



**REPORT TO PLANNING COMMISSION**

**Hearing Date:** September 13, 2010

**File Number:** 2010-7379

**SUBJECT:** **Andrea Costanzo (Architect):** Application for first and second floor additions located at **972 Bluebonnet Drive** in a RO Zoning District (APN: 213-04-025):

Motion **2010-7379-** Design Review to allow first and second floor additions to an existing single family home resulting in a floor area ratio of 51% (approximately 3,048 square feet of floor area).

**REPORT IN BRIEF:**

**Existing Site Conditions** Single-Family Residential

**Surrounding Land Uses**

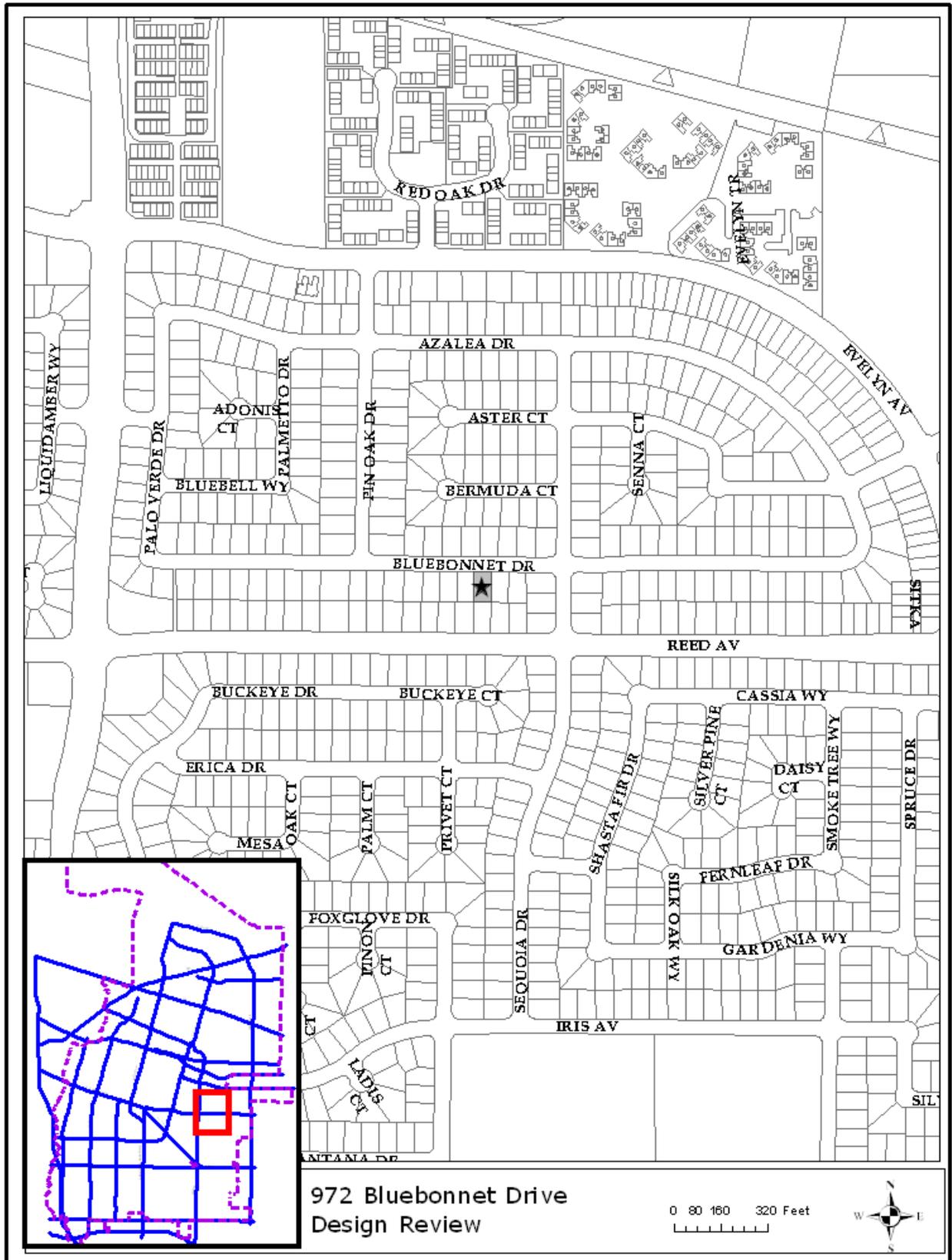
North	Single-Family Residential
South	Single-Family Residential
East	Single-Family Residential
West	Single-Family Residential

**Issues** Design

**Environmental Status** A Class 1 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines.

**Staff Recommendation** Approve with conditions

VICINITY MAP



972 Bluebonnet Drive  
Design Review

0 80 160 320 Feet



**PROJECT DATA TABLE**

	<b>EXISTING</b>	<b>PROPOSED</b>	<b>REQUIRED/ PERMITTED</b>
<b>General Plan</b>	Residential Low Density	Same	Residential Low Density
<b>Zoning District</b>	R-O	Same	R-O
<b>Lot Size (s.f.)</b>	6,000	Same	6,000
<b>Gross Floor Area (s.f.)</b>	2,025	3,048	2,700 (45% threshold)
<b>Lot Coverage (%)</b>	26%	34%	40% max.
<b>Floor Area Ratio (FAR)</b>	33%	51%	45% threshold
<b>Building Height (ft.)</b>	22'	26'	30' max.
<b>No. of Stories</b>	2	Same	2 max.
<b>Setbacks (First/Second Facing Property)</b>			
<b>Front:</b>			
<b>1<sup>st</sup> Floor</b>	23'	Same	20' min.
<b>2<sup>nd</sup> Floor</b>	43'	Same	25' min.
<b>Left Side:</b>			
<b>1<sup>st</sup> Floor</b>	7'	Same	4' min.
<b>2<sup>nd</sup> Floor</b>	7'	Same	7' min.
<b>Right Side:</b>			
<b>1<sup>st</sup> Floor</b>	6' 6"	Same	8' min.
<b>2<sup>nd</sup> Floor</b>	25'	23' 11"	14' min.
<b>Rear</b>	18'	20'	20' min.
<b>Parking</b>			
<b>Total Spaces</b>	4	Same	4 min.
<b>Covered Spaces</b>	2	Same	2 min.

★ Starred items indicate deviations from Sunnyvale Municipal Code requirements.

**BACKGROUND:**

The proposed project includes a first floor rear addition of 466 square feet and a second floor addition of 577 square feet to the existing structure for a total of 3,048 square feet. The home was originally constructed in 1970 and an addition was added to the structure in the late 1970's. No other significant changes have occurred.

**DISCUSSION:****Requested Permit(s)**

The applicant is requesting approval of a Design Review application to allow a total floor area of 3,048 square feet and Floor Area Ratio of 51% (50.8%). The proposed additions will accommodate a new master suite at the ground floor (replacing the existing family room) and new second floor master suite. The

proposed additions will be approximately 1,023 square feet and located at the rear of the existing home.

- **Design Review**

The Design Review is required to be reviewed by the Planning Commission since the Floor Area Ratio exceeds 45%. The Planning Commission may take into consideration the size of the proposed home in relation to the existing home. In addition, the Planning Commission may also take into account the proposed architecture, existing neighborhood and adopted Single-Family Design Techniques. The analysis below provides information for the Planning Commission's consideration.

## **DESIGN REVIEW:**

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### **Architecture**

The existing home and immediate neighborhood are one and two story ranch style homes which have not been significantly altered since their original construction. The project proposes to modify the existing architecture to a more contemporary style while maintaining the existing massing of the structure. Staff has worked with the architect to add treatment to the front façade and architectural interest to the left side elevation. Staff was also concerned about the increase of the ridge height and the proportion of the front façade of the second floor. Changes that have occurred since the original submittal include the following:

- Addition of dormer elements over second floor front windows and changing the windows style to match the architecture.
- Addition of stone to the entry element at the ground floor.
- Addition of an architectural relief on the left side elevation (trim element at second floor and eave element).

### **Privacy**

The new second floor left side windows will be conditioned to be opaque glass to reduce privacy impacts on the adjacent neighbors. The right side windows are located over 23 feet from the right side property line and privacy should not be an issue.

The second floor rear addition includes two full bay window elements, which have total of 17 feet in width. The municipal code limits the total width the bay window elements to 12 feet. The Zoning Code also states that bay windows must be cantilevered a minimum of 24" above grade. The intent if this requirement is to minimize the floor area allowed into the setbacks. Staff has included a condition requiring that the rear second floor bay windows be modified so the total width does not exceed 12 feet and that they are cantilevered a minimum of 24" from the second floor finished floor level.

Staff has not received any complaints about the proposed addition as of September 8, 2010. Staff advised the architect that the bay window elements could potentially be a privacy issue. If the Planning Commission feels that the bay windows will result in a privacy issue, then a condition 4a should be modified to require elimination of the rear second floor bay windows.

**Solar Access**

The applicant submitted a solar access and shadow analysis. According to the analysis, the proposed second story shades less than 3% of the neighboring roof to the east, where 10% is the maximum allowed.

**Height**

Staff was also concerned with the increase in the height of the second floor ridge. The ridge will be increased approximately 4 feet to allow a new rear slope to cover the proposed rear additions. The applicant will also use the rear slope for solar panels. The increase in height affected the proportions of the front façade of the second floor. Working with the applicant, gable elements were added to better balance the proportions. Staff has included the original elevations for reference (see Attachment D).

**Floor Area Ratio**

The existing neighborhood on Bluebonnet Drive is bound by Pin Oak Drive and Sequoia Drive. The average FAR for neighborhood is 41% and Floor Area Ratios for the immediate neighborhood have been included below for reference. Although the proposed project will be the highest in the immediate area, the addition is located in a manner that reduces impacts on the neighborhood and maintains the existing character of the area.

<b>Neighborhood FAR's</b>				
	<b>Address:</b>	<b>Lot Area (s.f.):</b>	<b>Building (s.f.):</b>	<b>Existing FAR:</b>
964	Bluebonnet	6,433	1,663	26%
966	Bluebonnet	6,000	1,920	32%
968	Bluebonnet	6,000	2,248	37%
970	Bluebonnet	6,000	2,633	44%
<b>972</b>	<b>Bluebonnet</b>	<b>6,000</b>	<b>3,048</b>	<b>51%</b>
974	Bluebonnet	6,000	2,123	35%
976	Bluebonnet	6,000	1,929	32%
509	Sequoia	5,675	1,403	25%
529	Sequoia	6,270	1,663	27%
960	Bluebonnet	5,821	2,198	38%
962	Bluebonnet	6,856	2,448	36%
973	Bluebonnet	6,373	1,663	26%
967	Bluebonnet	6,294	1,663	26%
961	Bluebonnet	6,291	1,920	31%
955	Bluebonnet	6,280	1,663	26%

<b>Neighborhood FAR's</b>				
<b>Address:</b>		<b>Lot Area (s.f.):</b>	<b>Building (s.f.):</b>	<b>Existing FAR:</b>
949	Bluebonnet	6,273	1,663	27%
943	Bluebonnet	6,279	1,920	31%
941	Bluebonnet	6,273	1,839	29%
939	Bluebonnet	6,338	1,920	30%

### **Applicable Design Guidelines and Policy Documents**

The proposed additions are consistent with the adopted Single-Family Design Techniques since they generally maintain the existing shape and form and the streetscape character is generally maintained. In addition, the privacy impacts have been reduced by requiring opaque glass on the new left side second floor windows. Staff has included findings for the Single-Family Design Techniques in Attachment A.

### **Development Standards**

The proposed project complies with the applicable Development Standards as set forth in the Sunnyvale Municipal Code. The following have been identified as items for clarification by the Planning Commission:

- **Site Layout**

The site is located on an interior lot on Bluebonnet Drive just west of Sequoia Drive. The proposed additions comply with the required setbacks adopted code requirements and it respects the existing character of the home.

- **Parking/Circulation**

The existing home provide a two car garage and two uncovered parking spaces within the existing driveway, complying with Zoning Code Requirements.

- **Landscaping and Tree Preservation**

The proposed project does not include the removal of any trees. The future removal of any protected heritage trees would require a separate Tree Removal Permit, which would be reviewed by the City. Protected trees are those that measure 38 inches or greater in circumference when measured at four feet from the ground.

- **Green Building Requirements**

The proposed project will be required to comply with current Green Building requirements. The applicant will be required to submit a green building checklist and to demonstrate that they can achieve points (no minimum required for additions). The applicant has included a preliminary Build it Green checklist, demonstrating that points can be achieved.

**Environmental Review**

A Class 1 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines. The proposed addition is exempt in that the proposed project will result in floor area of 3,048 square feet, is located in an area where existing public services are available and the area is not an environmentally sensitive area.

**FISCAL IMPACT**

No fiscal impacts other than normal fees and taxes are expected.

**PUBLIC CONTACT**

Staff has not received any comments at the time the staff report was prepared.

<b>Notice of Public Hearing</b>	<b>Staff Report</b>	<b>Agenda</b>
<ul style="list-style-type: none"> <li>• Published in the <i>Sun</i> newspaper</li> <li>• Posted on the site</li> <li>• 39 notices mailed to property owners and residents adjacent to the project site</li> </ul>	<ul style="list-style-type: none"> <li>• Posted on the City of Sunnyvale's Web site</li> <li>• Provided at the Reference Section of the City of Sunnyvale's Public Library</li> </ul>	<ul style="list-style-type: none"> <li>• Posted on the City's official notice bulletin board</li> <li>• Posted on the City of Sunnyvale's Web site</li> </ul>

**CONCLUSION**

The proposed addition will result in a home that is slightly larger than the other homes found in the neighborhood, staff finds that the project is a reasonable request to provide additional living space, while respecting the character the neighborhood due to the location of the proposed addition. The project has been designed to meet all development standards required in the R-0 Zoning district.

**Findings and General Plan Goals:** Staff was able to make the required Findings based on the justifications for the Design Review and the Recommended Conditions of Approval (Attachment B). Recommended Findings and General Plan Goals are located in Attachment A.

**ALTERNATIVES**

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1. Approve the Design Review with the conditions in Attachment B.
2. Approve the Design Review with modified conditions.
3. Deny the Design Review and provide direction to staff and the applicant where changes should be made.

**RECOMMENDATION**

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Recommend Alternative 1 to the Planning Commission.

Prepared by:

Shaunn Mendrin  
Project Planner

Reviewed by:

Steve Lynch  
Senior Planner

Attachments:

- A. Recommended Findings
- B. Recommended Conditions of Approval
- C. Site and Architectural Plans
- D. Elevation from initial Submittal

## RECOMMENDED FINDINGS

### Design Review

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The proposed project is desirable in that the project's design and architecture conforms with the policies and principles of the Single Family Home Design Techniques.

<b>Basic Design Principle</b>	<b>Comments</b>
<i>2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns</i>	The proposed changes and additions maintain the existing neighborhood patterns along the streetscape, while enhancing the front entry element. The massing and orientation of the home will remain.
<i>2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.</i>	The proposed additions will result in a minor increase in building height at the existing second floor, well within the allowable height of 30 feet. The increase in height resulted in a change in the proportions on the front façade, which the applicant has addressed through minor changes.
<i>2.2.3 Design homes to respect their immediate neighbors</i>	The proposed addition will be located at the rear of the existing home extending the first and second floors along the same planes. New second floor windows will be required to be opaque and a solar study was completed indicating that the addition complies with solar access requirements.
<i>2.2.4 Minimize the visual impacts of parking.</i>	The existing structure provides the required 2 covered and 2 uncovered parking spaces.
<i>2.2.5 Respect the predominant materials and character of front yard landscaping.</i>	The exterior materials are similar to those found in the neighborhood and applied in a manner consistent with the architecture. The project does not include any changes to the front yard landscaping.
<i>2.2.6 Use high quality materials and craftsmanship</i>	Architectural details added to the design enhancing the overall appearance.
<i>2.2.7 Preserve mature landscaping</i>	There are no changes to the landscaping.

**ATTACHMENT B**

**RECOMMENDED  
CONDITIONS OF APPROVAL AND  
STANDARD DEVELOPMENT REQUIREMENTS  
SEPTEMBER 13, 2010**

Planning Application 2010-7379  
972 Bluebonnet Drive

Design Review for first and second floor additions to the existing home for a total of 3,048 square feet and an FAR of 51%, subject to the conditions below.

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

**THE FOLLOWING GENERAL CONDITIONS SHALL APPLY TO THE APPROVED PROJECT.**

1. CONFORMANCE WITH APPROVED PLANNING APPLICATION – All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]
2. PERMIT EXPIRATION (Ordinance 2895-09): The permit shall be valid for three (3) years from the date of approval by the final review authority (as adopted by City Council on April 21, 2009, RTC 09-094). Extensions of time may be considered, for a maximum of two one year extensions, if applied for and approved prior to the expiration of the permit approval. If the approval is not exercised within this time frame, the permit is null and void. [SDR] (PLANNING)
3. TITLE 25 - Provisions of Title 25 of the California Administrative Code shall be satisfied with dependence on mechanical ventilation. [SDR] [BUILDING]

**THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO SUBMITTAL OF BUILDING PERMIT, AND/OR GRADING PERMIT.**

4. REQUIRED REVISIONS TO PROJECT PLANS - The plans shall be revised to address comments from the Administrative Hearing Officer, Planning Commission or City Council including the following:
- a) The new right side second floor windows shall be opaque.
  - b) The new second floor bay window elements shall be modified so the total width does not exceed 12 feet and cantilevered a minimum of 24" above the finished floor of the second level.

**THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).**

5. CONDITIONS OF APPROVAL – Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]
6. RESPONSE TO CONDITIONS OF APPROVAL – A written response indicating how each condition has or will be addressed shall accompany the building permit set of plans. [COA] [PLANNING]
7. BLUEPRINT FOR A CLEAN BAY – The building permit plans shall include a “Blueprint for a Clean Bay” on one full sized sheet of the plans. [SDR] [PLANNING]
8. BEST MANAGEMENT PRACTICES - The project shall comply with the following source control measures as outlined in the BMP Guidance Manual and SMC 12.60.220. Best management practices shall be identified on the building permit set of plans and shall be subject to review and approval by the Director of Public Works:
- a) Storm drain stenciling. The stencil is available from the City's Environmental Division Public Outreach Program, which may be reached by calling (408) 730-7738.
  - b) Landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices and programs such as Bay-Friendly Landscaping.
  - c) Appropriate covers, drains, and storage precautions for outdoor material storage areas, loading docks, repair/maintenance bays, and fueling areas.
  - d) Covered trash, food waste, and compactor enclosures.

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- e) Plumbing of the following discharges to the sanitary sewer, subject to the local sanitary sewer agency's authority and standards:
- i) Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurants.
  - ii) Dumpster drips from covered trash and food compactor enclosures.
  - iii) Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.
  - iv) Swimming pool water, spa/hot tub, water feature and fountain discharges if discharge to onsite vegetated areas is not a feasible option.
  - v) Fire sprinkler test water, if discharge to onsite vegetated areas is not a feasible option. [SDR] [PLANNING]

**THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.**

9. BLUEPRINT FOR A CLEAN BAY – The project shall be in compliance with stormwater best management practices for general construction activity until the project is completed and either final occupancy has been granted. [SDR] [PLANNING]

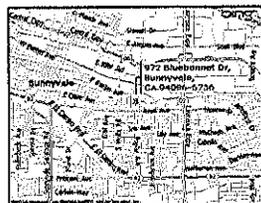
# OWCZAREK RESIDENCE

972 BLUEBONNET DRIVE  
SUNNYVALE, CA

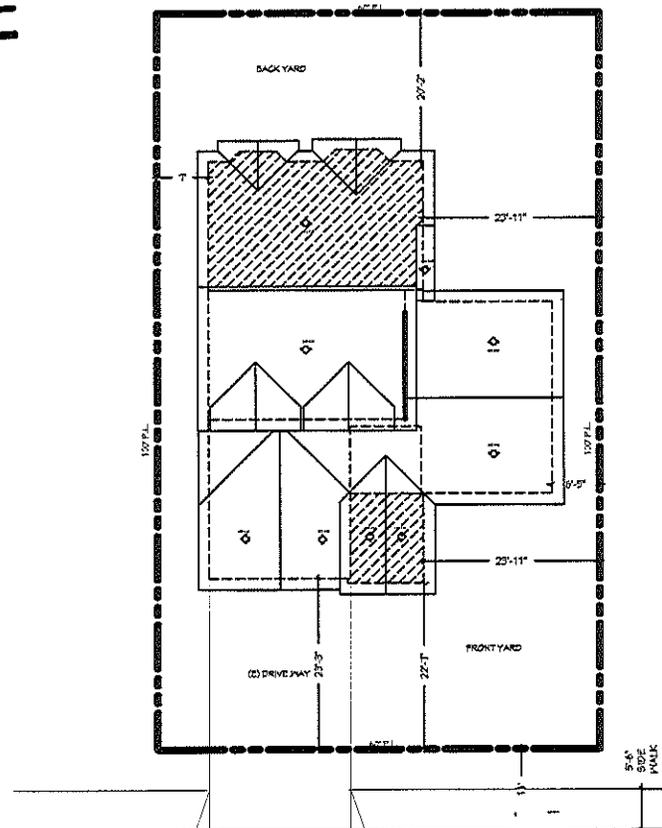
APN# 231-04-025

INDEX OF DRAWINGS	PROJECT INFORMATION
A-1. COVER SHEET PROJECT DATA AND INDEX SITE PLAN	OWNER: JANUSZ, ANNA & CHRISTOPHER OWCZAREK
A-2. (E) FIRST & SECOND FLOOR PLAN W/ DEMO	ADDRESS: 972 BLUEBONNET DR. SUNNYVALE, CA
A-3. ELEVATIONS	APN #: 231-04-025
A-4. ROOF PLAN	LOT AREA: 6,000 SQ. FT.
A-5. PROPOSED FIRST & SECOND FLOOR PLAN	(E) FIRST FLOOR: 1,157 SQ. FT.
A-6. (N) ELEVATIONS	(E) SECOND FLOOR: 449 SQ. FT.
A-7. (N) ROOF PLAN	(E) TOTAL LIVING AREA: 1,609 SQ. FT.
A-8. SOLAR ANALYSIS	(E) GARAGE: 420 SQ. FT.
A-4. GREENPOINT CHECKLIST	(N) FIRST FLOOR: 1,197 + 469 = 1,623 SQ. FT.
	(N) SECOND FLOOR: 449 + 557 = 1,005 SQ. FT.
	(N) TOTAL LIVING AREA: 2,620 SQ. FT.
	(N) PORCH: 373 SQ. FT.
	(N) BUILDING FOOTPRINT: 2,416 SQ. FT.
	(N) LOT COVERAGE: 40.2%
	(N) F.A.R. (0.040 SQ. FT.): 50.8%
	ZONING: R0
	OCCUPANCY GROUP: R-3/UL-1
	CONSTRUCTION TYPE: V-N

### VICINITY MAP



All work shall be in compliance with the City of Sunnyvale Municipal and the 2007 Editions of the California Building Code, 2007 California Mechanical Code, 2007 California Plumbing Code, 2007 California Electrical Code, and the 2006 California Energy Code.



BLUEBONNET DRIVE

**Site Plan**  
SCALE 1/8" = 1'-0"

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**OWCZAREK RESIDENCE**  
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 SUNNYVALE, CA.

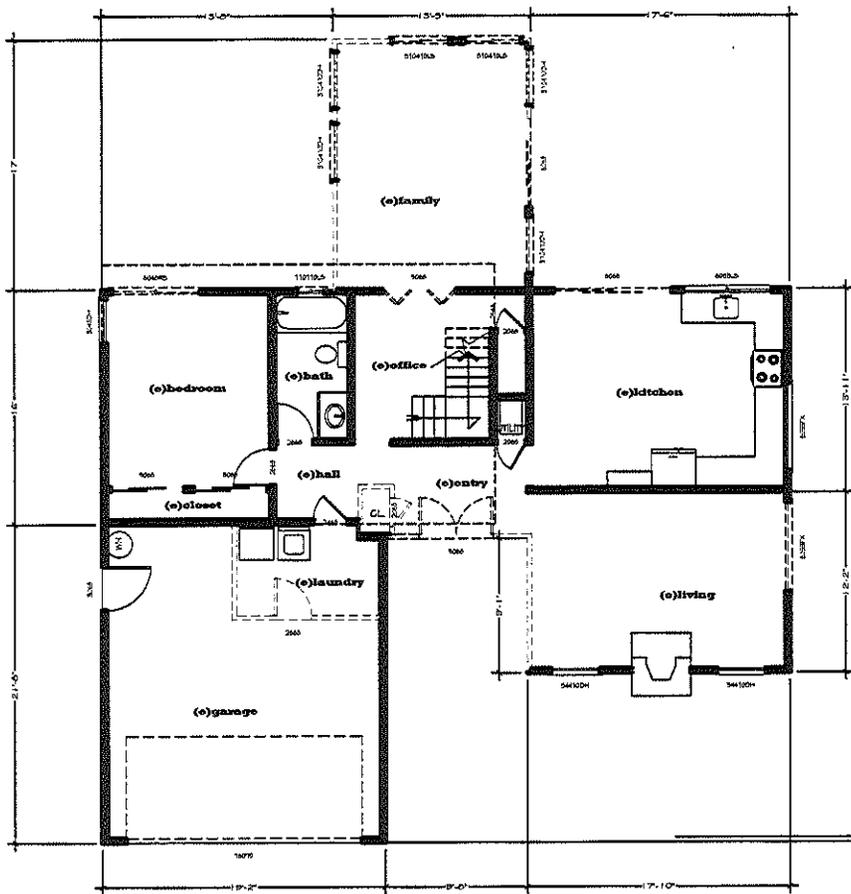
THE USE OF THIS PLAN AND INFORMATION SHALL BE LIMITED TO THE PROJECT AND THE JURISDICTION OF THE CITY OF SUNNYVALE, CALIFORNIA. ANY REUSE OR MODIFICATION OF THIS PLAN OR INFORMATION WITHOUT THE WRITTEN PERMISSION OF ANDREA COSTANZO IS PROHIBITED. ANDREA COSTANZO SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED ON THIS PLAN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

Design by: ANDREA COSTANZO	Drawn by: ANDREA COSTANZO
DATE: 08/15/10	ISSUED FOR: PERMIT

Sheet:  
COVER SHEET  
Scale as shown

A-1  
9 OF 10

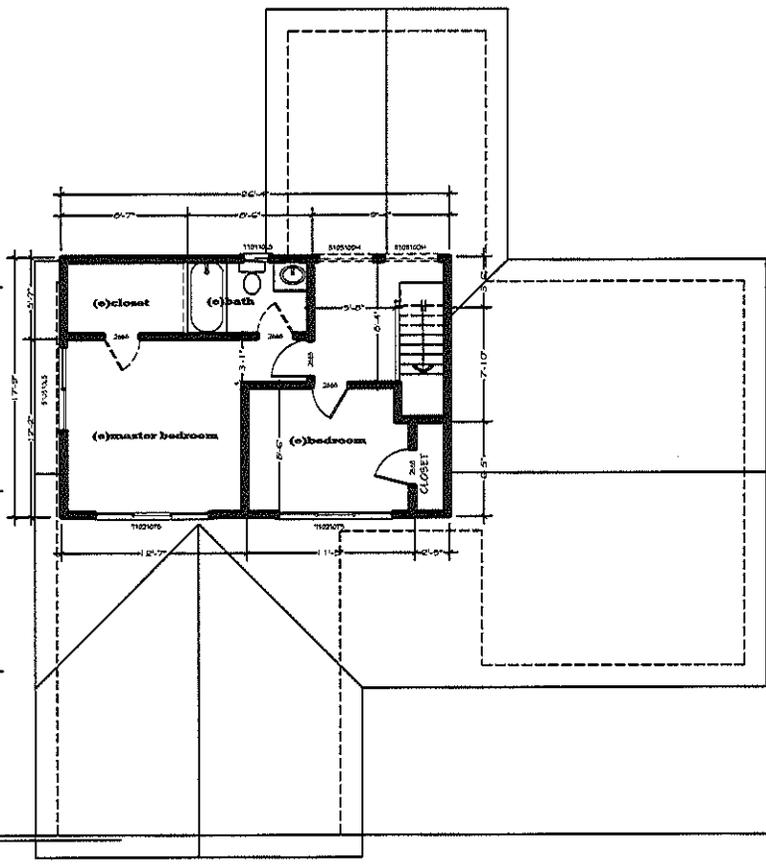
**ATTACHMENT**  
 Page 1 of 9  
 C



**(E) First Floor Plan**  
SCALE 1/4" = 1'-0"

- FLOOR PLANS NOTES**
- NEW WALL
  - WALL TO BE REMOVED
  - EXISTING WALL

INDICATES A 3'-0" X 5'-0" CLEAR WINDOW OPENING  
SIMILARITY FOR DOORS



**(E) Second Floor Plan**  
SCALE 1/4" = 1'-0"

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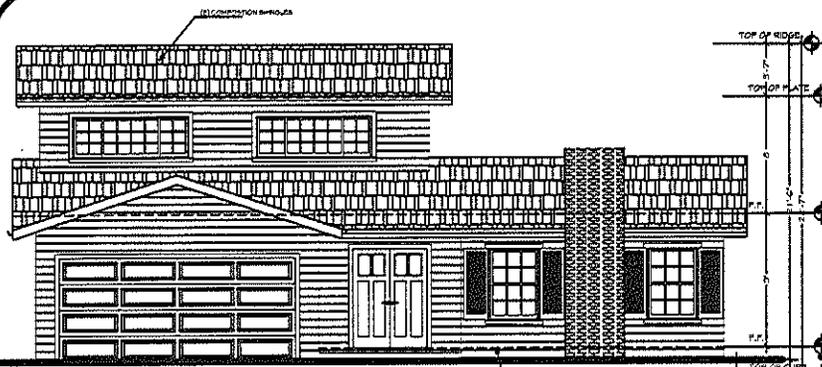
THE USE OF THIS PLAN AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE WHEREAS THEY ARE PREPARED BY AN ARCHITECT OR ENGINEER AS COMPLETED UP TO AND INCLUDING THE DATE OF ISSUANCE OF THIS PERMIT. ANY REVISIONS, ALTERATIONS, OR MODIFICATIONS TO THIS PLAN AND SPECIFICATIONS SHALL BE MADE BY THE ARCHITECT OR ENGINEER AND SHALL BE RECORDED IN THE PUBLIC RECORDS OF THE COUNTY OF ALABAMA. ANY REVISIONS, ALTERATIONS, OR MODIFICATIONS TO THIS PLAN AND SPECIFICATIONS SHALL BE RECORDED IN THE PUBLIC RECORDS OF THE COUNTY OF ALABAMA. ANY REVISIONS, ALTERATIONS, OR MODIFICATIONS TO THIS PLAN AND SPECIFICATIONS SHALL BE RECORDED IN THE PUBLIC RECORDS OF THE COUNTY OF ALABAMA.

Design by ANDREA COSTANZO	Drawn by ANDREA COSTANZO
DATE 06/15/10	ISSUED FOR PERMIT

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FLOOR PLANS  
Scale as shown

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9 OF 13

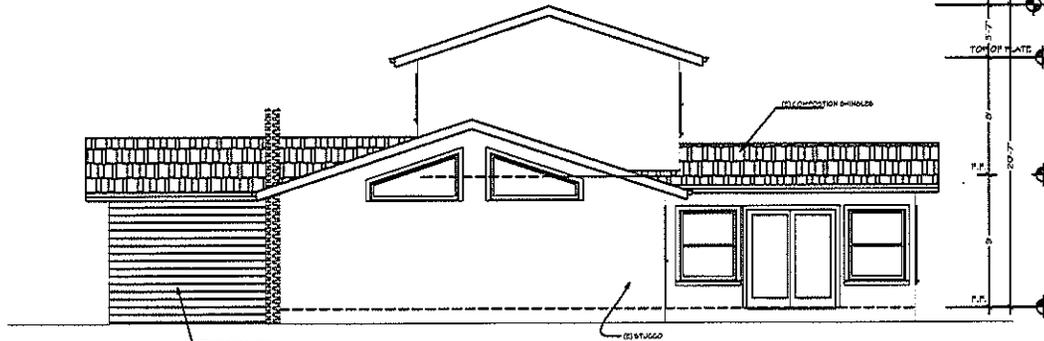
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 Page 2 of 9



**(E) Front Elevation**  
SCALE 1/4" = 1'-0"



**(E) Rear Elevation**  
SCALE 1/4" = 1'-0"



**(E) Right Elevation**  
SCALE 1/4" = 1'-0"



**(E) Left Elevation**  
SCALE 1/4" = 1'-0"

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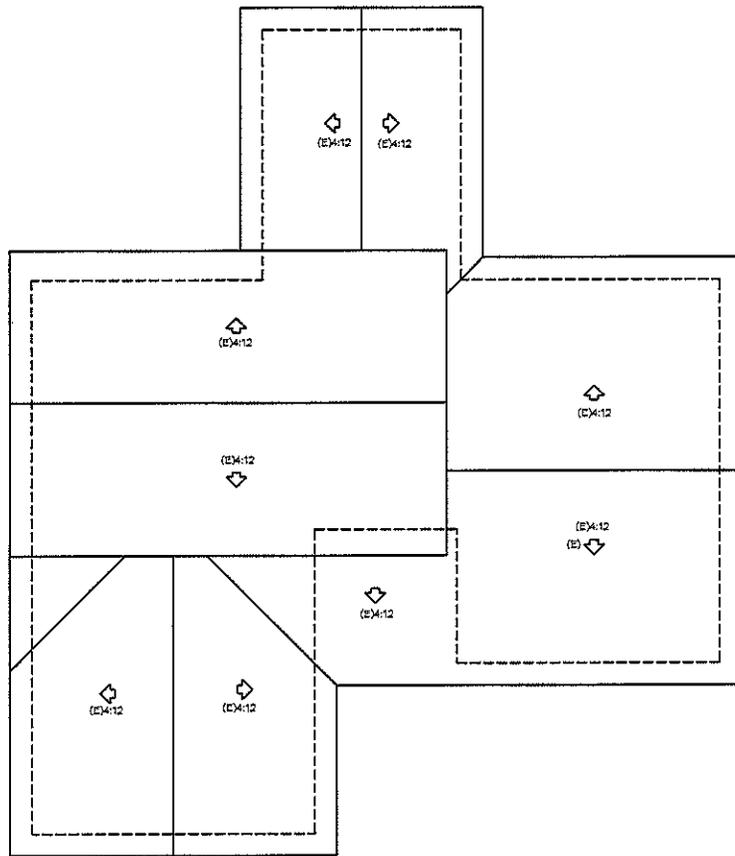
THE USE OF THIS PLAN AND SPECIFICATIONS SHALL BE LIMITED TO THE ORIGINAL 3000 FOOT SQUARE LOT. ANY CHANGES TO THE ORIGINAL PLAN OR SPECIFICATIONS SHALL BE MADE BY THE ARCHITECT. ANY CHANGES TO THE ORIGINAL PLAN OR SPECIFICATIONS SHALL BE MADE BY THE ARCHITECT. ANY CHANGES TO THE ORIGINAL PLAN OR SPECIFICATIONS SHALL BE MADE BY THE ARCHITECT.

Design by ANDREA COSTANZO	Drawn by ANDREA COSTANZO
DATE 08/13/10	ISSUED FOR PERMIT

Sheet  
EXTERIOR ELEVATIONS  
SCALE AS SHOWN

A-3  
9 OF 13

ATTACHMENT C  
 Page 3 of 9



**(E)Roof Plan**  
SCALE 1/4" = 1'-0"

ATTACHMENT 2  
 Page 4 of 9

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THE SET OF THIS PLAN AND SPECIFICATIONS SHALL BE REFERENCED TO THE ORIGINAL SET OF DRAWINGS FOR THE PROJECT. ANY CHANGES TO THE ORIGINAL SET OF DRAWINGS SHALL BE MADE BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS PLAN AND SPECIFICATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS PLAN AND SPECIFICATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS PLAN AND SPECIFICATIONS.

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DATE	FOR

Sheet  
**ROOF PLAN**  
Scale as shown

A-4  
9 OF 13

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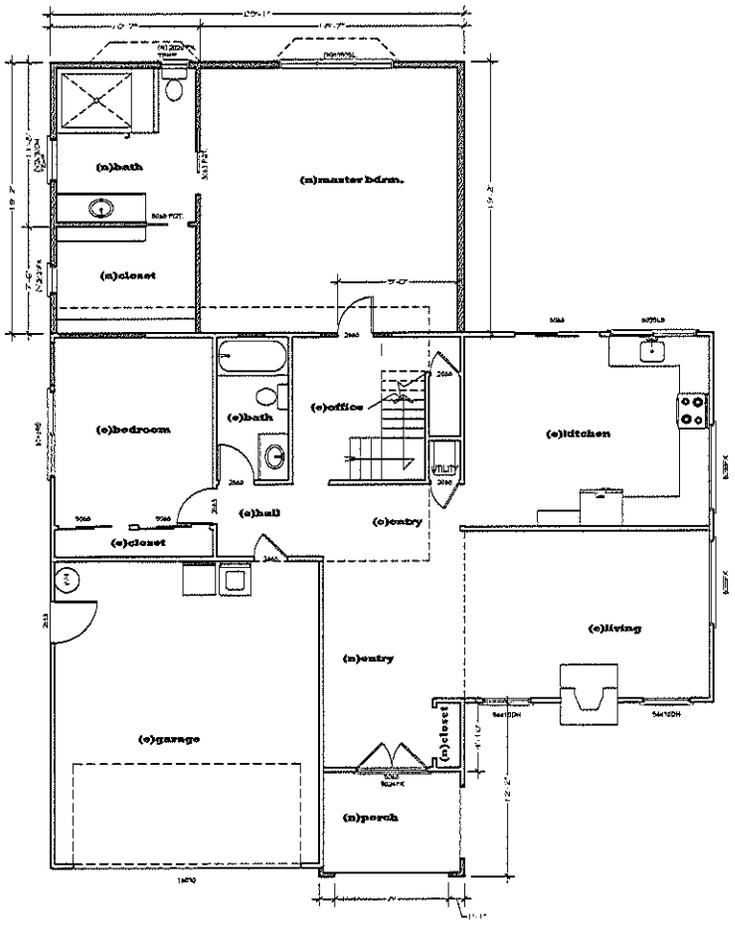
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Sheet:  
 FLOOR PLANS  
 Scale as shown

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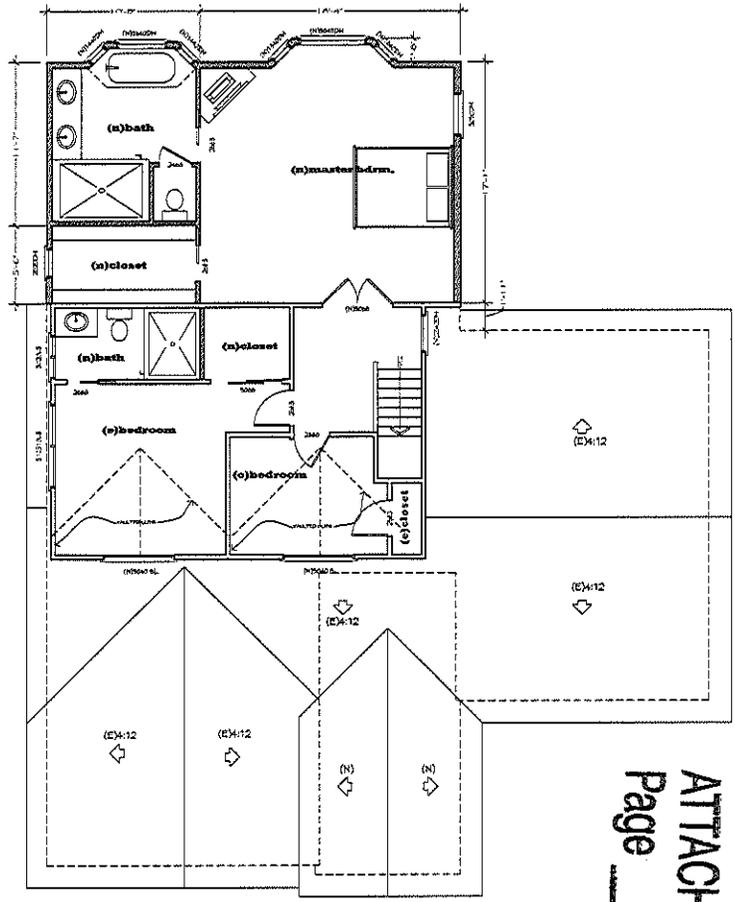
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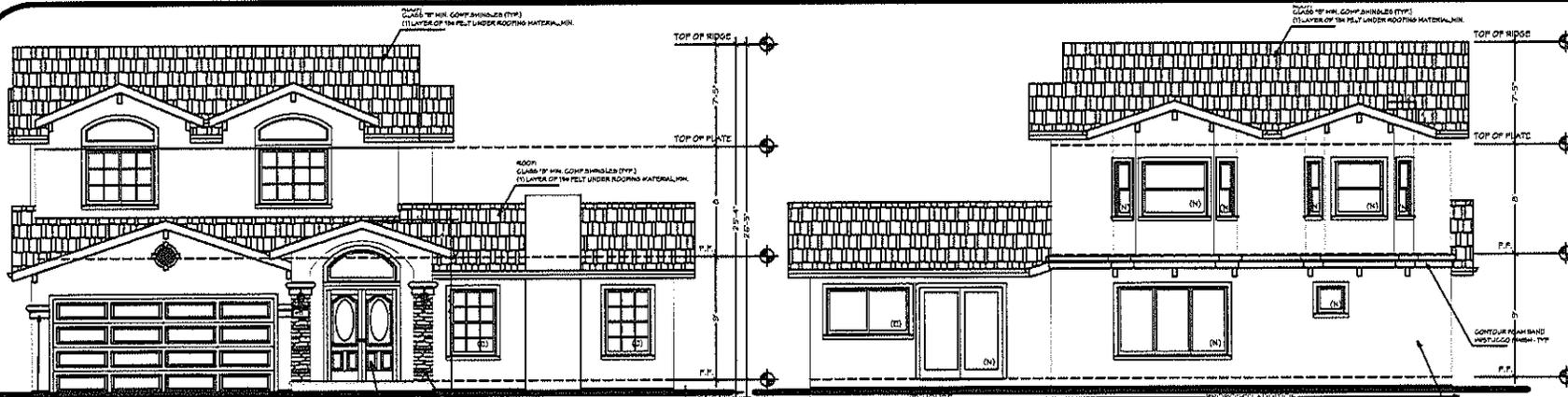
**(N) First Floor Plan**  
 SCALE 1/4" = 1'-0"

FLOOR PLANS NOTES  
 ——— NEW WALL  
 - - - - WALL TO BE REMOVED  
 = = = = EXISTING WALL

INDICATED A 5'-0" X 3'-0" CLEAR WINDOW OPENING SIMILARITY FOR DOORS

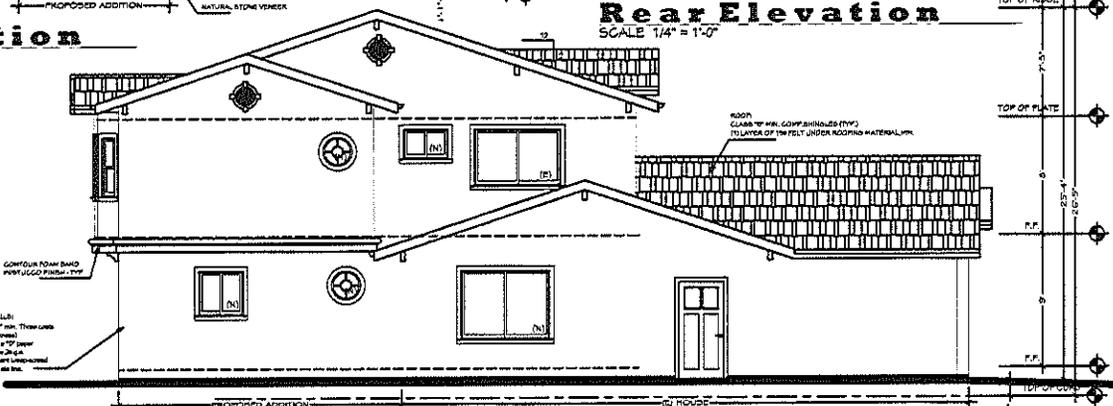


**(N) Second Floor Plan**  
 SCALE 1/4" = 1'-0"

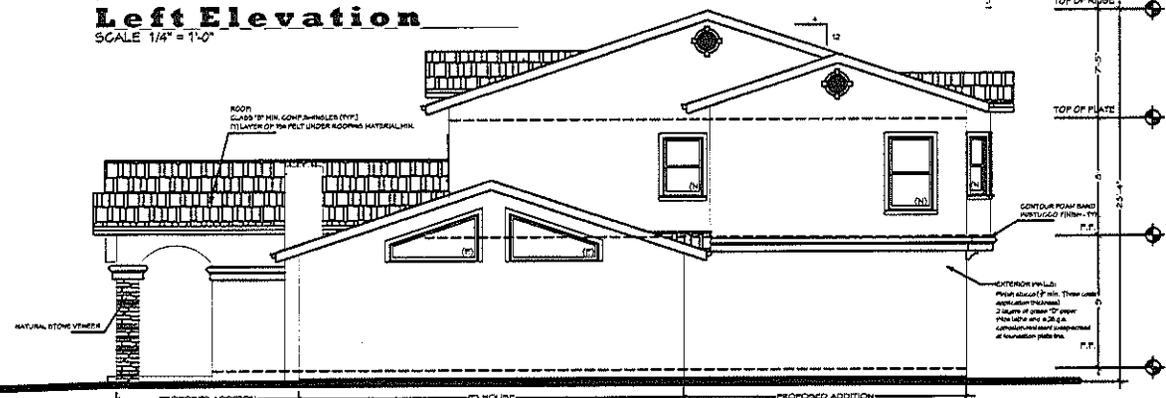


**Front Elevation**  
SCALE 1/4" = 1'-0"

**Rear Elevation**  
SCALE 1/4" = 1'-0"



**Left Elevation**  
SCALE 1/4" = 1'-0"



**Right Elevation**  
SCALE 1/4" = 1'-0"

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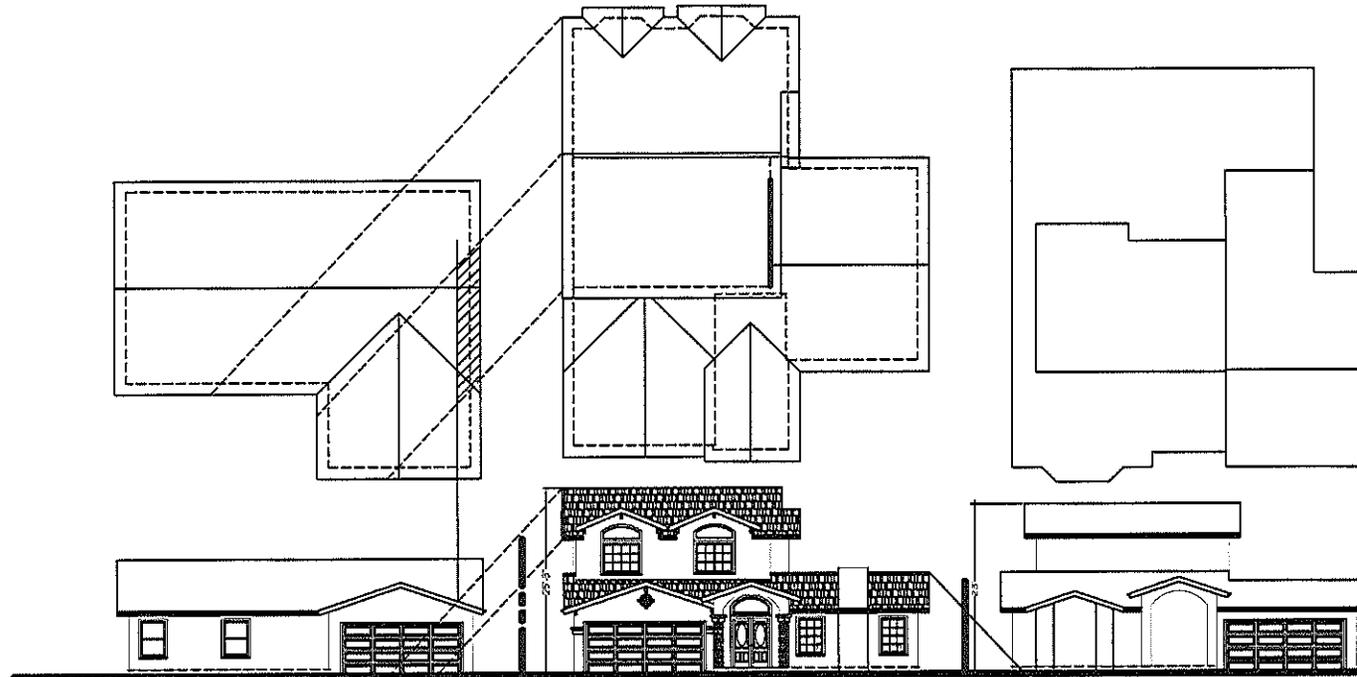
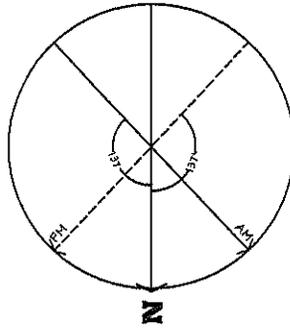
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**Solar Analysis**  
SCALE 1/8" = 1'-0"

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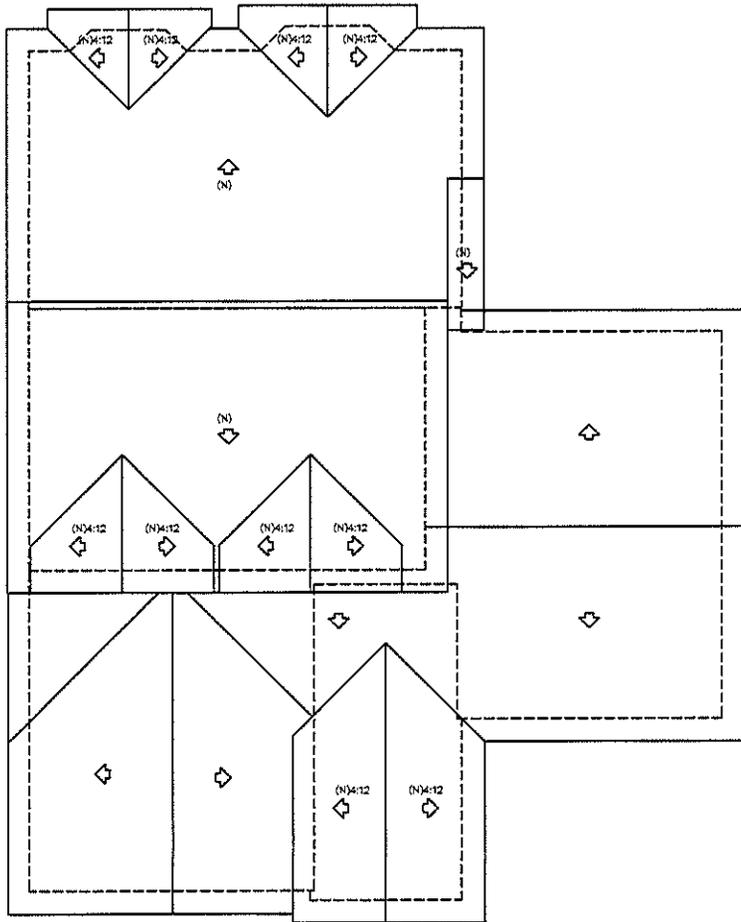
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**Streetscape Elevations**

SCALE 1/8" = 1'-0"



**(N)Roof Plan**

SCALE 1/4" = 1'-0"

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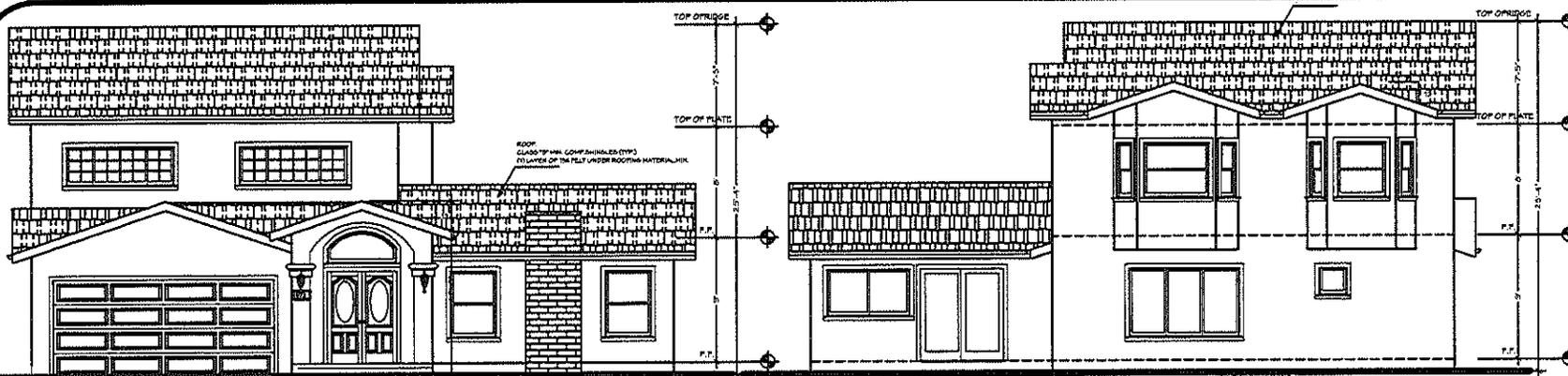
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**ROOF PLAN**  
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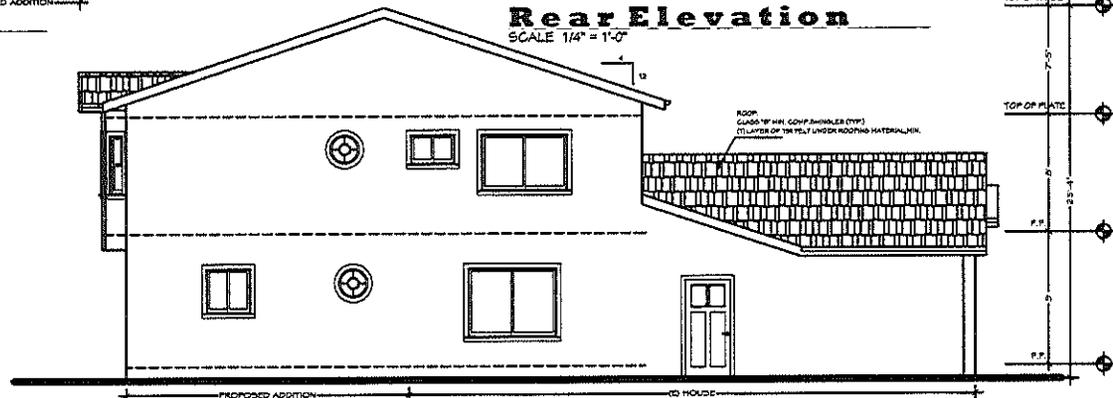
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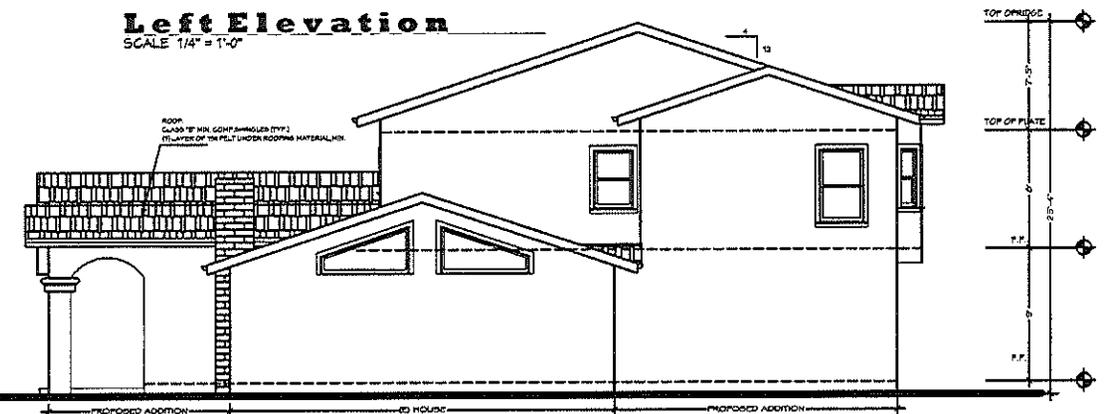


**Front Elevation**  
SCALE 1/4" = 1'-0"

**Rear Elevation**  
SCALE 1/4" = 1'-0"



**Left Elevation**  
SCALE 1/4" = 1'-0"



**Right Elevation**  
SCALE 1/4" = 1'-0"

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