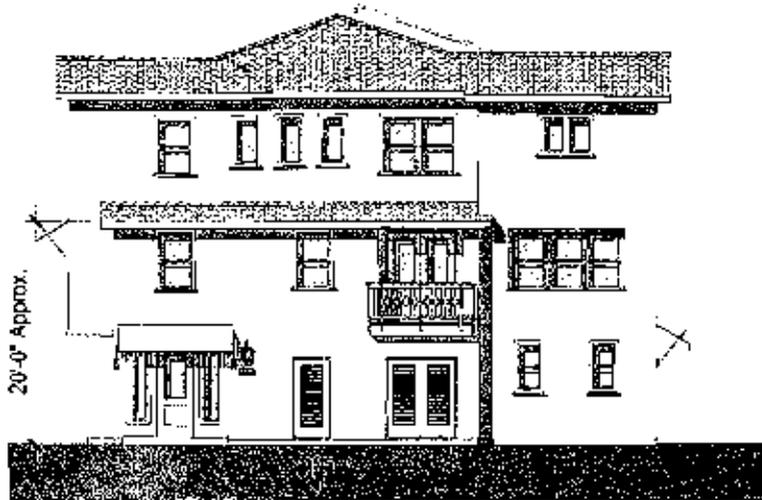
O'Brien Homes/Sunnyvale
Associates, LLC

FIG. NO. 2009-0201
June 18, 2013

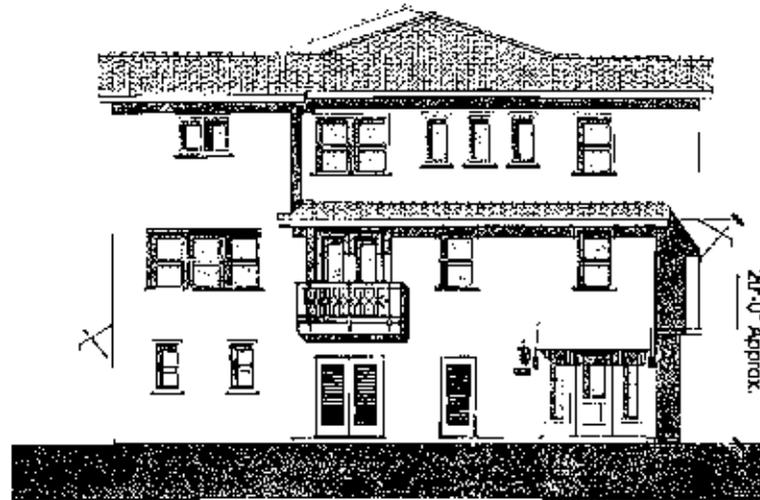
Architects - Planning
283 4th Street, 7th Floor
Oakland, California 94607
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916.375.2611



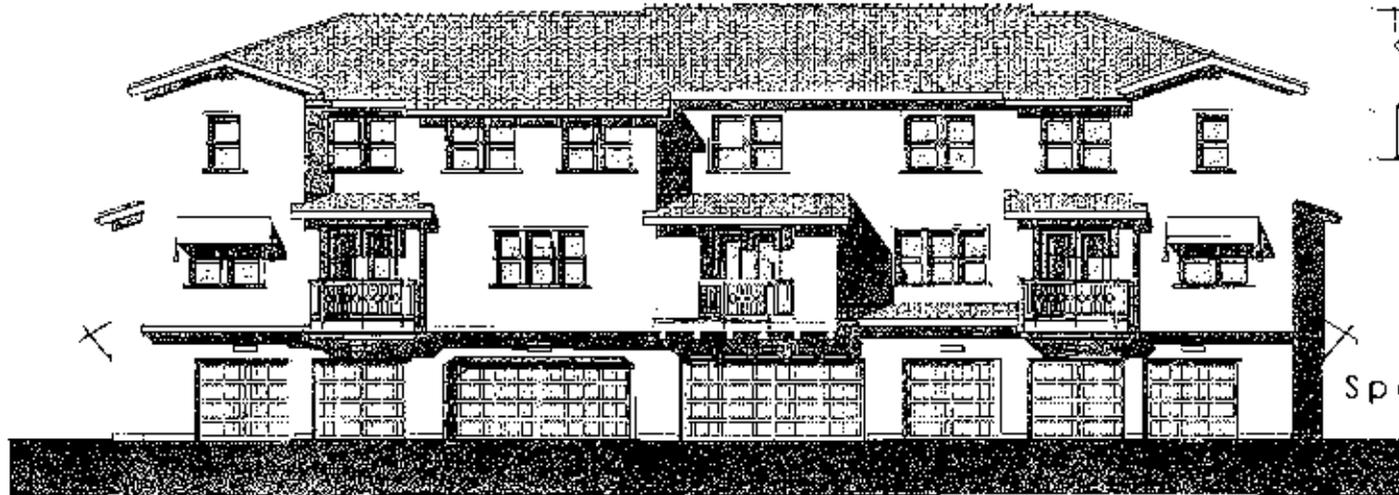
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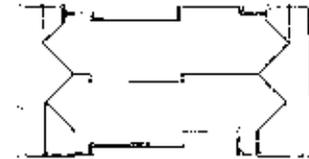
Left Elevation



Right Elevation



Rear Elevation



Roof Plan

BLDG. 2
Spanish Eclectic
7-PLEX

A2.4

O'Brien Homes/Sunnyvale
Associates, LLC

1101 W. 31st Ave.
Sunnyvale, CA 94086

EXTERIOR ELEVATIONS

Duane Avenue

Sunnyvale, California

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Oakland, California 94607
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510.473.2911



ATTACHMENT
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F
37



Left Elevation



Right Elevation



Rear Elevation



Roof Plan

BLDG. 3
Contemporary
7-PLEX

A3.2

O'Brien Homes/Sunnyvale
Associates, LLC

11511 NO. 2500 0201
1/16 - 3/21/17

EXTERIOR ELEVATIONS

Duane Avenue

Sunnyvale, California

Architects + Planning
283 Elm Street 3rd Floor
Oakland, California 94607
info@apc.com
415.775.7600 Fax
415.775.2911

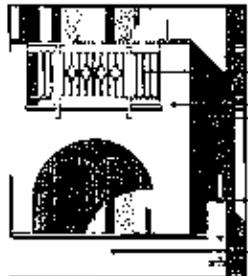


ATTACHMENT
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F



- Stucco Finish
1/2" Bead
- Decorative Tile Accent
Grid Panel
- Stucco Finish
- Painted Wood Panel
Finish

Recessed Tile Accent



- Decorative Metal Railing
- Stucco Finish
Stucco Finish
- Decorative Metal Railing
- Painted Wood Panel
Finish

Deck/Patio Accents



- Painted Wood Panel
Finish
Decorative Light
Fixture
- Stucco Tile
- Stucco Finish
- Painted Wood Panel
Finish

Entry Patio



38'-10" Approx.

21'-0" Approx.
33'-8" Approx.

Front Elevation

BLDG. 3
Spanish Eclectic
7-PLEX

EXTERIOR ELEVATIONS

Duane Avenue

Sunnyvale, California

A3.3

O'Brien Homes/Sunnyvale
Associates, LLC

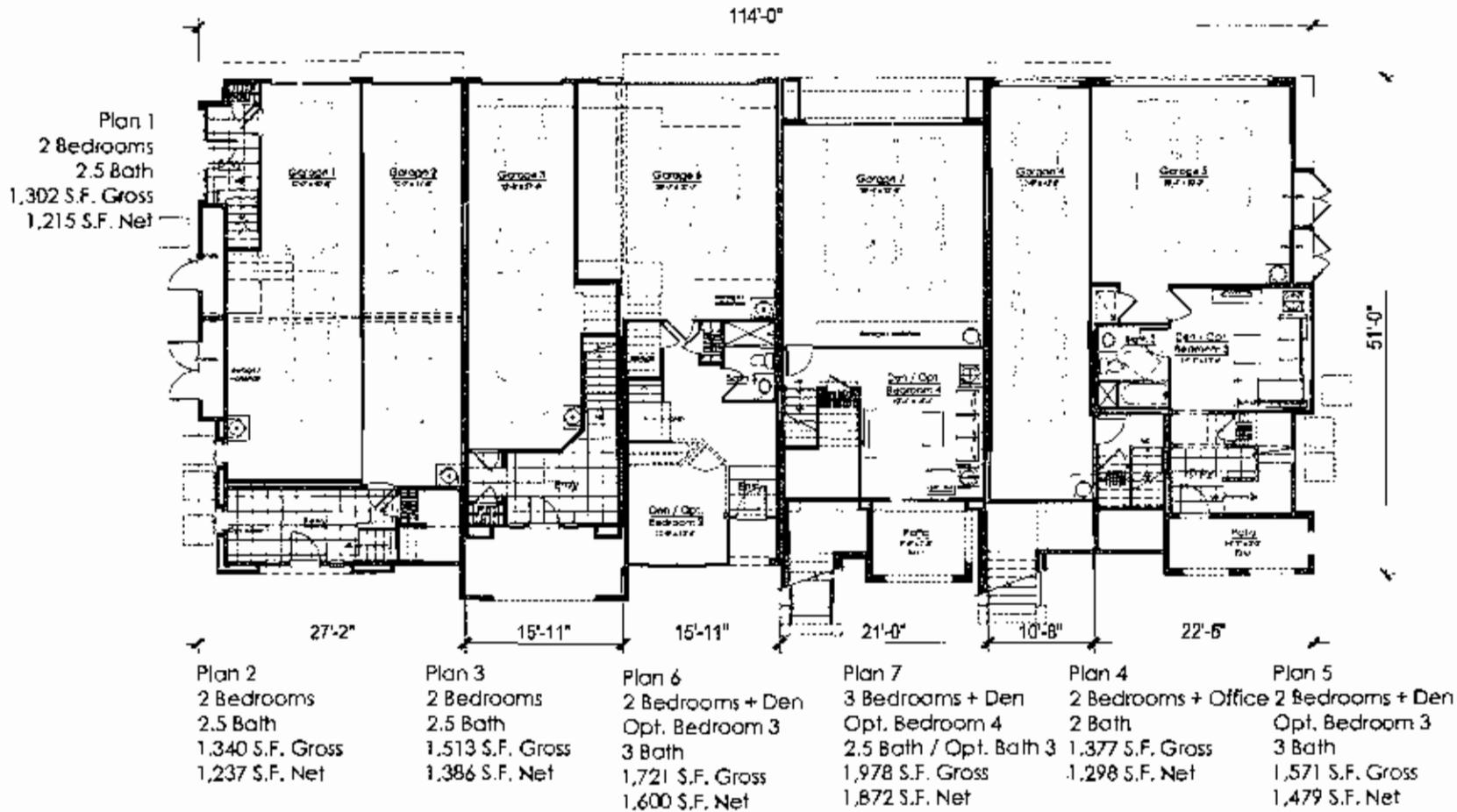
PROJECT NO. 2009-0201
DATE 10.20.09

ARCHITECTURE - Planning
235 4th Street 7th Floor
Oakland, CA 94607
oajg.com
913.772.2210 Fax
913.292.2291



ATTACHMEN
Page 22

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F



7-PLEX

First Floor

BLDG. 3 COMPOSITE PLANS

A3.5

O'Brien Homes/Sunnyvale
Associates, LLC

Duane Avenue

Sunnyvale, California

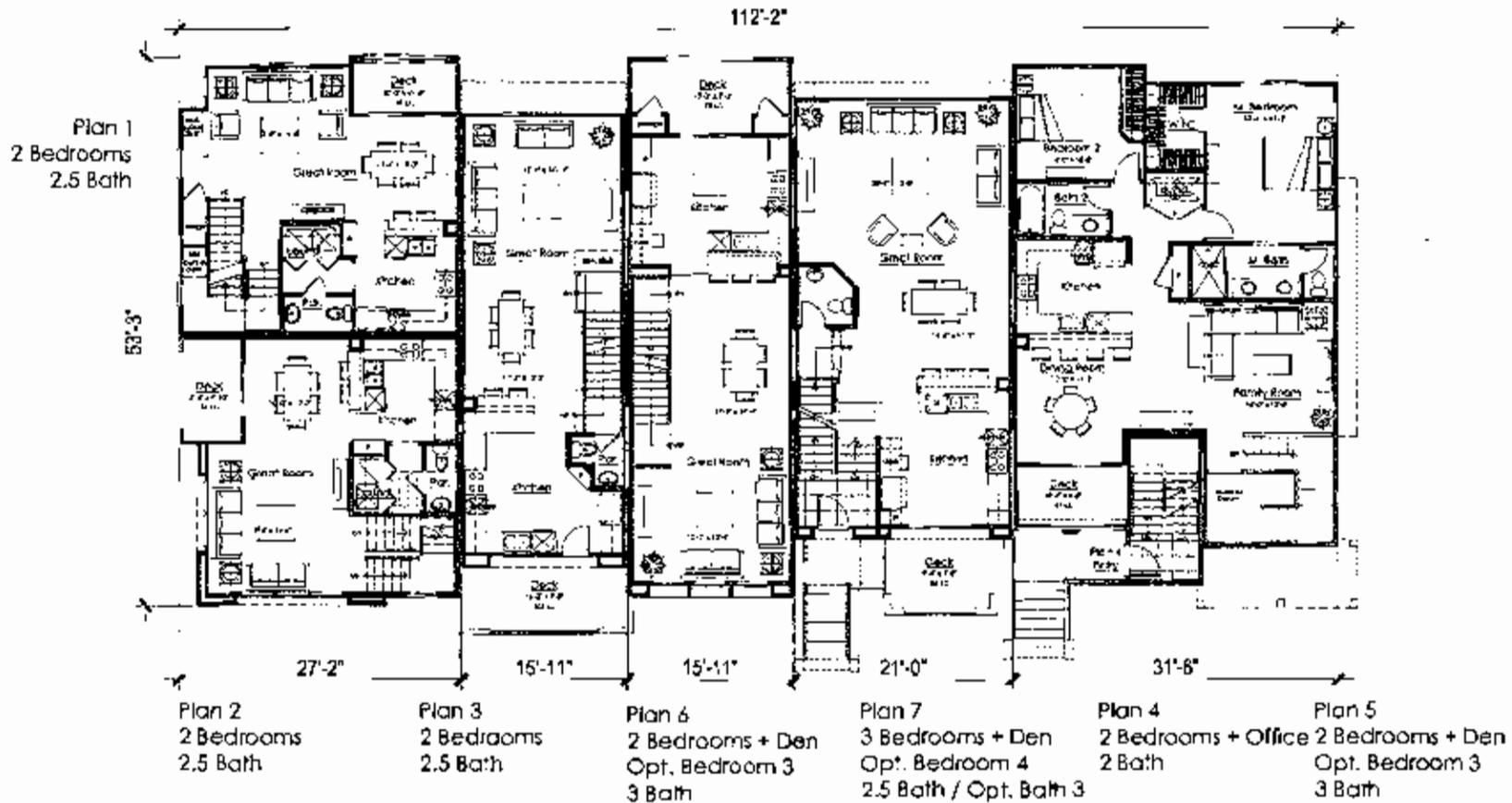
Architecture - Planning
283 4th Street, Suite 400
Oakland, California 94612
ingy.com
510.275.2610 Fax
510.275.2911 Fax



ATTACHMENT
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CGI 400, 2009 (2/01)
June 15, 2010

22



Second Floor

BLDG. 3 COMPOSITE PLANS

7-PLEX

A3.6

O'Brien Homes/Sunnyvale
Associates, LLC

Duane Avenue
Sunnyvale, California

Architecture - Planning
388 4th Street Third Floor
Oakland, California 94612
415/778-1100
415/275-9510
415/263-2911



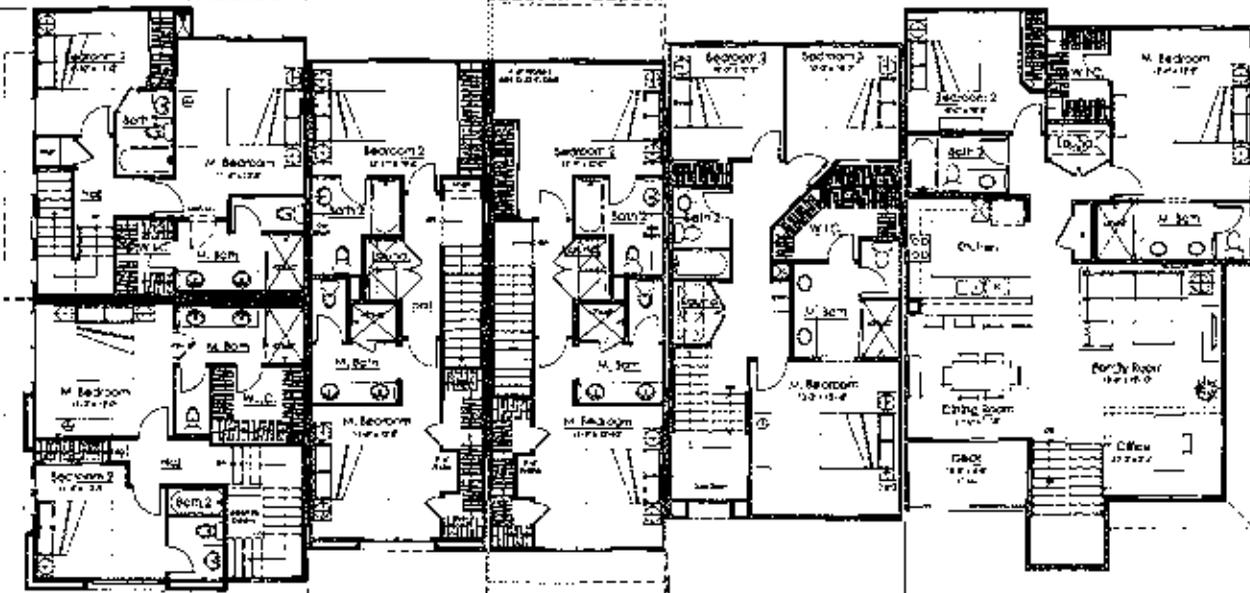
ATTACHMENT
Page 25

of 32

110'-5"

Plan 1
2 Bedrooms
2.5 Bath

52'-5"



25'-5"

15'-11"

15'-11"

21'-0"

31'-6"

Plan 2
2 Bedrooms
2.5 Bath

Plan 3
2 Bedrooms
2.5 Bath

Plan 6
2 Bedrooms + Den
Opt. Bedroom 3
3 Bath

Plan 7
3 Bedrooms + Den
Opt. Bedroom 4
2.5 Bath / Opt. Bath 3

Plan 4
2 Bedrooms + Office
2 Bath

7-PLEX

Third Floor

BLDG. 3 COMPOSITE PLANS

A3.7

O'Brien Homes/Sunnyvale
Associates, LLC

Duane Avenue
Sunnyvale, California

Architects + Planning
285 Ave. Street Third Floor
Colton, California 94027
714.222.1111
510.292.2810 Fax
510.292.2811 Fax



ATTACHMENT
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P



Left Elevation



Right Elevation



Rear Elevation



Roof Plan

BLDG. 4
Contemporary
7-PLEX

A4.2

O'Brien Homes/Sunnyvale
Associates, LLC

PGY NO. 2009-024
APR 16, 2013

EXTERIOR ELEVATIONS
Duane Avenue
Sunnyvale, California

Architectural Planning
203 4th Street 3rd Floor
Oakland, California 94607
www.apc.com
510.772.2710 Fax
510.772.2711



ATTACHMENT
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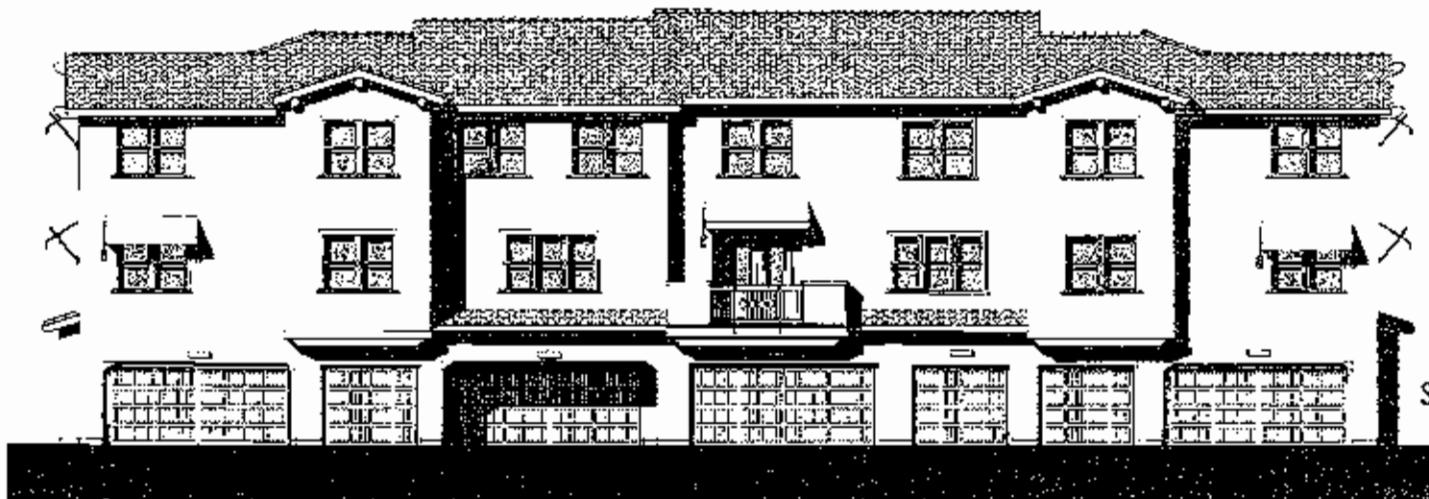
17



Left Elevation



Right Elevation



Rear Elevation



Roof Plan

BLDG. 4
Spanish Eclectic
7-PLEX

EXTERIOR ELEVATIONS
Duane Avenue
Sunnyvale, California

A4.4

O'Brien Homes/Sunnyvale
Associates, LLC

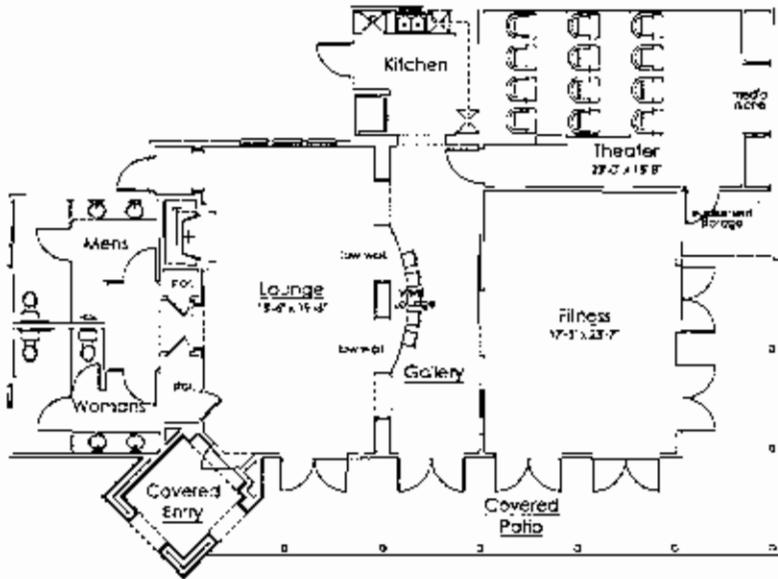
REVISED 2009-08-11
DATE 11.2010

Architect - Planning
283 1/2 Street Third Floor
Daly City, California 94015
www.obh.com
P: 650.272.2510 Fax:
516.290.2911

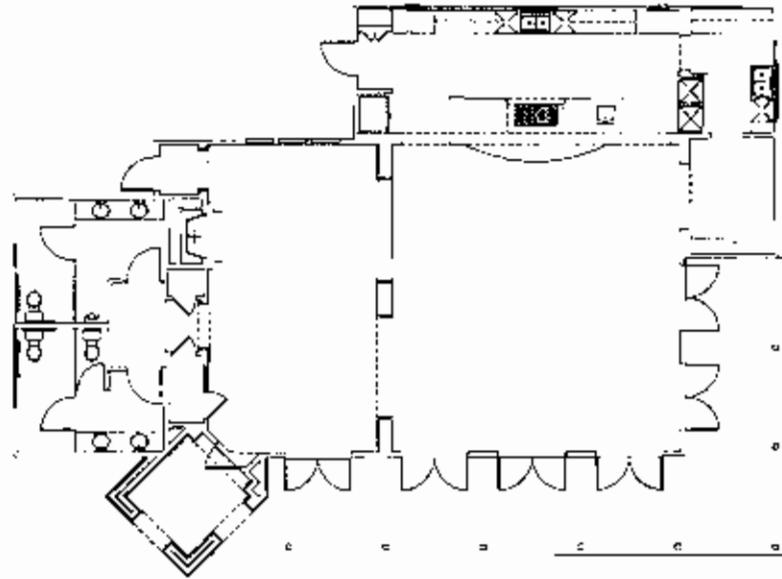


ATTACHMENT
Page 30

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PROPOSED FLOOR PLAN SCALE: 1/8\"/>



EXISTING FLOOR PLAN SCALE: 1/8\"/>

CLUBHOUSE FLOOR PLAN

Duane Avenue

Sunnyvale, California

O'Brien Homes/Sunnyvale
Associates, LLC

PROJECT NO. 2020-024
DATE: 12.2020

Architect: O'Brien Homes
285 Alhambra Street, 2nd Floor
Oakland, California 94607
oah.com
510.271.2910
510.291.2911



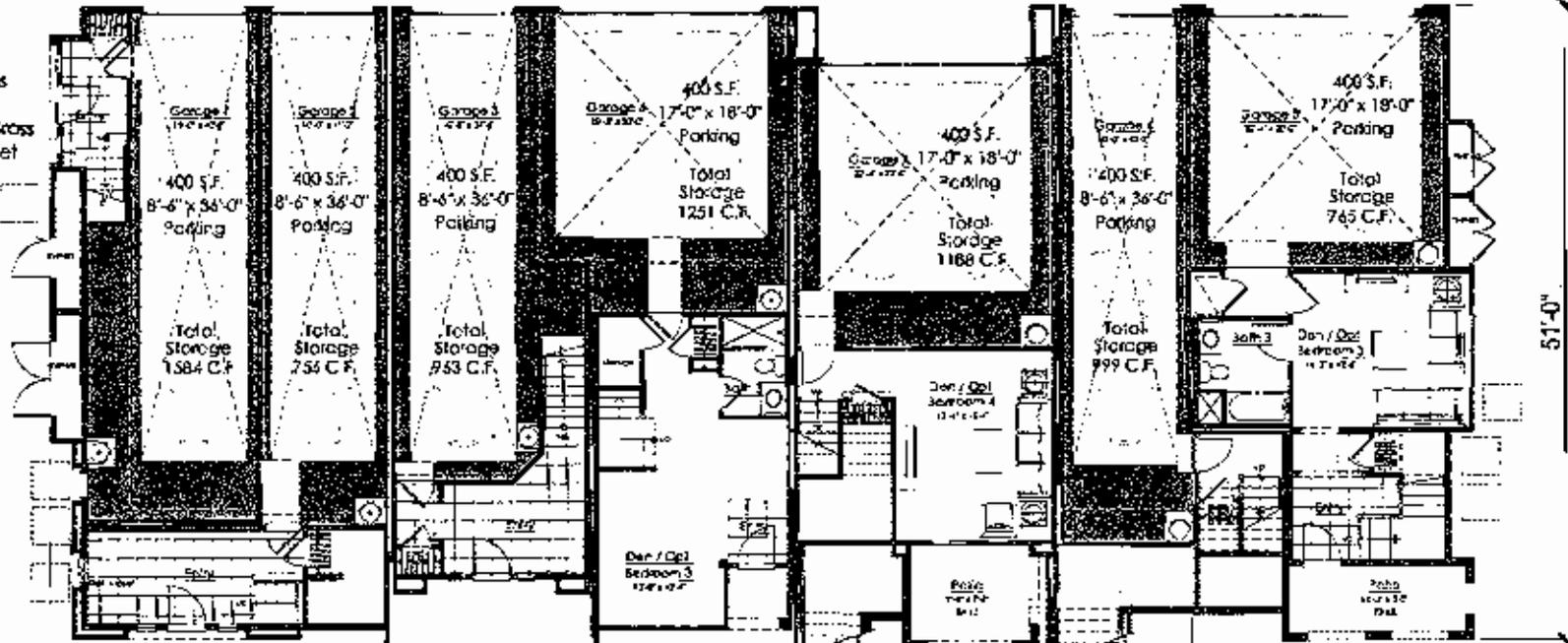
A5.1

ATTACHMENT
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114'-0"

Plan 1
2 Bedrooms
2.5 Bath
1,302 S.F. Gross
1,215 S.F. Net



27'-2"
Plan 2
2 Bedrooms
2.5 Bath
1,340 S.F. Gross
1,237 S.F. Net

15'-11"
Plan 3
2 Bedrooms
2.5 Bath
1,513 S.F. Gross
1,386 S.F. Net

15'-11"
Plan 6
2 Bedrooms + Den
Opt. Bedroom 3
3 Bath
1,721 S.F. Gross
1,600 S.F. Net

21'-0"
Plan 7
3 Bedrooms + Den
Opt. Bedroom 4
2.5 Bath / Opt. Bath 3
1,986 S.F. Gross
1,879 S.F. Net

10'-6"
Plan 4
2 Bedrooms + Office
2 Bath
1,377 S.F. Gross
1,298 S.F. Net

22'-6"
Plan 5
2 Bedrooms + Den
Opt. Bedroom 3
3 Bath
1,571 S.F. Gross
1,479 S.F. Net

51'-0"

Original Average Garage S.F. - 366 S.F.
Proposed Average Garage S.F. - 474 S.F.

Parking Exhibit

Duane Avenue

Sunnyvale, California

O'Brien Homes/Sunnyvale
Associates, LLC

ALTY NO. 20002311
11/18/20

Architecture + Planning
263 4th Street, Third Floor
Oakland, California 94607
415.778.1000
510.378.2215
510.262.2215



7-PLEX

ATTACHMENT
Page 32

32 F

Steve Lynch
Sr. Planner
City of Sunnyvale

ATTACHMENT G
Page 1 of 1

Hello, Steve,

Pat Castillo generously set up a meeting for SMNA with regard to the O'Brian development at the corner of De Guine and Duane Avenue. This parcel is currently scheduled to have the Planning Hearing on June 28, 2010. The Board of the San Miguel Neighbors Association (SMNA) would like to see this development go forward.

From our point of view, the changes to the community building seem much more likely to create community and be a more useful and usable area. The external views of the two different styles of buildings, for the perimeter and for the interior look good. The floor plans for the newly designed buildings seem much more usable than the original models and look like they will appeal to a wide variety of people. We loved the landscaping of different areas within the development for different purposes, like the citrus trees in one area, the roses in another area, tot play areas, etc. The tandem garages will be a huge help for any potential parking issues. All of this and lower price points would seem to encourage sales. This is something we all want. SMNA would much rather see construction than empty buildings, funky fencing and funny green screens with the land going to weeds!

The contribution of an acre of land on the DeGuine side, rather than on the AMD side, one that would be coordinated with other acre or small parcels of land to form a small park in the area (back to the original plan we saw) would be a real advantage. SMNA would very much like to see that park developed. We have many walkers and bikers that would enjoy that park.

SMNA also appreciates that the building standard will be higher than for the original plan. Most of the neighbors in SMNA vigorously desired more 'green' building when we did our visioning process for the general plan.

It is our understanding that because of some of the ways that garage areas and parking spaces are counted that the development is asking for a variance of 33 parking spaces. Since the previous parking ratio was 2.7 cars per unit, and with the tandem garages the ratio is 3.1 cars per unit, SMNA would have no objections to the requested variance.

SMNA appreciates being included in the outreach for this project, and supports its approval.

Regards,

SMNA Board (Tara Martin-Milius, Luis Angulo, Herminia Angulo, Lean Asuncion, Judy Santiago)

PLANNING COMMISSION MINUTES OF JUNE 28, 2010

2010-7048 - O'Brien Homes/Sunnyvale Associates LLC and TRE B of A v WL Homes: Architectural and landscaping modifications for a previously approved project. Previous project included 242 condominium townhomes and a tentative map, as a specific project component of the Duane ITR General Plan Amendment and EIR Study for a site located at **920 - 962 East Duane Avenue** (APN: 205-55-001 through 040). SL

This item was considered as the first public hearing item on the agenda instead of the second.

Trudi Ryan, Planning Officer, explained there are two property owners related to this application and one of the property owners has requested a continuance of this item to the July 12, 2010 meeting. Ms. Ryan said staff recommends the continuance of the project as it is important that both property owners be a party to the application. Ms. Ryan said the other property owner believes the Commission should be able to move forward with the application this evening.

Comm. Rowe moved to continue the item to July 12, 2010, and then withdrew the motion for further discussion.

Comm. Klein confirmed with staff that the public hearing needed to be opened as there could be members of the public or the applicant that wanted to comment on the continuance.

Chair Chang opened the public hearing.

Reneé McDonnell, with Sunnyvale Associates, representing the co-applicant, objected to the continuance and said Sunnyvale Associates would like to present the plans tonight, as they look forward to the opportunity to have the project considered. She acknowledged the request for continuance put the Commission and staff in a difficult position with the co-applicants not in agreement. She said she thinks the continuance request delays the project, is not based on legitimate issues, and that the receiver has a separate agenda. She said if the City allows the continuance with unspecified objections that the continuance is causing Sunnyvale Associates significant and further damage. She asked that the City ask the receiver to provide their objections in writing to staff to see if there is any substance to the objections. She asked if the receiver's consent is not provided or the receiver does not provide valid objection, that the City have the Planning Commission consider the project over the receiver's objection as the continuance denies the ability to proceed.

Comm. McKenna discussed with staff whether the Planning Commission could ask the receiver about the specific issues, and if the Commission continues this item to July 12, 2010, if the Commission could make sure there were no further delays. **Kathryn Berry**, Senior Assistant City Attorney, explained this is one integrated project and two property owners and City code requires that applications be submitted with the signature of all owners. Ms. Berry said the receiver/owner has said a variety of things over time from possibly withdrawing their consent, requesting a continuance, to removing the objections. Ms. Berry said granting a continuance is in the purview of the Commission and can be granted if it is not detrimental to the public interest as distinguished from private interest. She said the City received a letter from the lawyer with Bank of America, the receiver, indicating more time is needed to review the report. Ms. Berry said asking the receiver for specific objections would be appropriate and if another continuance is requested it would be up to the Commission whether to grant it. **Comm. McKenna** said she would like a stronger message be communicated that as long as the issues raised have been addressed, that it may be more difficult to obtain another continuance. Ms. Berry said some of the private issues related to this project are out of the hands of the City, however she is optimistic as the party requesting the continuance said they would need only need the two weeks.

Comm. Rowe discussed with staff the receiver's reasons for asking for a continuance with Ms. Ryan explaining that there is a combination of specified and unspecified items of concern.

Comm. Hungerford discussed with staff the relationship between the two owners.

Comm. Rowe confirmed with staff what could be requested in the motion including requiring the receiver to address their concerns in writing.

Chair Chang closed the public hearing.

Comm. Rowe moved to grant the continuance to July 12, 2010, asking the owner requesting the continuance be at the meeting to make their presentation, and that his objections be provided to staff in writing. Comm. Sulser seconded the motion.

Comm. Rowe said this is an example of why public hearings are important as valid points were brought up by the speaker that needed to be considered.

Vice Chair Travis said he would be supporting the continuance, however he is not happy about it. He said he understands objections from the co-owner need to be addressed, however he doubts the Commission would see anything new.

ACTION: Comm. Rowe made a motion on 2010-7048 to continue this item to the July 12, 2010 Planning Commission meeting as requested by one of the two property owners, asking the owner requesting the continuance be at the meeting to make his presentation, and that his objections be provided to staff in writing. Comm. Sulser seconded. Motion carried 7-0.

APPEAL OPTIONS: This action serves a legal notification of the continuance of this item to the July 12, 2010 Planning Commission meeting.