



REPORT TO PLANNING COMMISSION

Hearing Date: June 10, 2013

File #: 2013-7020
Location: 702 Santa Rita Street in R-0 Zoning District (APN: 205-11-001)
Proposed Project: Design Review Permit to allow a new two-story single-family home resulting in 3,266 square feet and 50.9% Floor Area Ratio (FAR).
Applicant/Owner **Romex Construction/Maria Ryan**
Staff Contact: Elise Lieberman, 408-730-7443, elieberman@sunnyvale.ca.gov

REPORT IN BRIEF:

Existing Site Conditions Single-family residence

Surrounding Land Uses

North	Single-family residence
South	Single-family residence
East	Single-family residence
West	Single-family residence

Issues Floor Area Ratio, neighborhood compatibility

Environmental Status A Class 3 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines.

Staff Recommendation Deny the Design Review.

PROJECT DESCRIPTION:

The applicant proposed to demolish the site's existing single-story home and construct a new two-story home resulting in a total of 3,266.34 square feet and 50.9% FAR. A Design Review is required for construction of a new single-family home to evaluate compliance with development standards and with the Single Family Home Design Techniques. Planning Commission review is required for Design Review applications exceeding 45% FAR or 3,600 square feet.

DISCUSSION:

Architecture & Site Design

The existing home has simple ranch-style architecture with gable roofs and composition shingle roofing with stucco and wood siding on the exterior. The majority of homes in the immediate neighborhood are consistent in style and materials. The proposed home would be completed in a similar ranch-style with gable roofs and wood siding on all four elevations. Brick would be used as an accent for the bottom of the front elevation which would be wrapped around both side elevations for a short distance and then used to cover the chimney. This will help create a focal point for the house as the right side is the reducible front yard and is located on Colusa Avenue (Attachment E – Site and Architectural Plans).

The proposed home would be located near the center of the property meeting all setback requirements. A two-car garage would take access from the existing driveway at the left side of the property's frontage. There are two 5 foot public utility easements along the left property line and rear property line. The applicant has taken into consideration these easements and has not proposed any construction to take place in these areas.

Privacy

The project does not include any second-floor balcony elements, limiting visual intrusions on adjacent properties. One small second-story bathroom window is proposed on the left elevation. Based on its location and size, this window is not expected to have privacy impacts on adjacent neighbors.

Solar Access

SMC 19.56.020 states that no permit may be issued for any construction which would interfere with solar access by shading more than 10% of the roof of any structure on a nearby property. The project plans demonstrate shading would not exceed the maximum level permitted thereby complying with current solar access standards since all the shading occurs on Colusa Avenue.

Floor Area Ratio

The surrounding neighborhood is composed of mainly single-story homes with FARs generally less than 30% (Attachment F – Neighborhood Floor Area Ratio Table). The original proposal submitted to staff requested a 56% FAR which is substantially larger than other homes in the neighborhood. The applicant worked with staff to revise the plans to the now proposed 50.9% FAR. While this is a reduction compared with the original proposal, it is still substantially higher than other existing FARs in this single-story neighborhood.

Second Floor Area

Design Technique 3.4.A states: *“The area of the second floor should not exceed the common standard of the neighborhood. For new second stories in predominantly one-story neighborhoods, the second floor area should not exceed 35% of the first floor area (including garage area).”* The Design Techniques note that for the purposes of assessing neighborhood character and scale, the “neighborhood” is defined as both block faces within the same and immediately adjacent blocks.

The neighborhood for this site is composed of single-story homes with the exception of one two-story home built prior to the Design Techniques Guidelines. The proposed project includes a smaller second floor area of 1,100 square feet, which is approximately 50% of the 2,165 square-foot first floor area. As a result, staff finds the project is not in compliance with the Design Techniques related to second floor area. Although Design Techniques for reducing second-story bulk have been included in the project design, the bulk of the resulting second-story would still be out of character with the surrounding single-story neighborhood.

Environmental Review

A Class 3 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines in that the project is a new single family home in an existing residential neighborhood.

FISCAL IMPACT

No fiscal impacts other than normal fees and taxes are expected.

PUBLIC CONTACT

Notice of Negative Declaration and Public Hearing	Staff Report	Agenda
<ul style="list-style-type: none"> • Published in the <i>Sun</i> newspaper • Posted on the site • 63 notices mailed to the property owners and residents within 200 ft. of the project site 	<ul style="list-style-type: none"> • Posted on the City of Sunnyvale's Website • Provided at the Reference Section of the City of Sunnyvale's Public Library 	<ul style="list-style-type: none"> • Posted on the City's official notice bulletin board • City of Sunnyvale's Website

CONCLUSION

Findings and General Plan Goals: Staff is recommending denial of the Design Review because the Findings (Attachment C) were not made. If the Planning Commission is able to make the required Findings, staff recommends the Conditions of Approval in Attachment D. Note these conditions include project modifications to reduce the proportion of second floor area to first floor area to 35% of the first floor.

Conditions of Approval: Recommended Conditions of Approval are located in Attachment D.

ALTERNATIVES

1. Deny the Design Review.
2. Approve the Design Review with modified Findings and with the conditions in Attachment D.
3. Approve the Design Review with modified Findings and modified conditions.

RECOMMENDATION

Alternative 1: Deny the Design Review. The proposed new home has a second floor which does not meet the intent of the Design Techniques.

Prepared by:



Elise Lieberman
Project Planner

Reviewed by:



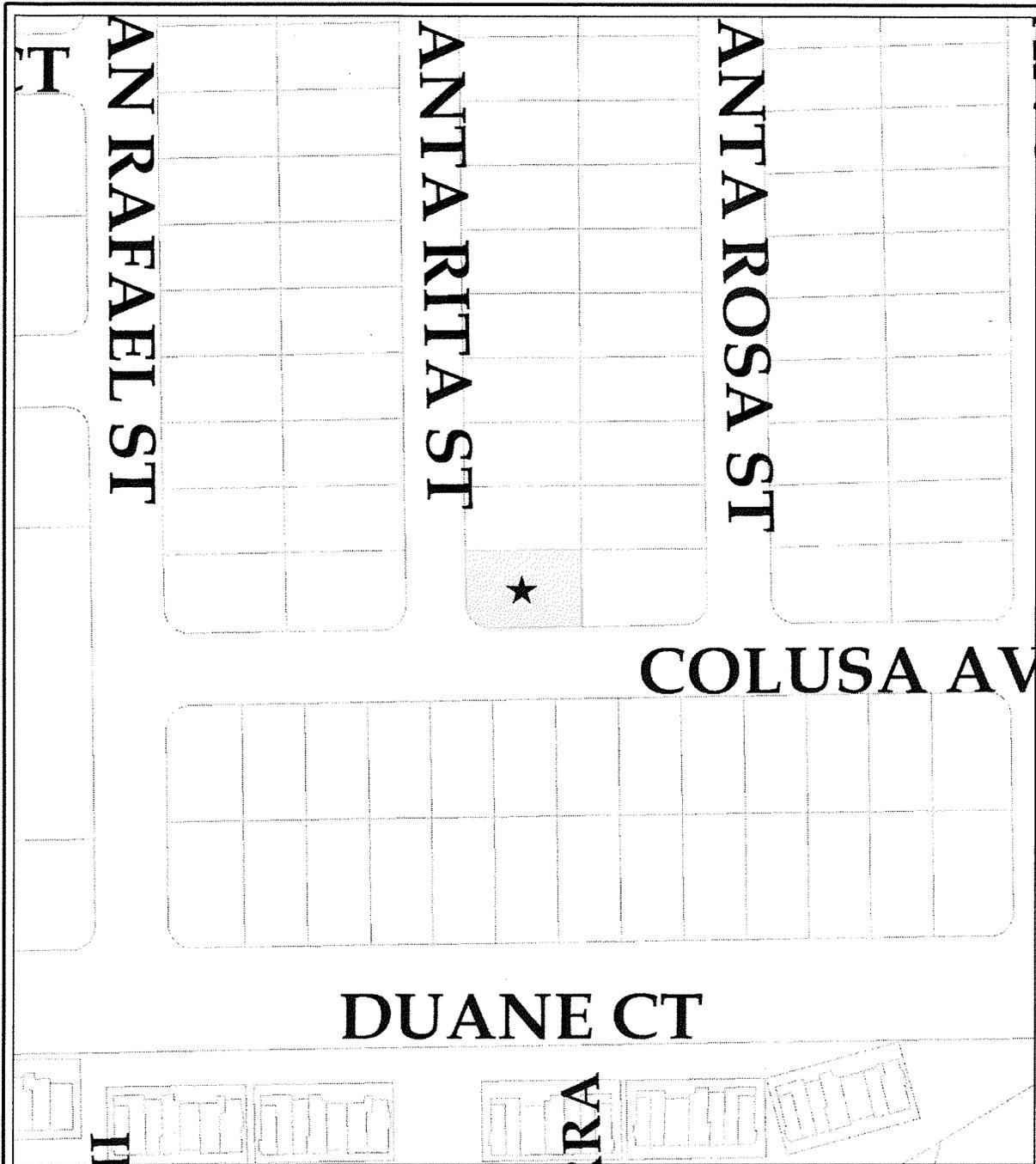
Shaunn Mendrin
Senior Planner

Attachments:

- A. Vicinity Map
- B. Project Data Table
- C. Recommended Findings
- D. Recommended Conditions of Approval
- E. Site and Architectural Plans
- F. Neighborhood Floor Area Ratio Table

Attachment A

VICINITY MAP



2012-7020
702 Santa Rita St. (APN: 205-11-001)
Design Review

0 25 50 100 Feet



Attachment B

PROJECT DATA TABLE

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
General Plan	Residential Low-Density	Same	Residential Low-Density
Zoning District	R-0	Same	R-0
Lot Size (s.f.)	6,414	Same	6,000 min.
Gross Floor Area (s.f.)	1,470	3,266.34	3,600 max. without PC review
Floor Area Ratio (FAR)	23%	50.9%	45% max. without PC review
Lot Coverage	23%	36%	40% max. for two-story
Building Height (ft.)	13'-6"	22'-5"	30' max.
No. of Stories	1	2	2 max.
Setbacks (First/Second Facing Property)			
Front	24'-9"	25' / 35'-5"	20' / 25' min.
Left Side	6'-2"	6' / 12'	4' / 7' min.
Reducible Front Yard	17'-3"	10'-6" / 10'6"	9' / 9' per side
Combined Setbacks	23'-5"	16'-6" / 22'-6"	10' / 16'
Rear	25'-2"	23' / 30'-8"	20' min.
Parking			
Covered Spaces	1	2	2 min.
Uncovered Spaces	2	2	2 min.
Shading of Adjacent Roofs (AM/PM)	None/None	6.3% / 2.9%	Maximum 10% during specified AM/PM hours

★ Starred items indicate deviations from Sunnyvale Municipal Code requirements.

Attachment C

RECOMMENDED FINDINGS

Design Review

The proposed project is desirable in that the project's design and architecture conforms with the policies and principles of the Single Family Home Design Techniques.

Basic Design Principle	Comments
<i>2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns</i>	The proposed home's entry would face the street and be kept beneath the first-floor eaves similar to the pattern in the existing neighborhood.
<i>2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.</i>	The proposed home at 50.9% FAR is larger than homes in the surrounding neighborhood. In addition, the second floor area of the home is proposed at approximately 50% of the first floor area, in conflict with Design Technique 3.4.A which calls for a second/first ratio of no more than 35%. As a result, staff finds the proposed home would appear out of scale and out of character with the adjacent neighborhood.
<i>2.2.3 Design homes to respect their immediate neighbors</i>	The proposed design respects the privacy of adjacent neighbors by including significant second floor setbacks, minimizing second floor windows, and avoiding second floor balconies and decks. However, the design does not respect adjacent neighbors in its scale which is out of character with surrounding homes.
<i>2.2.4 Minimize the visual impacts of parking.</i>	The proposed home would have a two-car garage located along the left side of the front façade. This is a typical pattern in the neighborhood.
<i>2.2.5 Respect the predominant materials and character of front yard landscaping.</i>	The proposed project does not include any modifications to landscaping. Existing landscaping is compatible with the neighborhood and would be retained.
<i>2.2.6 Use high quality materials and craftsmanship</i>	The proposed design includes high quality siding, brick accent materials and 50 year composition roofing.

	These materials are consistent with the Design Techniques and the surrounding neighborhood.
<i>2.2.7 Preserve mature landscaping</i>	The proposed project does not include any modifications to landscaping. Existing landscaping is compatible with the neighborhood and would be retained.

Attachment D

**RECOMMENDED
CONDITIONS OF APPROVAL AND
STANDARD DEVELOPMENT REQUIREMENTS
JUNE 10, 2013**

Planning Application 2013-7020

702 Santa Rita Street

Design Review to allow a new two-story single-family home resulting in
3,266.34 square feet and 51% Floor Area Ratio (FAR).

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

GC: THE FOLLOWING GENERAL CONDITIONS AND STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE APPROVED PROJECT.

- GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:
All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]
- GC-2. PERMIT EXPIRATION:
The permit shall be null and void two years from the date of approval by the final review authority at a public hearing if the approval is not

exercised, unless a written request for an extension is received prior to expiration date and is approved by the Director of Community Development. [SDR] [PLANNING]

GC-3. TITLE 25:

Provisions of Title 25 of the California Administrative Code shall be satisfied with dependence on mechanical ventilation. [SDR] [BUILDING]

PS: THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO SUBMITTAL OF BUILDING PERMIT, AND/OR GRADING PERMIT.

PS-1. REQUIRED REVISIONS TO PROJECT PLANS:

The plans shall be revised to address the following:

- a) Reduce second floor area to no more than 35% of the first floor area. The modified design shall be generally consistent in style, character, and detail with the current project plans.
- b) Final design is subject to review and approval by the Director of Community Development prior to submittal of a building permit. [COA] [PLANNING]

PS-2. EXTERIOR MATERIALS REVIEW:

Final exterior building materials and color schemes shall be consistent with the plans submitted for Design Review. [COA] [PLANNING]

BP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).

BP-1. CONDITIONS OF APPROVAL:

Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]

BP-2. RESPONSE TO CONDITIONS OF APPROVAL:

A written response indicating how each condition has or will be addressed shall accompany the building permit set of plans. [COA] [PLANNING]

BP-3. BLUEPRINT FOR A CLEAN BAY:

The building permit plans shall include a "Blueprint for a Clean Bay" on one full sized sheet of the plans. [SDR] [PLANNING]

BP-4. LANDSCAPE PLAN:

If the project is modified to include new landscaping, separate review of landscape and irrigation plans is required. Landscape and irrigation plans shall be prepared by a certified professional, and shall comply with Sunnyvale Municipal Code Chapter 19.37 requirements. Landscape and irrigation plans are subject to review and approval by the Director of Community Development through the submittal of a Miscellaneous Plan Permit (MPP). [COA] [PLANNING]

BP-5. TREE PROTECTION PLAN:

Prior to issuance of a Demolition Permit, a Grading Permit or a Building Permit, whichever occurs first, obtain approval of a tree protection plan from the Director of Community Development. Two copies are required to be submitted for review. The tree protection plan shall include measures noted in Title 19 of the Sunnyvale Municipal Code and at a minimum:

- a) All existing (non-orchard) trees on the plans, showing size and varieties, and clearly specify which are to be retained.
- b) Provide fencing around the drip line of the trees that are to be saved and ensure that no construction debris or equipment is stored within the fenced area during the course of demolition and construction. [COA] [PLANNING/CITY ARBORIST]

BP-6. BEST MANAGEMENT PRACTICES:

The project shall comply with the following source control measures as outlined in the BMP Guidance Manual and SMC 12.60.220. Best management practices shall be identified on the building permit set of plans and shall be subject to review and approval by the Director of Public Works:

- a) Storm drain stenciling. The stencil is available from the City's Environmental Division Public Outreach Program, which may be reached by calling (408) 730-7738.
- b) Landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices and programs such as Bay-Friendly Landscaping.
- c) Appropriate covers, drains, and storage precautions for outdoor material storage areas, loading docks, repair/maintenance bays, and fueling areas.

- d) Covered trash, food waste, and compactor enclosures.
- e) Plumbing of the following discharges to the sanitary sewer, subject to the local sanitary sewer agency's authority and standards:
 - i) Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurants.
 - ii) Dumpster drips from covered trash and food compactor enclosures.
 - iii) Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.
 - iv) Swimming pool water, spa/hot tub, water feature and fountain discharges if discharge to onsite vegetated areas is not a feasible option.
 - v) Fire sprinkler test water, if discharge to onsite vegetated areas is not a feasible option. [SDR] [PLANNING]

Attachment E

NEIGHBORHOOD FLOOR AREA RATIO TABLE

Street Address	Land Area	Building Sq.Ft. (County)	Garage Sq.Ft. (County)	FAR %
701 Santa Rita St	6,414	1,312	440	35%
702 Santa Rita St	6,414	3,266.34	467	50.9%
705 Santa Rita St	5,500	1,512	440	35%
706 Santa Rita St	5,350	1,514	440	37%
709 Santa Rita St	5,500	1,116	440	28%
710 Santa Rita St	5,350	1,116	440	29%
713 Santa Rita St	5,500	1,696	440	39%
714 Santa Rita St	5,350	1,440	440	35%
717 Santa Rita St	5,500	1,107	440	28%
718 Santa Rita St	5,350	1,146	440	30%
721 Santa Rita St	5,500	1,496	440	35%
722 Santa Rita St	5,350	1,380	440	34%
725 Santa Rita St	5,500	1,601	440	37%
726 Santa Rita St	5,350	1,420	440	35%
729 Santa Rita St	5,500	1,116	440	28%
730 Santa Rita St	5,350	1,980	440	46%
733 Santa Rita St	5,500	1,540	440	36%
734 Santa Rita St	5,350	1,116	440	29%
737 Santa Rita St	5,500	1,420	440	34%
738 Santa Rita St	5,350	1,527	440	37%
741 Santa Rita St	5,500	1,116	440	28%
742 Santa Rita St	5,350	1,328	0	25%
745 Santa Rita St	6,644	1,200	480	24%
746 Santa Rita St	7,324	1,416	0	20%
701 Santa Rosa St	6,414	1,344	320	26%
705 Santa Rosa St	5,350	1,424	320	33%
709 Santa Rosa St	5,350	1,056	320	26%
713 Santa Rosa St	5,350	1,092	320	27%
717 Santa Rosa St	5,350	1,092	320	27%
721 Santa Rosa St	5,350	1,056	320	26%
725 Santa Rosa St	5,350	1,212	320	29%
729 Santa Rosa St	5,350	1,092	320	27%
733 Santa Rosa St	5,350	1,008	320	25%
737 Santa Rosa St	5,350	1,092	320	27%
741 Santa Rosa St	5,350	1,476	320	34%
745 Santa Rosa St	6,674	1,056	320	21%