

APR 11 10 251 041

REQUIREMENTS AND TABLES

1. Total area on edge of site (sq ft)	1.79 ± ac	3. Total number of off-street parking	110 ± stalls
- off-street (sq ft)	0.09 ± ac	- Public (sq ft)	288 ± 2 stalls
- on-site (sq ft)	1.71 ± ac	- Private (sq ft)	368 ± 2.4 stalls
2. Total number of service units	47 units	- Total	110 ± stalls
3. Total parking requirements		51.75 stalls for 3 MC (40 stalls minimum)	
- Public	0.09 ± ac	- Proposed	104 stalls
- Private (off-street)	0.34 ± ac	- Garage	49 stalls
- Off-street	0.27 ± ac	- On-site	52 stalls
4. Total coverage (footprint) of lot area		- Off-street	102 stalls ± 8 stalls
- Coverage	20.0%	6. Ent. coverage (sq ft) (max 1.71 ac)	27.0 acres
- Private Drive/Parking	31.0%		
- Off-street	27.0%		

FAIR OAKS TRANSIT VILLAGE

CONCEPTUAL SITE PLAN

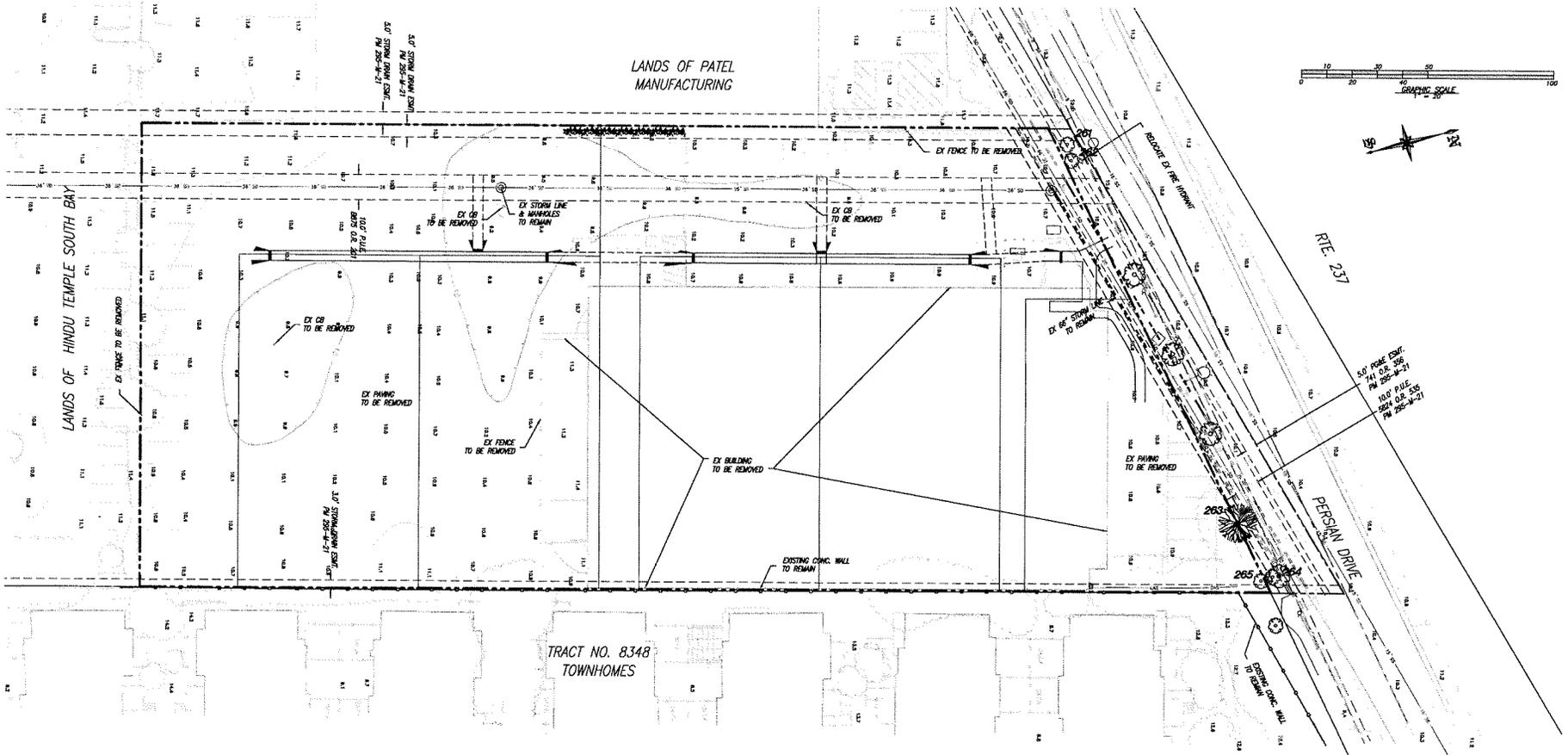
Padus Group, Inc.
2201 Broadway, Suite 604
Oakland, CA 94612
Telephone: (510) 251-9276

470 PERSIAN DRIVE
SUNNYVALE, CALIFORNIA

Revisions:

Charles W. Davidson Co.
A CALIFORNIA CORPORATION
CONSULTING CIVIL ENGINEERS
219 W. ALBANY ST. #210 SAN ANGELO, TX 76901-2405
TEL: (409) 295-5182 FAX: (409) 943-1511

Date: 3-29-13 Job No: 1870
Scale: 1" = 20' Drawn By: M.H.P.
Sheet No: **C21**
of 17 Sheets



- NOTES
1. ALL EXISTING ONSITE BUILDINGS WILL BE REMOVED UNLESS OTHERWISE NOTED.
 2. ALL EXISTING ONSITE PAVING AND CONCRETE WILL BE REMOVED UNLESS OTHERWISE NOTED.
 3. ALL EXISTING ONSITE WALLS AND FENCES WILL BE REMOVED UNLESS OTHERWISE NOTED.
 4. ALL EXISTING ONSITE TREES WILL BE REMOVED UNLESS OTHERWISE NOTED.
 5. ALL EXISTING ONSITE UTILITIES AND/OR THEIR APPURTENANCES NOT SERVING THE PROJECT AND/OR HAVING CONFLICTS WITH THE PROJECT, SHALL BE CAPED, ABANDONED, REMOVED, RELOCATED AND/OR EXPRESSED TO THE SATISFACTION OF THE CITY OF SUNNYVALE UNLESS OTHERWISE NOTED.
 6. ALL EXISTING ONSITE SIGNS WILL BE REMOVED OR ABANDONED PER CITY OF SUNNYVALE STANDARDS UNLESS OTHERWISE NOTED.
 7. OVERHEAD UTILITIES ON THE JUNKY POLES ALONG THE PROPERTY FRONTAGE TO BE UNDERGROUND.
 8. REMOVE BELOW GROUND FIRE DOUBLECHECK DETECTOR ASSEMBLY AND INSTALL ANY REQUIRED FIRE DOUBLECHECK DETECTOR ASSEMBLY PER DETAIL 21B.

Tree Survey Table

Tree #	Common Name	Save/Remove	Diameter (Inches)	Ordinance Sect.	Health
261	Prickly Leaf Plant	Remove	5	No	Moderate
262	Prickly Leaf Plant	Remove	8	No	Moderate
263	Blue Atlas Cedar	Save	16	No	Moderate
264	Prickly Leaf Plant	Remove	10	No	Moderate
265	Prickly Leaf Plant	Remove	7	No	Poor

FAIR OAKS TRANSIT VILLAGE

EXISTING SITE CONDITIONS/DEMO PLAN

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470 PERSIAN DRIVE
SUNNYVALE, CALIFORNIA

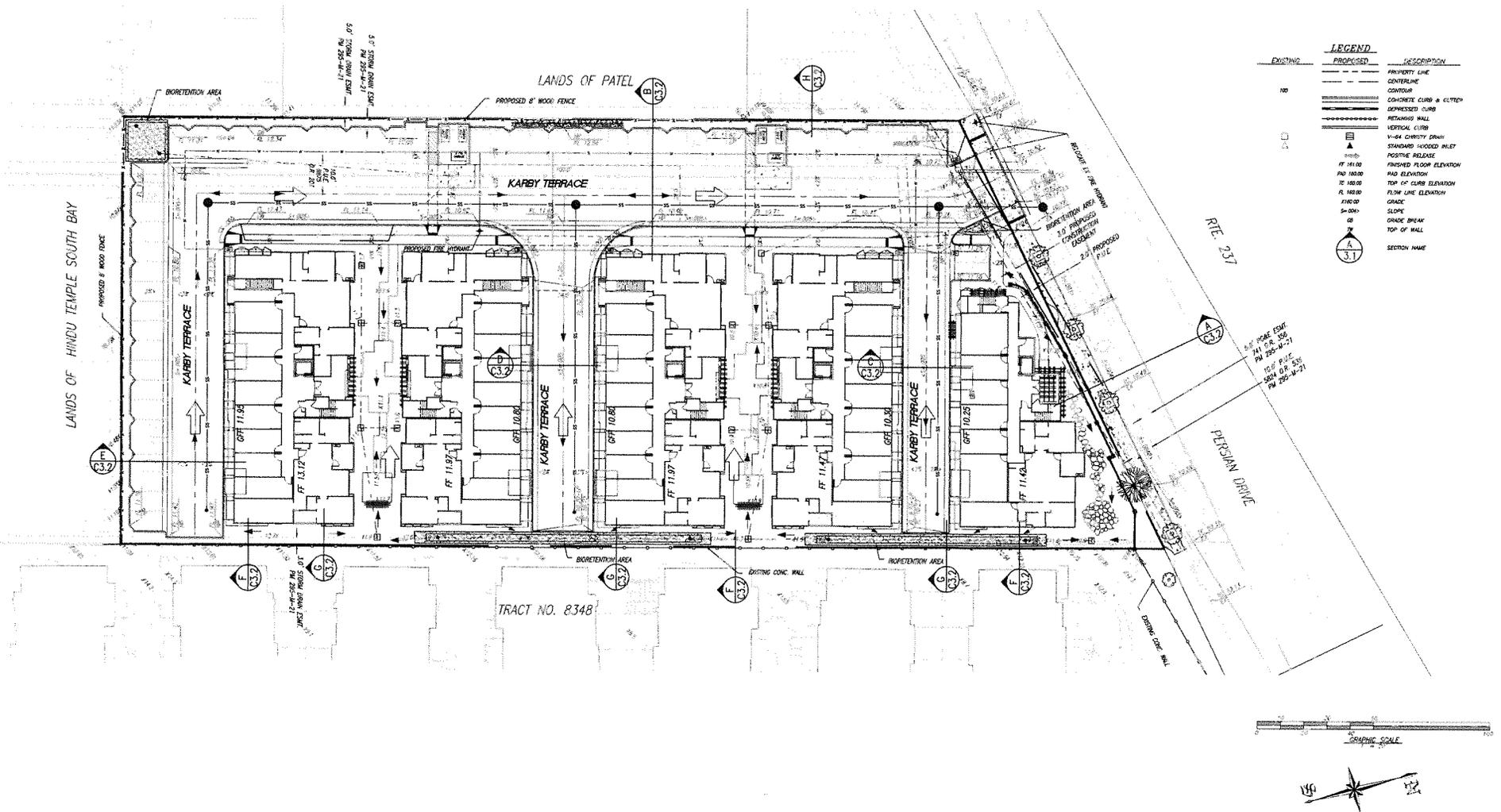
Revisions:

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255 W. ALAM ST., #200 SAN JOSE, CA 95110-2406
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Date: 3-29-13 Job No.: 1870
Scale: 1" = 20' Drawn By: M.J.L.F.

Sheet No: **C23**
of _____ Sheets



LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	CENTRLINE
---	---	CONTOUR
---	---	CONCRETE CURB & CUTTER
---	---	EXPANDED CURB
---	---	RETAINING WALL
---	---	VERTICAL CURB
---	---	4-8\"/>



FAIR OAKS TRANSIT VILLAGE

CONCEPTUAL GRADING AND DRAINAGE PLAN

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Telephone: (510) 251-9276

470 PERSIAN DRIVE
SUNNYVALE, CALIFORNIA

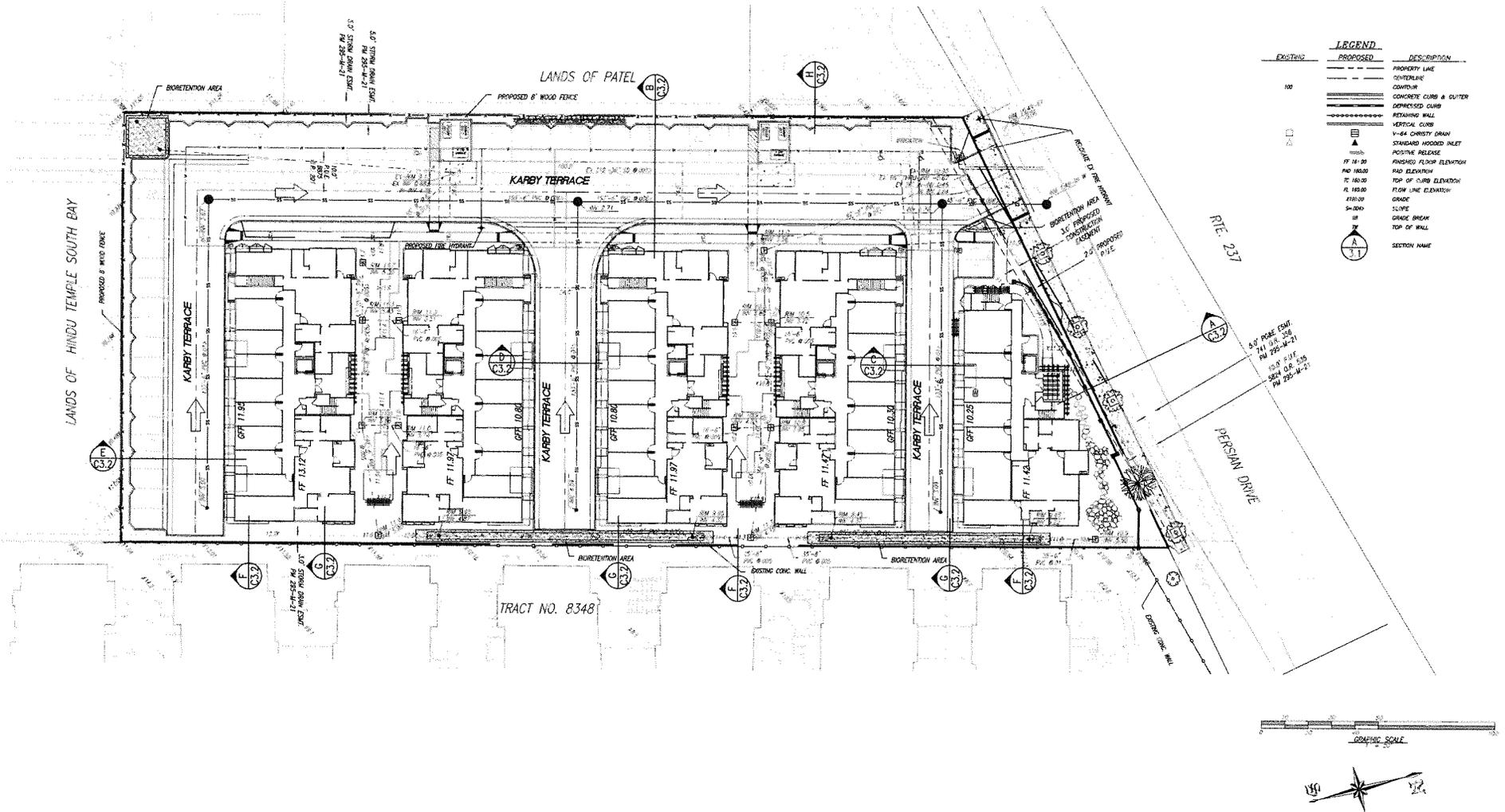
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Date: 3-29-12 Job No: 1870
Scale: 1" = 20' Drawn By: M.H.F.
Sheet No: **C3.1**
of _____ Sheets

DATE PLOTTED: 4/11/12 10:58 AM PLOTTER: HP DesignJet 2400



FAIR OAKS TRANSIT VILLAGE

CONCEPTUAL UTILITY PLAN

Pactus Group, Inc.
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Oakland, CA 94612
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470 PERSIAN DRIVE
SUNNYVALE, CALIFORNIA

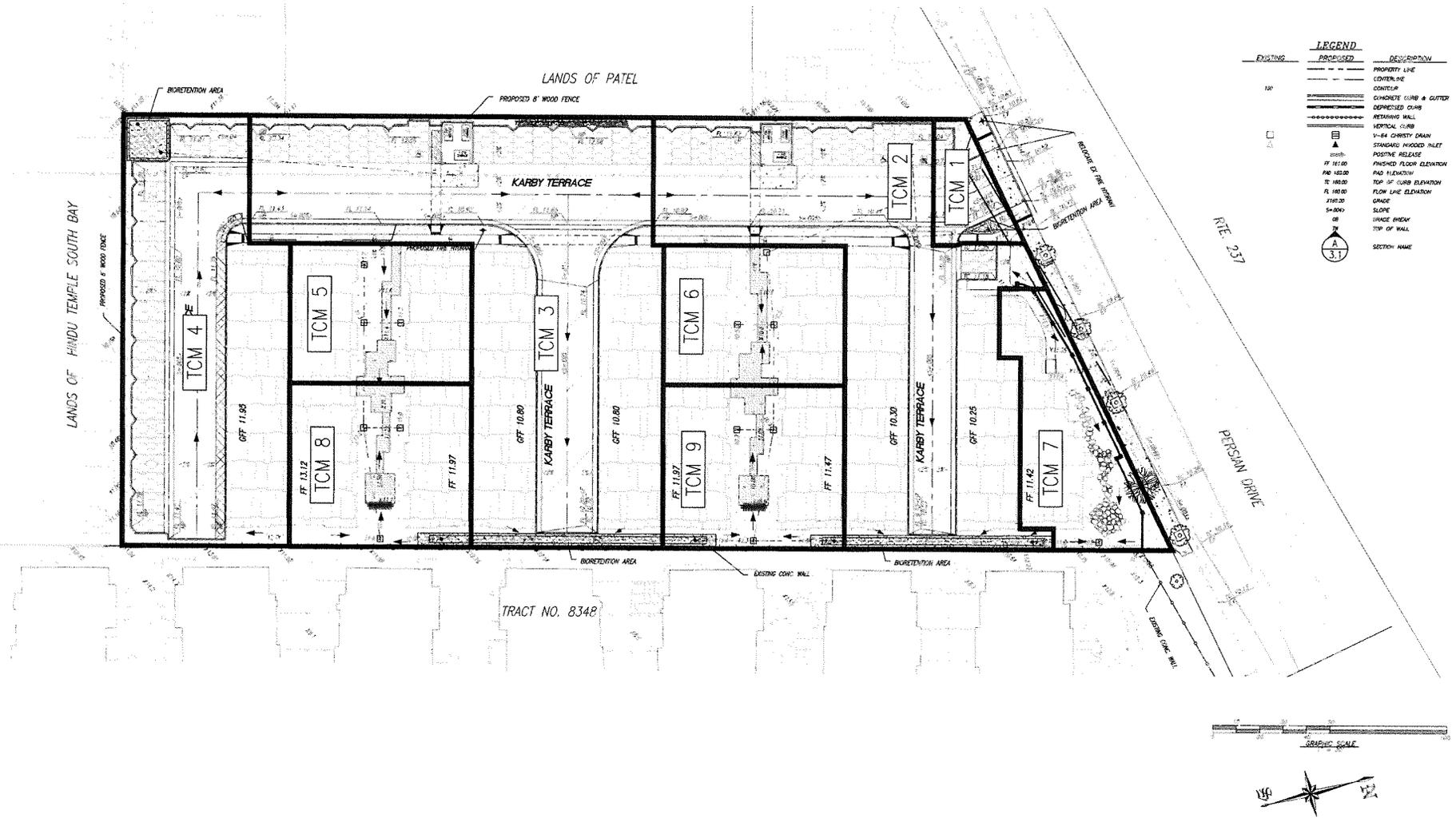
Revisions

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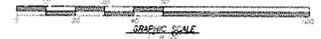
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Scale: 1" = 20' Drawn By: M.H.P.
Sheet No: **C3.2**
of _____ Sheets

DATE PLOTTED: 03/29/13 11:27:10 AM



LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PRIORITY LINE
---	---	CONTOUR LINE
---	---	CONTOUR
---	---	CONCRETE CURB & GUTTER
---	---	DEFERRED CURB
---	---	RETAINING WALL
---	---	VERTICAL CURB
---	---	3/4\"/>
---	---	STANDARD FRODO PILE
---	---	POSITIVE RELEASE
---	---	FINISHED FLOOR ELEVATION
---	---	PAV. FINISHING
---	---	TOP OF CURB ELEVATION
---	---	FLOW LINE ELEVATION
---	---	GRADE
---	---	SLOPE
---	---	URAGE BREAK
---	---	TOP OF WALL
---	---	SECTION NAME



FAIR OAKS TRANSIT VILLAGE

CONCEPTUAL STORM WATER TREATMENT PLAN

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470 PERSIAN DRIVE
SUNNYVALE, CALIFORNIA

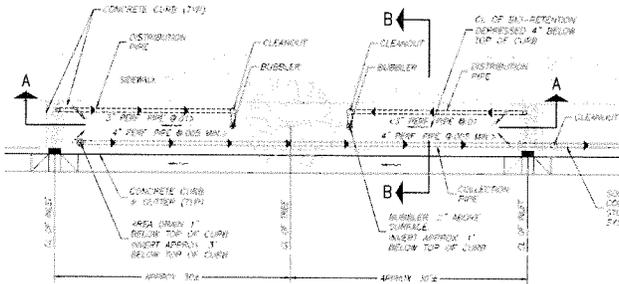
Revisions:

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A CALIFORNIA CORPORATION
CONSULTING CIVIL ENGINEERS

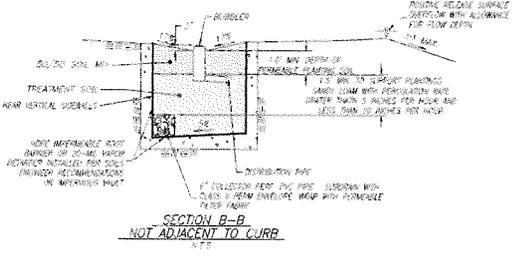
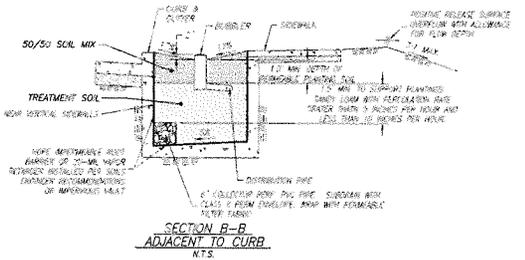
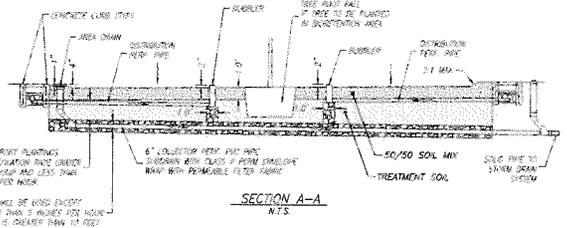
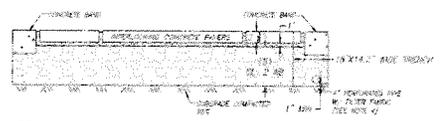
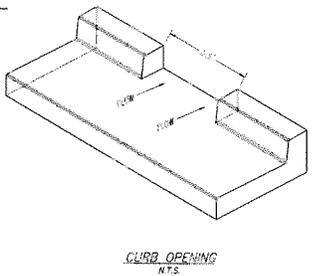
255 W. JULIAN ST. #200 SAN JOSE, CA 95110-2405
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Date: 3-29-13 Job No.: 18710
Scale: 1" = 20' Drawn By: M.H.F.
Sheet No: **C3.5**
of _____ Sheets

DRAWN: M.H.F. CHECKED: M.H.F. DATE: 3/29/13



BIO-RETENTION LAYOUT DETAILS



- Diversion Area Maintenance Plan**
- Objectives**
 - 1.1 The principal maintenance objective is to prevent sediment buildup and clogging, which reduces pollutant removal efficiency and may lead to bio-retention area failure.
 - 1.2 Routine maintenance activities, and the frequency at which they will be conducted:
 - 2.1 Remove obstructions, debris and trash from bio-retention area and dispose of properly. Monthly, or as needed after storm events.
 - 2.2 Inspect bio-retention area to ensure that it drains between streams and within five days after rainfall. Monthly, or as needed after storm events.
 - 2.3 Inspect storm water channels, soil exposure or other evidence of erosion. Clear obstructions and remove sediment. Monthly, or as needed after storm events.
 - 2.4 Remove and replace all dead and diseased vegetation. Twice a year.
 - 2.5 Maintain vegetation and the irrigation system. Plants need to keep bio-retention area neat and orderly in appearance. Before wet season begins, or as needed.
 - 2.6 Check that mulch is at appropriate depth (3 inches per soil specifications) and replenish as necessary before wet season begins. Monthly.
 - 2.7 Inspect bio-retention area using the attached inspection checklist. Monthly, or after large storm events and after removal of accumulated debris or materials.
 - Prohibitions**
 - 3.1 The use of pesticides and quick release fertilizers shall be minimized, and the principles of integrated pest management (IPM) followed:
 - 3.1.1 Employ non-chemical controls (biological, physical and cultural controls) before using chemicals to treat a pest problem.
 - 3.1.2 Place plants properly and at the appropriate time of year.
 - 3.1.3 Provide adequate irrigation for landscape plants. Do not over water.
 - 3.1.4 Limit fertilizer use unless soil testing indicates a deficiency. Slow-release or organic fertilizer is preferred. Check with municipality for specific requirements.
 - 3.1.5 Pest control should avoid harming non-target organisms, or negatively affecting air and water quality and public health. Apply chemical controls only when monitoring indicates that preventative and non-chemical methods are not keeping pests below acceptable levels. When pesticides are required, apply the least toxic and the least persistent pesticide that will provide adequate pest control. Do not apply pesticides on a pre-scheduled basis.
 - 3.1.6 Sweep up spilled fertilizer and pesticides. Do not wash away or bury such spills.
 - 3.1.7 Do not over apply pesticide. Spray only where the situation exists. Follow the manufacturer's instructions for mixing and applying materials.
 - 3.1.8 Only licensed, trained pesticide applicators shall apply pesticides.
 - 3.1.9 Apply pesticides at the appropriate time to maximize their effectiveness and minimize the likelihood of discharging pesticides into runoff. With the exception of pre-emergent pesticides, avoid application if rain is expected.
 - 3.1.10 Unwanted/unused pesticides shall be disposed as hazardous waste.
 - Vector Control**
 - 4.1 Objective: To prevent conditions which create that attract and/or promote the growth of disease vectors, including but not limited to mosquitoes, rodents, and flies.
 - 4.2 Maintenance Activities for Vector Control
 - 4.2.1 Inspections: Regular inspections will determine if areas have pools of standing water or debris accumulation. Inspections will be conducted prior to the rainy season, after major storm events, and at least once during the dry season to ascertain that standing water drains from the site within 5 days.
 - 4.2.2 Insects in ground: Abate potential vectors by filling holes in the ground in and around the site and by insuring that there are no areas where water stands longer than 5 days following a storm.
 - 4.2.3 Other maintenance activities: If any obstructions develop (e.g. debris accumulation, invasive vegetation, clogging of outlets and/or under drains) within the site, appropriate maintenance activities shall be implemented to correct the obstruction. Refer to Section 3 for details on specific maintenance activities.
 - 4.3 Mosquito Abatement: The authority in Santa Clara County in charge of mosquito abatement shall be notified as needed for assistance should any mosquito issues arise. Mosquito services should be applied only when absolutely necessary and then only by a licensed professional or contractor.
 - Correspondence**
 - 5. Correspondence regarding operations, inspections and maintenance of the storm water treatment measures will be provided to the City of San Jose's Environmental Services Division as required and according to the schedule outlined in the Operations and Maintenance Agreement.

PERVIOUS PAVEMENT - OPERATIONS & MAINTENANCE PLAN

Pervious pavement is a permeable pavement surface with an underlying stone reservoir that temporarily stores surface runoff before infiltrating into the subsoil or being collected in underlying stone pipes and being discharged off-site. There are many types of pervious pavement including plastic grids planted with grass, stone or concrete blocks with pore spaces backfilled with gravel or sand, porous asphalt, and porous concrete. Pervious pavement accepts only precipitation, not storm water runoff. All facility components, vegetation, and source controls shall be inspected for proper operation and structural integrity at a minimum quarterly for the first 2 years from the date of installation, 2 times per year thereafter, and within 48 hours after each major storm event. The facility owner must keep a log recording all inspection dates, observations, and maintenance activities. The following items shall be inspected and monitored as stated:

Surface: In most pervious pavement design, the pavement itself acts as pretreatment to the stone reservoir below. The surface shall be kept clean and free of leaves, debris, and sediment. The surface shall not be treated with an impermeable paving surface.

- Regular sweeping shall be implemented for porous asphalt or concrete surfaces.

Overflows or Emergency Sullies are used in the event that the facility's infiltration capacity is exceeded. Overflow devices shall be inspected for obstructions or debris, which shall be removed upon discovery. Overflow or emergency spillways shall be capable of transporting high flows of storm water to an approved storm water receiving system.

- Sources of erosion damage shall be identified and controlled when active soil is exposed near the overflow structure.

Vegetation (where applicable) shall be healthy and dense enough to provide filtering while protecting underlying soils from erosion. Vegetation, such as trees and shrubs, should not be located in or around the pervious pavement because roots from trees can penetrate the pavement, and leaves from deciduous trees and shrubs can increase the risk of clogging the surface.

- Vegetation and large shrubs/trees that limit access or interfere with pervious pavement operation shall be pruned.
- Fallen leaves and debris from deciduous plant foliage shall be raked and removed.
- Prunings, mulches, stumps or other protruding vegetation shall be removed immediately.
- Grass shall be mowed to less than four inches and green clippings shall be bagged and removed.
- Impaction shall be provided as needed.

Source Control measures prevent pollutants from mixing with storm water. Typical non-structural control measures include raking and removing leaves, street sweeping, vacuum sweeping, limited and controlled application of pesticides and fertilizers, and other good housekeeping practices.

Spill Prevention measures shall be exercised when handling substances that can contaminate storm water. A spill prevention plan shall be implemented at all non-residential sites and in areas where there is likelihood of spill from hazardous materials, vehicles, utility or other including residential and commercial present potential danger from spills. All homes contain a wide variety of toxic materials including gasoline for lawn mowers, antifreeze for cars, solvents, pesticides, and cleaning materials that can adversely affect storm water if spilled. It is important to exercise caution when handling substances that can contaminate storm water. Releases of pollutants shall be corrected as soon as identified.

Training and/or written guidance information for operating and maintaining pervious pavement shall be provided to all property owners and tenants. A copy of the O&M Plan shall be provided to all property owners.

Access to the pervious pavement shall be safe and efficient. Egress and ingress routes shall be maintained to design standards. Roadways shall be maintained to accommodate size and weight of vehicles, if applicable. Obstacles preventing maintenance personnel and/or equipment access to the pervious pavement shall be removed. Drives or ground cover shall be added if erosion occurs, e.g., due to vehicular or pedestrian traffic.

Debris and Litter shall be removed to prevent clogging.

Storm Water Management Manual
Edition 2008

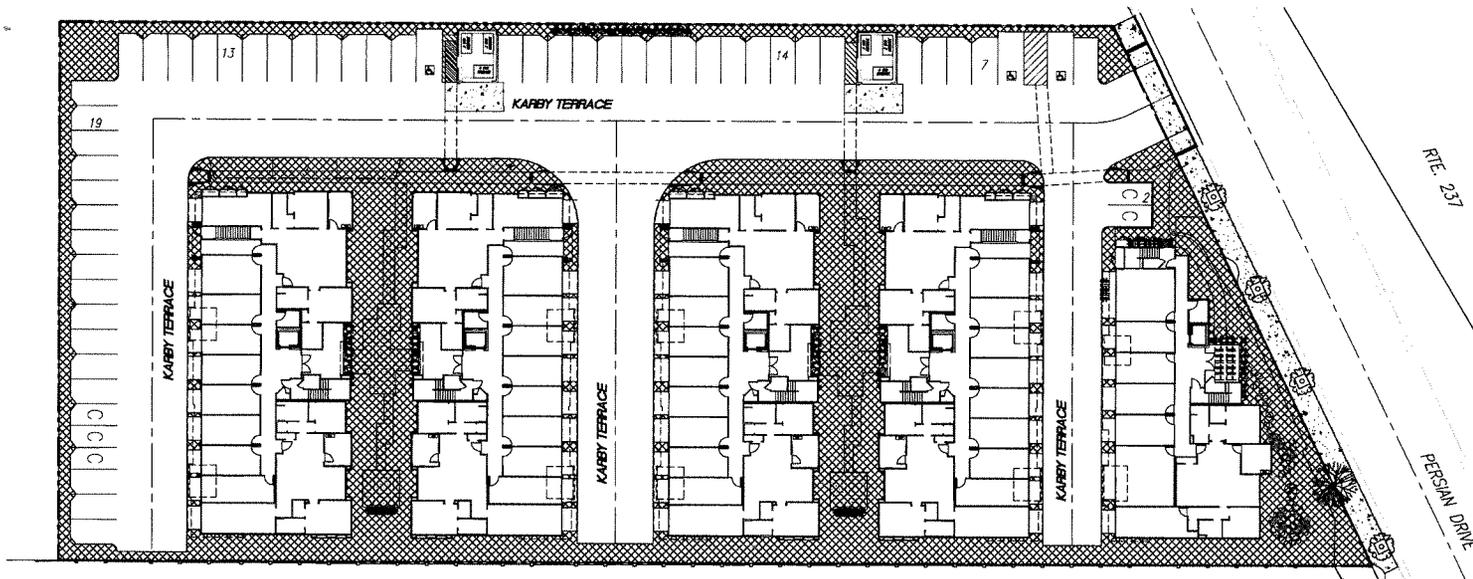
FAIR OAKS TRANSIT VILLAGE

CONCEPTUAL STORM WATER TREATMENT PLAN

Pactus Group, Inc.
2201 Broadway, Suite 804
Oakland, CA 94612
Telephone: (510) 251-9276

470 PERSIAN DRIVE
SUNNYVALE, CALIFORNIA

Revised: _____
Date: 3-29-12 Job No.: 18710
Scale: 1" = 20' Drawn By: M.H.F.
Sheet #: _____
C3.6
of _____
Charles H. Davidson Co.
A CALIFORNIA CORPORATION
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255 W. JULIAN ST., #200 SAN JOSE, CA 95110-2408
TEL (408) 295-9162 FAX (408) 193-1511



TOTAL LANDSCAPE AREA

APN 110-29-041

STATEMENTS AND TABLES:

1. Total acres of subject property: 1.79± ac
 public street dedication: 0.08± ac
 net area: 1.71± ac

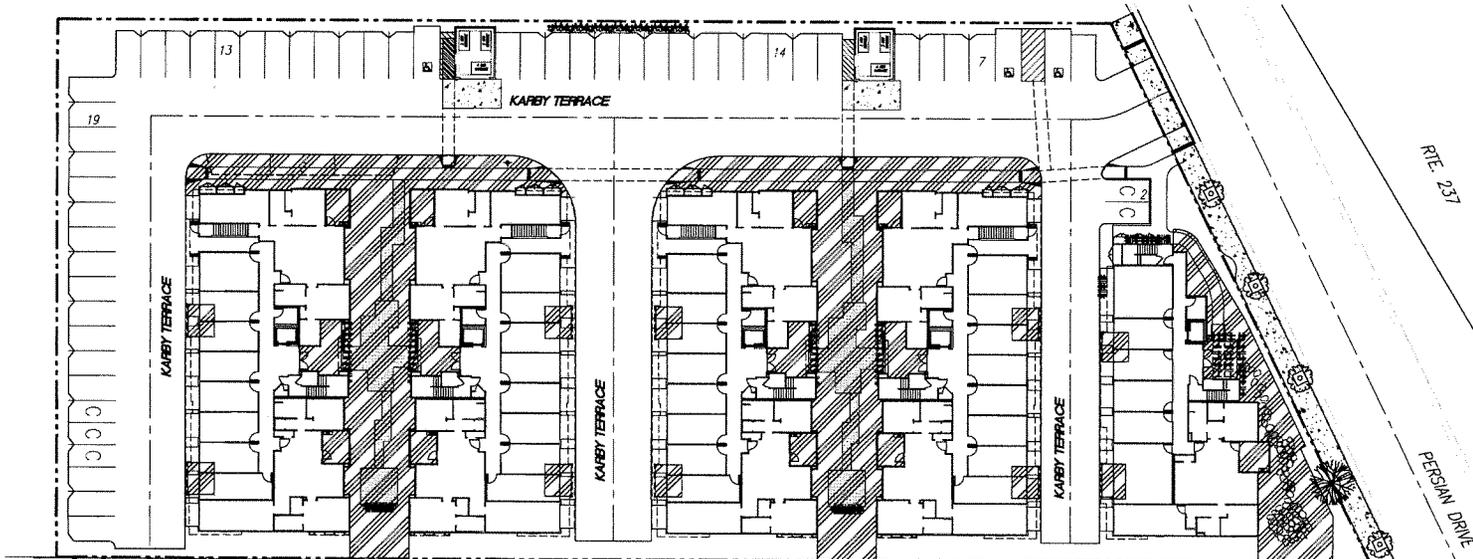
2. Total number of dwelling units: 47 units

3. Total Landscape:
 Required: 375 x 47 = 17,625 sqft
 Provided: 17,669 sqft / 47 units = 376 sqft/unit

4. Total Open Space:
 Required: 380 x 47 = 17,860 sqft
 Provided: 20,311 sqft / 47 units = 432 sqft/unit
 Landscape: 10,198 sqft
 Building Common Area: 5,216 sqft
 Building Patio/Docks: 4,894 sqft

TOTAL OPEN SPACE CALCULATIONS

	PSF/UNIT	Sq/Unit	Floors	Buildings	Sq/Unit
Landscape	482	2672	2	1	8524
					1575
Building 10 unit - psf-1st	99-97	198	1	4	784
psf-2nd/99-11-105	247	247	2	4	1174
common-1st	222	222	3	4	2124
common-2nd	95	185	3	4	2280
Building 7 unit - psf-1st	100	100	4	1	400
psf-2nd/56-10-106	286	286	3	1	858
common-1st	0	0	2	3	3
common-2nd	125	125	2	3	375
					350
					20311 SQFT
					432 SQFT/unit



TOTAL USEABLE OPEN SPACE

FAIR OAKS TRANSIT VILLAGE

CONCEPTUAL OPEN SPACE EXHIBIT

Padus Group, Inc.
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 Oakland, CA 94612
 Telephone: (510) 251-9276

470 PERSIAN DRIVE
 BUNNYVALE, CALIFORNIA

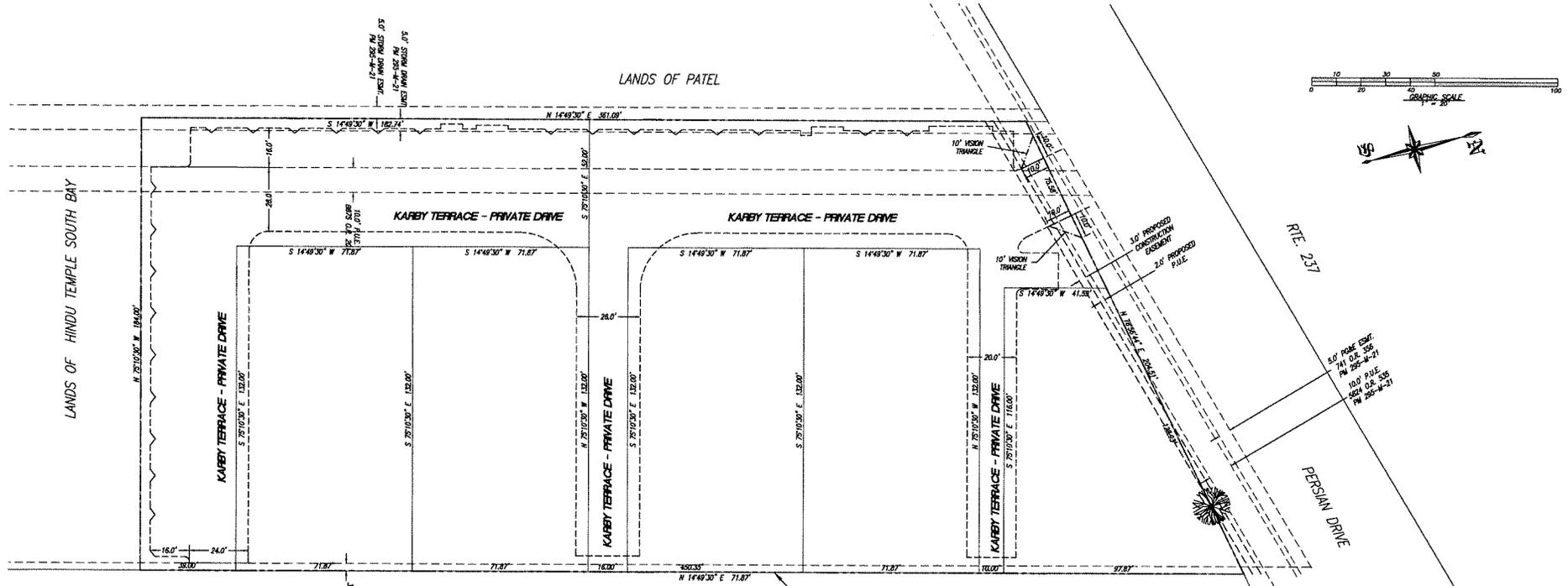
Revisions:

Charles W. Davidson Co.

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Date: 3-29-13 Job No.: 1870
 Scale: 1" = 20' Drawn By: M.J.L.F.
 Sheet No.: **C41**
 of _____ Sheets

PLOTTED: MONDAY, FEB 27, 2013 11:44 AM
 C:\TEMP\DWG\PLANS\Fair Oaks Open Space



SUBDIVISION NAME: FAIR OAKS TRANSIT VILLAGE
OWNERS: FOUNNAIN & CHANG
 470 PERSIAN DRIVE
 SUNNYVALE, CA 94089
SUBDIVIDER: PADUS GROUP, INC.
 2201 BROADWAY, SUITE 604
 OAKLAND, CA 94612
CIVIL ENGINEER: CHARLES W. DAVIDSON CO.
 255 W. JULIAN STREET, SUITE 200
 SAN JOSE, CA 95110
 (408) 285-9182

ASSESSOR'S PARCEL NO.: 110-29-041
EXISTING USE: MANUFACTURING
PROPOSED USE: RESIDENTIAL
MAXIMUM NO. AND TYPE OF D.U.'S: 47 CONDOMINIUM UNITS
EXISTING ZONING: M-1-P
GEN. PLAN/LAND USE TRANS. DIAGRAM: ITR MEDIUM TO HIGH DENSITY
SOURCE OF WATER SUPPLY: CITY OF SUNNYVALE
NUMBER OF LOTS: 7
TOTAL ACREAGE: 1.70±

STREET TREES: THIS PROJECT WILL CONFORM TO THE STREET TREE PLAN OF THE CITY OF SUNNYVALE.

ALL STREET NAMES SHOWN HEREON HAVE BEEN APPROVED BY THE CITY OF SUNNYVALE.

MULTIPLE FINAL MAPS MAY BE FILED ON THIS PROJECT PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP.

THIS SUBDIVISION IS SUBJECT TO THE REQUIREMENTS OF THE CITY OF SUNNYVALE PARKLAND DEDICATION ORDINANCE OR PAYMENT OF FEES IN LIEU OF THE DEDICATION OF LAND FOR PARKS PURPOSES PER THE CITY OF SUNNYVALE STANDARDS.

SUBDIVIDER SHALL DEDICATE AND COMPLETE ALL PUBLIC STREET IMPROVEMENTS TO THE SATISFACTION OF DIRECTOR OF PUBLIC WORKS.

BENCHMARK: BRASS DISC IN BACK OF SIDEWALK AT THE SOUTH EAST CURB RETURN INTERSECTION OF TASMAN DRIVE AND MORSE AVENUE. SCWD REFERENCE MARK 267. ELEV. 13.062'.

- NOTES:**
1. ALL EXISTING ONSITE BUILDINGS WILL BE REMOVED UNLESS OTHERWISE NOTED.
 2. ALL EXISTING ONSITE PAVING AND CONCRETE WILL BE REMOVED UNLESS OTHERWISE NOTED.
 3. ALL EXISTING ONSITE WALLS AND FENCES WILL BE REMOVED UNLESS OTHERWISE NOTED.
 4. ALL EXISTING ONSITE TREES WILL BE REMOVED UNLESS OTHERWISE NOTED.
 5. ALL EXISTING ONSITE UTILITIES AND/OR THEIR APPURTENANCES NOT SHOWN THE PROJECT AND/OR HAVING CONFLICTS WITH THE PROJECT SHALL BE COPIED, MARKED, REMOVED AND/OR DISPOSED TO THE SATISFACTION OF THE CITY OF SUNNYVALE UNLESS OTHERWISE NOTED.
 6. ALL EXISTING ONSITE SIGNS WILL BE REMOVED OR ABANDONED PER CITY OF SUNNYVALE STANDARDS UNLESS OTHERWISE NOTED.
 7. OVERHEAD UTILITIES ON THE JOINT POLES ALONG THE PROPERTY FRONTAGE TO BE UNDERGROUND.
 8. REMOVE BELOW GROUND FIRE DOUBLECHECK DETECTOR ASSEMBLY AND INSTALL ANY REQUIRED FIRE DOUBLECHECK DETECTOR ASSEMBLY PER DETAIL 21B.
 9. DISTICHES AND IMBROUSERS ARE SHOWN IN FEET AND DECIMALS THEREOF.
 10. THE DISTRICHIVE BORDER LINE DENOTES THE BOUNDARY OF THE SUBDIVISION.
 11. PRIVATE DRIVES SHALL BE DESIGNATED AS: EVAC, PUE, PVE, PWE, PYSQ, PSSQ, PSSE, & PLE
 12. LOTS 6 THROUGH 7 ARE COMMON AREA LOTS
 13. LOTS 6 THROUGH 7 SHALL BE DESIGNATED AS: EVAC, PUE, PVE, PWE, PYSQ, PSSQ, PSSE, & PLE

EASEMENT LANGUAGE:

OWNER STATEMENT:
 WE HEREBY STATE THAT WE ARE THE OWNERS OF OR HAVE SOME RIGHT, TITLE OR INTEREST IN AND TO THE REAL PROPERTY INCLUDED WITHIN THE SUBDIVISION SHOWN UPON THE HEREIN MAP; THAT WE ARE THE ONLY PERSONS WHOSE CONSENT IS NECESSARY TO PASS A CLEAR TITLE TO SAID REAL PROPERTY; THAT WE HEREBY CONSENT TO THE PREPARATION AND FILING OF SAID MAP AND SUBDIVISION AS SHOWN WITHIN THE DISTRICHIVE BORDER LINE.

EMERGENCY VEHICLE ACCESS EASEMENT (EVAE):
 WE ALSO HEREBY STATE THAT THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES: EMERGENCY VEHICLE INGRESS AND EGRESS PURPOSES ON OR OVER THOSE CERTAIN STRIPS OF LAND DELINEATED HEREON AND DESIGNATED AS "EVAE" (EMERGENCY VEHICLE ACCESS EASEMENT). PARKING STALLS ARE DELINEATED ON THE MAP AND ARE EXCLUDED FROM THE LIMITS OF THE EVAE.

PUBLIC UTILITY EASEMENT (PUE):
 WE ALSO HEREBY STATE THAT THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES: CERTAIN PUBLIC UTILITY FACILITIES INCLUDING BUT NOT LIMITED TO POLES, ELECTRIC, TELEPHONE, AND CABLE CONDUITS AND WRES. GAS AND ALL APPURTENANCES AS DELINEATED HEREON AND DESIGNATED AS "PUE" (PUBLIC UTILITY EASEMENT).

PRIVATE STREETS:
 WE ALSO HEREBY RESERVE PRIVATE STREETS, DESIGNATED ON THE HEREIN MAP AS "KARBY TERRACE". THE PRIVATE STREETS CONTAINED WITH THIS MAP ARE NOT OFFERED, NOR ARE THEY ACCEPTED FOR DEDICATION FOR PUBLIC STREET PURPOSES.

PRIVATE VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS EASEMENT (PVEE):
 WE ALSO HEREBY RESERVE FOR THE OWNERS OF ALL LOTS SHOWN ON THE HEREIN MAP AND THEIR LICENSEES, VISITORS, AND TENANTS RECIPROCAL RIGHTS OF INGRESS AND EGRESS PURPOSES UPON AND OVER LOT AS DELINEATED HEREON AND DESIGNATED AS "PVEE" (PRIVATE INGRESS AND EGRESS EASEMENT). THE MAINTENANCE, REPAIR, AND/OR REPLACEMENT OF IMPROVEMENTS WITHIN SAID EASEMENTS SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS AS DETERMINED BY THE APPROPRIATE COVENANTS, CONDITIONS AND RESTRICTIONS. SAID EASEMENTS ARE NOT OFFERED, NOR ARE THEY ACCEPTED FOR DEDICATION BY THE CITY OF SUNNYVALE. PARKING STALLS ARE DELINEATED ON THE MAP AND ARE EXCLUDED FROM THE LIMITS OF THE PVEE.

PRIVATE WALKER, STORM, FIRE, SANITARY SEWER EASEMENTS:
 WE ALSO HEREBY RESERVE FOR THE OWNERS OF ALL LOTS SHOWN ON THE HEREIN MAP AND THEIR LICENSEES, VISITORS, AND TENANTS RECIPROCAL RIGHTS UPON AND OVER LOT FOR THE INSTALLATION AND MAINTENANCE OF PRIVATE WATER, FIRE SERVICE, STORM DRAINAGE AND SANITARY SEWER FACILITIES AS DELINEATED HEREON AND DESIGNATED AS "P.W.E." (PRIVATE WALKER EASEMENT), "P.F.S.E." (PRIVATE FIRE SERVICE EASEMENT), "P.S.S.E." (PRIVATE STORM DRAIN EASEMENT), "P.S.S.E." (PRIVATE SANITARY SEWER EASEMENT). THE MAINTENANCE, REPAIR, AND/OR REPLACEMENT OF PRIVATE WATER, FIRE SERVICE, STORM DRAINAGE AND SANITARY SEWER FACILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS AS DETERMINED BY THE APPROPRIATE COVENANTS, CONDITIONS AND RESTRICTIONS. SAID EASEMENTS ARE NOT OFFERED, NOR ARE THEY ACCEPTED FOR DEDICATION BY THE CITY OF SUNNYVALE.

PRIVATE LANDSCAPE EASEMENT:
 WE ALSO HEREBY RESERVE A PRIVATE EASEMENT FOR LANDSCAPING PURPOSES DESIGNATED AND DELINEATED AS "P.L.E." (PRIVATE LANDSCAPE EASEMENT). THE MAINTENANCE, REPAIR AND/OR REPLACEMENT OF THE LANDSCAPING SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS AS DETERMINED BY THE APPROPRIATE COVENANTS, CONDITIONS AND RESTRICTIONS. SAID EASEMENT IS NOT OFFERED, NOR IS IT ACCEPTED FOR DEDICATION BY THE CITY OF SUNNYVALE.

COMMON AREA LOT:
 COMMON AREA LOT DESIGNATED ON THE HEREIN MAP IS COMMON AREA FOR THE EXCLUSIVE USE OF THE RESIDENTS AND LOTS DESIGNATED ON THIS SUBDIVISION. IT CONTAINS, BUT IS NOT LIMITED TO, PRIVATE INGRESS/EGRESS ACCESS, PRIVATE WALKWAYS, PRIVATE PARKING, PRIVATE UTILITIES, EMERGENCY VEHICLE ACCESS AND PUBLIC UTILITIES. SAID LOTS WILL BE CONVEYED TO THE HOMEOWNERS' ASSOCIATION.

FAIR OAKS TRANSIT VILLAGE

VESTING TENTATIVE CONDOMINIUM MAP

Padus Group, Inc.
 2201 Broadway, Suite 604
 Oakland, CA 94612
 Telephone: (510) 251-9276

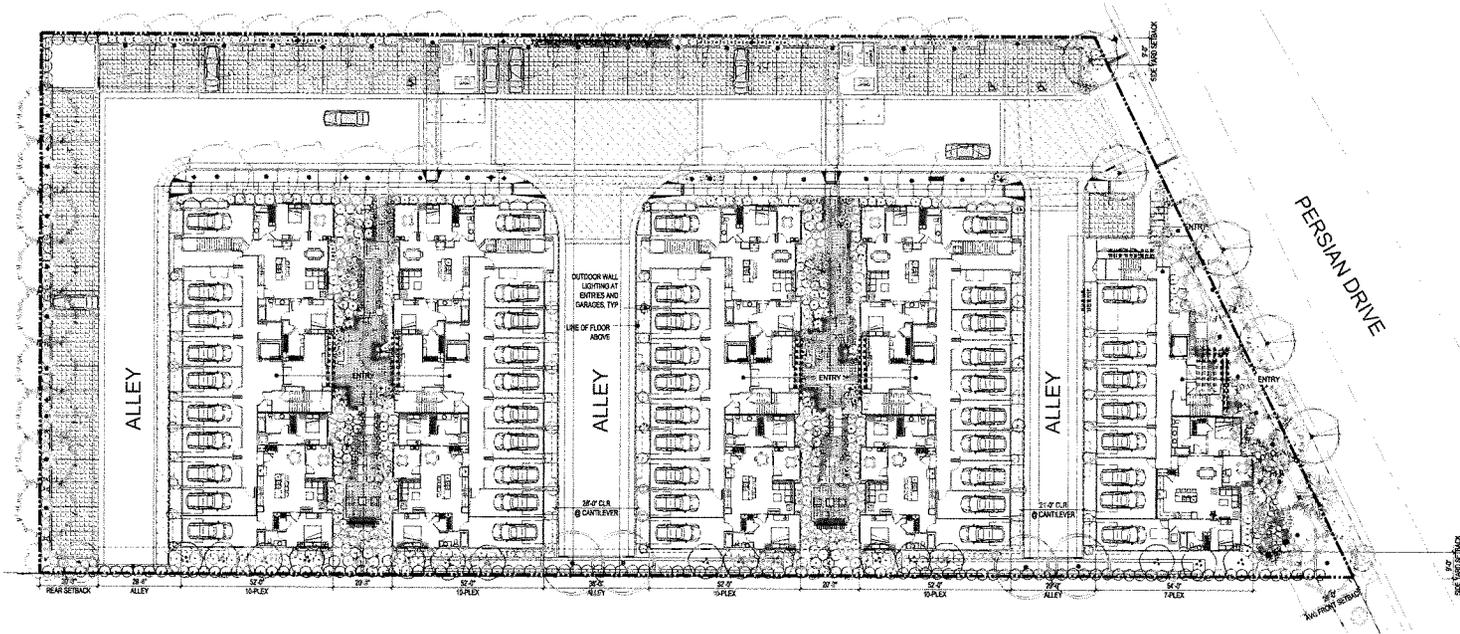
470 PERSIAN DRIVE
 SUNNYVALE, CALIFORNIA

Revisions:

Charles W. Davidson Co.
 A CALIFORNIA CORPORATION
 CONSULTING CIVIL ENGINEERS
 255 W. JULIAN ST., 200 SAN JOSE, CA 95110-2408
 TEL. (408) 285-9185 FAX (408) 285-1111

Date: 3-29-13 Job No.: 1870
 Scale: 1" = 20' Drawn By: M.H.P.
 Sheet No: **T.11**
 of _____ Sheets

PLOTTED: MONDAY, NOV 11, 2013 11:53 AM
 PLOTTER: HP DesignJet T1100PS



Building Code Summary

City of Sunnyvale Municipal Code, Title 19
 Zoning MAPD (BMC 19.18.020(f))
 Building Height, Lot Area, and Floor Area Ratio (FAR)
 4 Stories, 65'-0" building height maximum, 41% lot area, no FAR (BMC Table 19.34.020)
 Required Yards
 Front: 20'-0", Side: 20'-0", 1 side 9'-0", Rear: 30'-0" (BMC Table 19.34.030)
 Private Garage Requirements
 One-car: 200 square feet and 8.5 feet wide by 18 feet deep (BMC 19.46)
 Two-car: 400 square feet and 17 feet wide by 18 feet deep (BMC 19.46)
 Storage Space Requirements
 Multi-Family Residence: 300 cubic feet per unit, lockable storage. Two-car garage needs requirement: (BMC 19.34.04)
 2010 California Building Code, Title 24, Part 2, Vol. 1
 Use & Occupancy: R-3, U, S(10.1, S312, -)
 Maximum Building Height: 45'-0", 2 Stories (Table 503)
 Allowable increase with approved automatic sprinkler system: 60'-0", 3 Stories (B504.2)
 Design building height: 40'-0", 3 stories
 Maximum area, per floor: 7,000 square feet (Table 503)
 Allowable increase with approved automatic sprinkler system: 21,000 square feet (B504.2)
 Design floor area: 5,000 square feet per floor 10-Plus Building
 Design floor area: 4,100 square feet per floor 7-Plus Building
 Maximum area, driving garage: 3,000 square feet (S106.1.2)
 Design floor area: 7,750 square feet 10-Plus Building
 Design floor area: 1,850 square feet 7-Plus Building
 Type of Construction: V-B (Table 601), with approved automatic sprinkler system
 Occupant Load (Table 1004.1.1)
 10-Plus Building: 8,000 square feet per floor/200 square feet per occupant = 30 occupants
 7-Plus Building: 4,100 square feet per floor/200 square feet per occupant = 21 occupants
 Egress Width (S1005.1)
 10-Plus Building = 30 inch x 2'-7" width at stairways
 7-Plus Building = 21 inch x 3'-6" width at stairways
 30" width minimum allowed where occupancy less than 50
 Design width is above 3'-0"
 Exit Access (S1014)
 Length of common path of egress travel in R-3 occupancy maximum 125'-0" (S1014.3 Etc. 4)
 Exit and Exit Access Doorways (S1015)
 "No exit shall be provided (Table 1015.1), occupancy exceeds R occupancy maximum load at 10 occupants
 Exit doors and exit access doorways equipped by exit door: 10' the length of overall dimension served (S1015.2 - Etc. 2)
 Exit Access Travel Distance (Table 1016.1)
 225'-0" Maximum travel distance with approved automatic sprinkler system

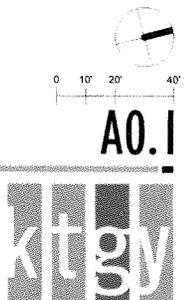
FAIR OAKS TRANSIT VILLAGE

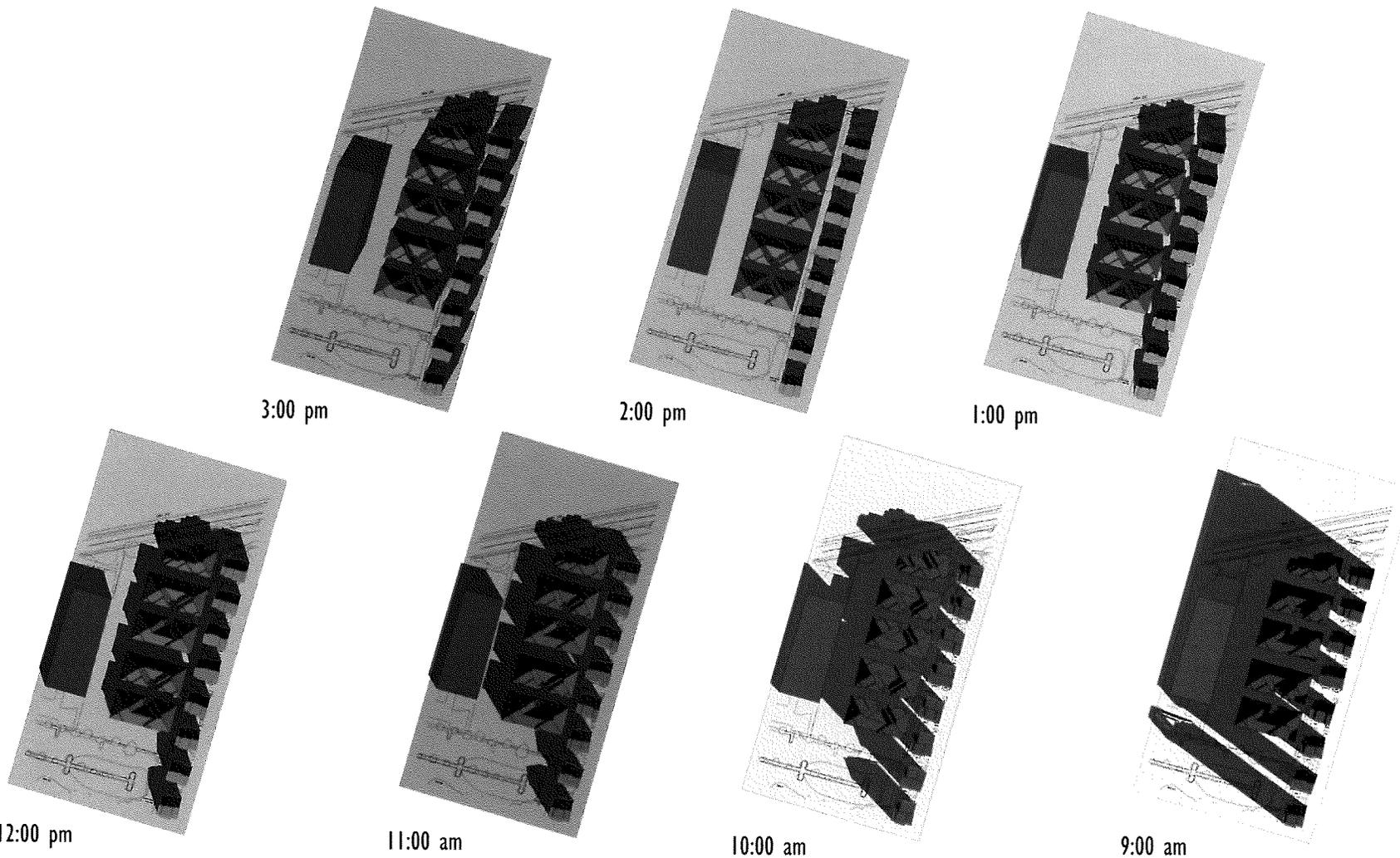
Padus Group, Inc.
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 510.251.9276

ARCHITECTURAL SITE PLAN

SUNNYVALE, CALIFORNIA
 07/07/12 03:00 02/29/2013

KTGY Group, Inc.
 Architecture+Planning
 580 Second St., Suite 200
 Oakland, CA 94607
 510.272.2910
 ktgy.com





A0.4

FAIR OAKS TRANSIT VILLAGE

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Oakland, CA 94612
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SOLAR ANALYSIS

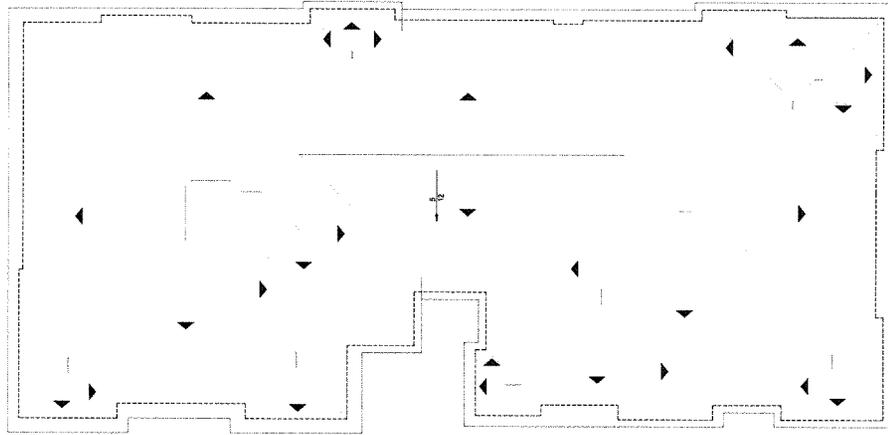
SUNNYVALE, CALIFORNIA

KTGY # 2012-0200

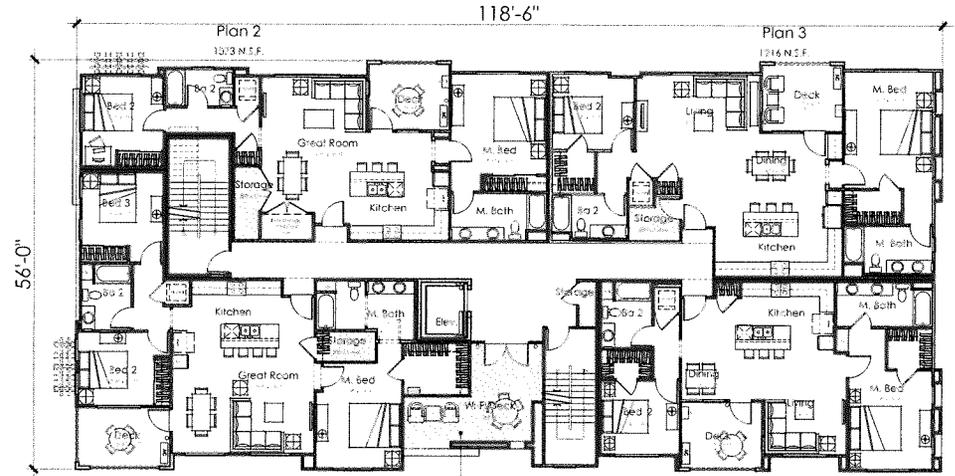
02.22.2013

KTGY Group, Inc.
Architecture+Planning
580 Second St., Suite 200
Oakland, CA 94607
510.272.2910
ktgy.com





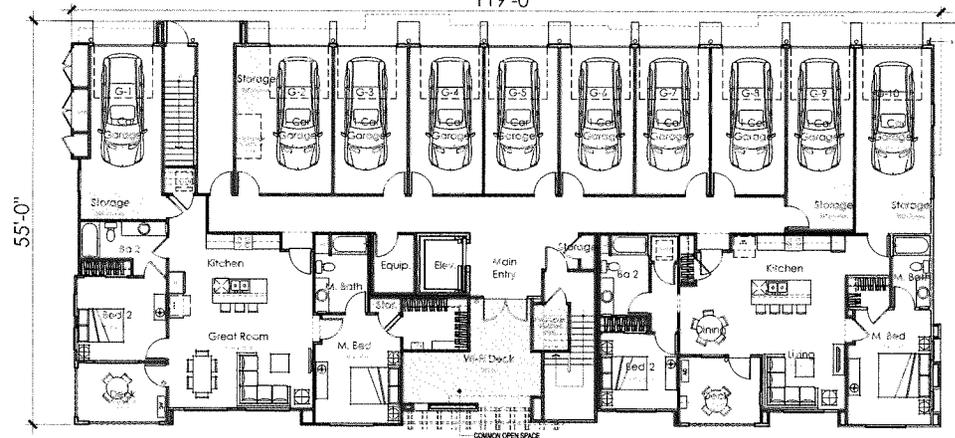
Roof Plan



Plan 4
1217 N.S.F.

Typ. 2nd/3rd Floors

Plan 1.3
990 N.S.F.



Plan 1.2
1069 N.S.F.

First Floor

Plan 1.1
991 N.S.F.

Ten-Plex		
(1) Plan 1.1	2bd/2ba	991 S.F.
(1) Plan 1.2	2bd/2ba	1069 S.F.
(2) Plan 1.3	2bd/2ba	990 S.F.
(2) Plan 2	2bd/2ba	1073 S.F.
(2) Plan 3	2bd/2ba	1216 S.F.
(2) Plan 4	3bd/3ba	1219 S.F.

Building Square Footage	18365 S.F.
Public	3237 S.F.
Residential/Private	15128 S.F.

Air Quality Notes:

Air intakes on backs of buildings away from Highway 237, at the second story or above
All units will have MERV-13 air filter systems

FAIR OAKS TRANSIT VILLAGE

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Oakland, CA 94612
510.251.9276

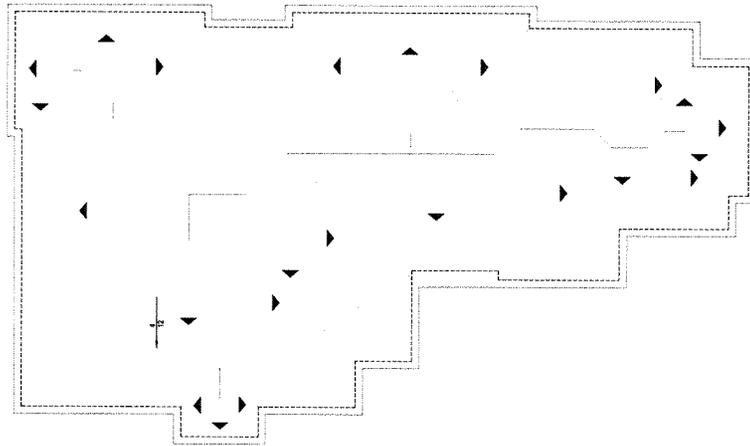
TEN-PLEX - FLOOR PLANS

SUNNYVALE, CALIFORNIA

KTGY # 2012-0100 03/29/2013

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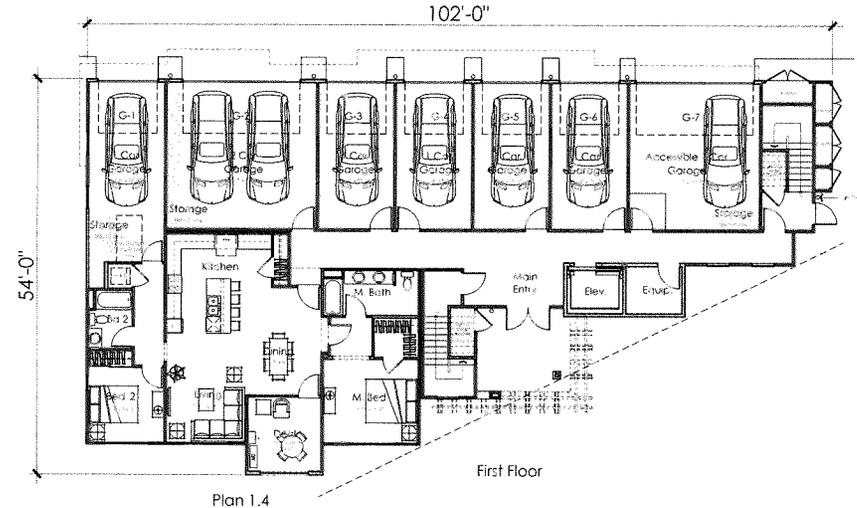
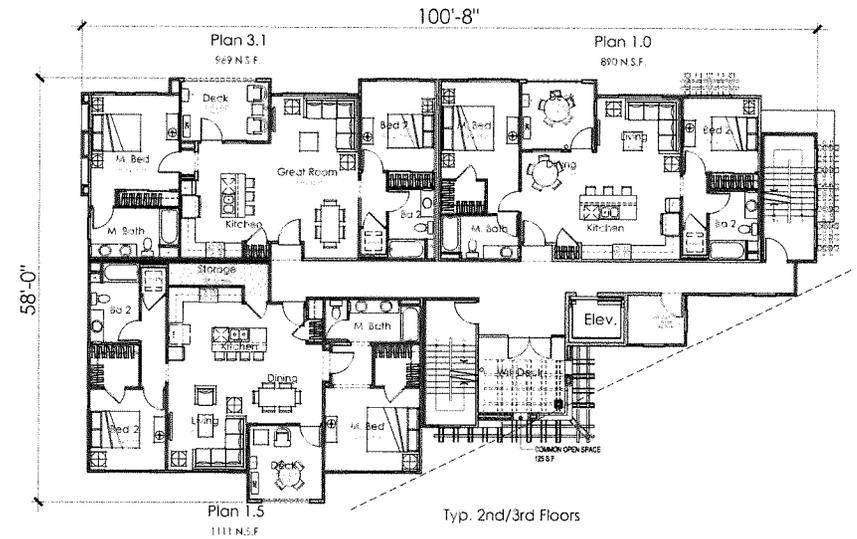
Roof Plan

Seven-Plex		
(2) Plan 1.0	2bd/2ba	890 N.S.F.
(1) Plan 1.4	2bd/2ba	1061 N.S.F.
(2) Plan 1.5	2bd/2ba	1111 N.S.F.
(2) Plan 3.1	2bd/2ba	969 N.S.F.

Building Square Footage	12863 G.S.F.
Public	2600 G.S.F.
Residential/Private	10263 G.S.F.

Air Quality Notes:

Air intakes on backs of buildings away from Highway 237, at the second story or above
All units will have MERV-13 air filter systems



FAIR OAKS TRANSIT VILLAGE

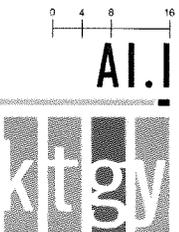
Padus Group, Inc.
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Oakland, CA 94612
510.251.9276

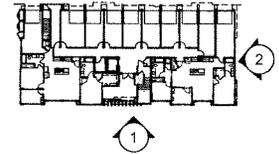
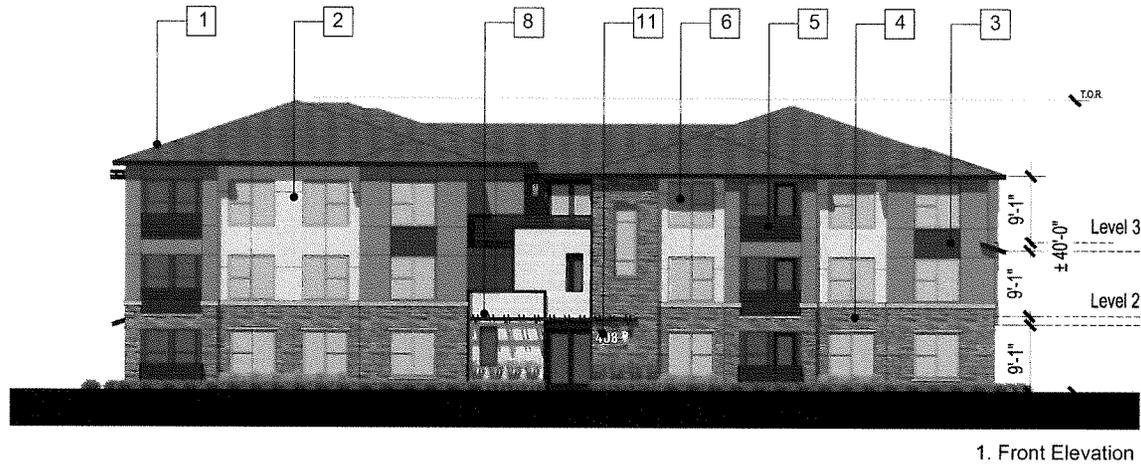
SEVEN-PLEX - FLOOR PLANS

SUNNYVALE, CALIFORNIA

KTG # 2011-0700 01.29.2013

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Architecture+Planning
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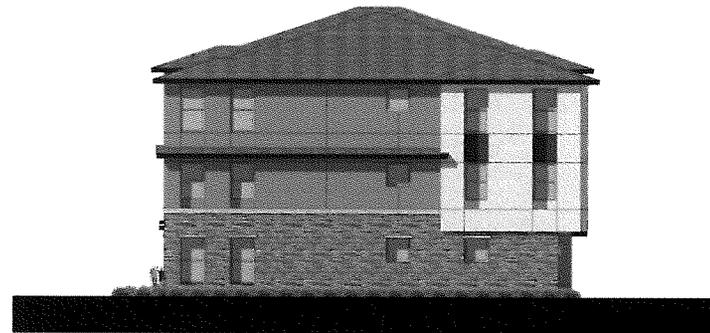




Key Map N.T.S.

Material Legend

1. Flat Roof Tile
2. Stucco
3. Cementitious Siding
4. Stone Veneer
5. Prefinished Wood Composite Railing
6. Vinyl Window
7. Metal Column
8. Decorative Trellis
9. Decorative Light Fixture
10. Metal Sectional Garage Door
11. Address Signage



2. Right Elevation

FAIR OAKS TRANSIT VILLAGE

Padus Group, Inc.
2201 Broadway, Suite 604
Oakland, CA 94612
510.251.9276

Ten-Plex - ELEVATIONS

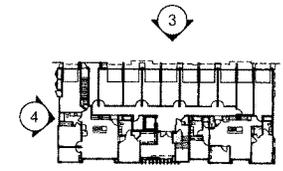
SUNNYVALE, CALIFORNIA

KTGY # 2012-0130

01.25.2013

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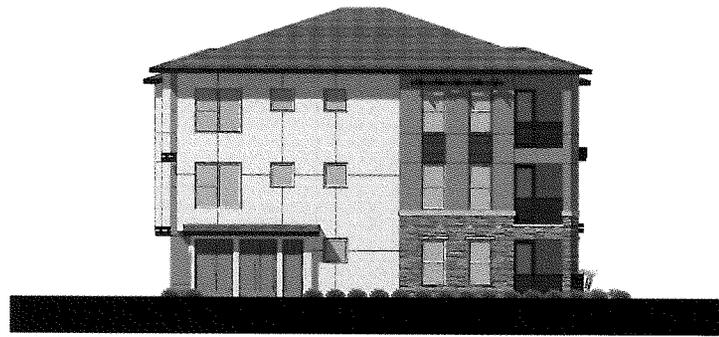


Key Map N.T.S.

Material Legend

1. Flat Roof Tile
2. Stucco
3. Cementitious Siding
4. Stone Veneer
5. Prefinished Wood Composite Railing
6. Vinyl Window
7. Metal Column
8. Decorative Trellis
9. Decorative Light Fixture
10. Metal Sectional Garage Door
11. Address Signage

3. Rear Elevation



4. Left Elevation

FAIR OAKS TRANSIT VILLAGE

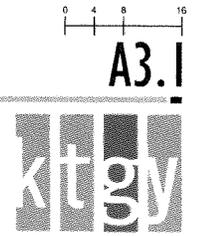
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Ten-Plex - ELEVATIONS

SUNNYVALE, CALIFORNIA

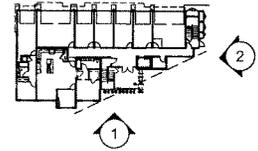
KTGY # 2012-0100 01.25.2013

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Oakland, CA 94607
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1. Front Elevation



Key Map N.T.S.

Material Legend

1. Flat Roof Tile
2. Stucco
3. Cementitious Siding
4. Stone Veneer
5. Prefinished Wood Composite Railing
6. Vinyl Window
7. Metal Column
8. Decorative Trellis
9. Decorative Light Fixture
10. Metal Sectional Garage Door
11. Address Signage



2. Right Elevation

FAIR OAKS TRANSIT VILLAGE

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Seven-Plex - ELEVATIONS

SUNNYVALE, CALIFORNIA

KTGY # 2013-0300

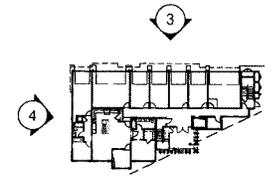
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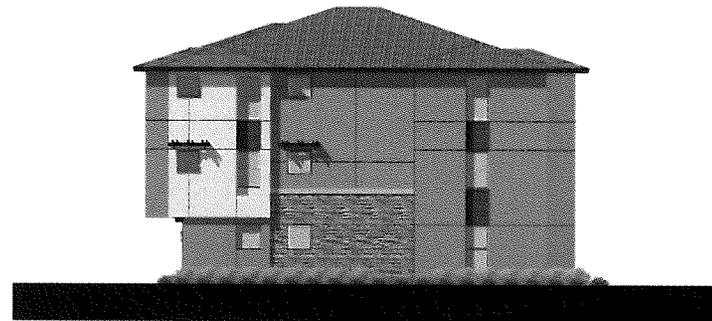
3. Rear Elevation



Key Map N.T.S.

Material Legend

1. Flat Roof Tile
2. Stucco
3. Cementitious Siding
4. Stone Veneer
5. Prefinished Wood Composite Railing
6. Vinyl Window
7. Metal Column
8. Decorative Trellis
9. Decorative Light Fixture
10. Metal Sectional Garage Door
11. Address Signage



4. Left Elevation

FAIR OAKS TRANSIT VILLAGE

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Seven-Plex - ELEVATIONS

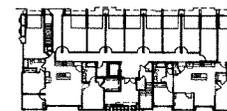
SUNNYVALE, CALIFORNIA

KTGY # 2012-0130

03.25.2013

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Key Map N.T.S.

1. Perspective



2. Perspective

FAIR OAKS TRANSIT VILLAGE

Padus Group, Inc.
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Oakland, CA 94612
510.251.9276

Ten-Plex - PERSPECTIVES

SUNNYVALE, CALIFORNIA

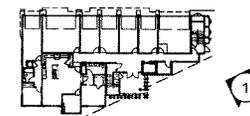
KTGY # 1912-0130

03.25.2013

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A4.0



Key Map N.T.S.

1. Perspective



2. Perspective

FAIR OAKS TRANSIT VILLAGE

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Seven-Plex - PERSPECTIVES

SUNNYVALE, CALIFORNIA

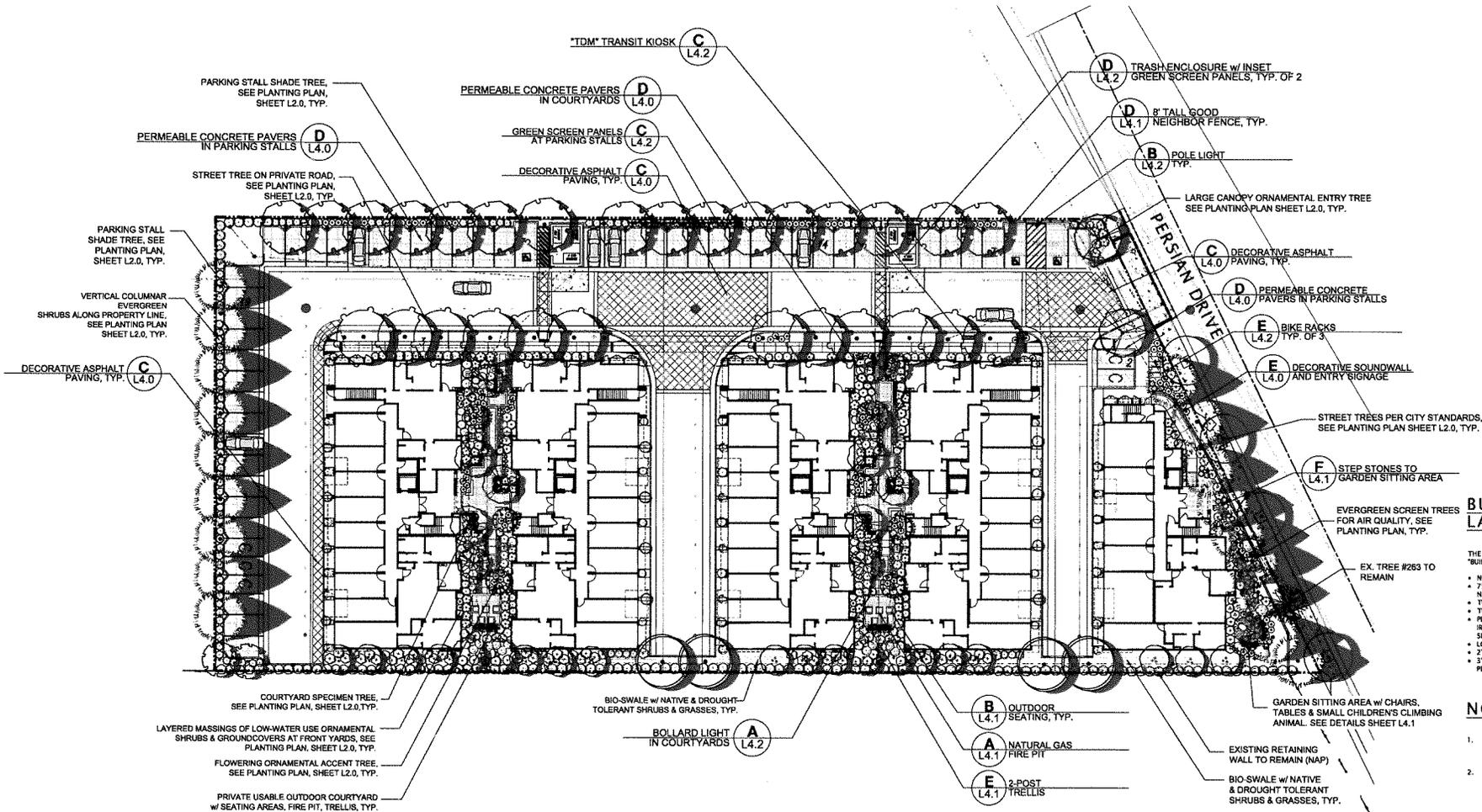
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01.25.2013

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A4.1

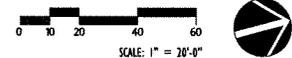


BUILD IT GREEN LANDSCAPE ITEMS:

- THE LANDSCAPE DESIGN WILL INCORPORATE THE FOLLOWING "BUILD IT GREEN" ITEMS TO MAXIMIZE WATER CONSERVATION:
- NO INVASIVE PLANT SPECIES USED ON PROJECT.
 - 75% OF PLANTS ARE WATER CONSERVING CALIFORNIA NATIVES OR MEDITERRANEAN SPECIES.
 - TURF IS TALL FESCUE WITH WATER USE PLANT FACTOR OR 0.8.
 - TURF AREA IS LESS THAN 15% OF ENTIRE LANDSCAPED AREA.
 - PLANTS ARE GROUPED BY WATER NEEDS AND EACH AREA IS IRRIGATED SEPARATELY (I.E. TURF AND SHRUB AREAS HAVE SEPARATE IRRIG. CIRCUITS).
 - LOW FLOW SPRINKLER HEADS ARE USED ON PROJECT.
 - 2" COMPOST ADDED INTO SOIL.
 - 3" OF MULCH ADDED TO SHRUB AND GROUND COVER PLANTING AREAS.

NOTES:

1. SEE CONCEPTUAL PLANTING AND IRRIGATION PLANS FOR WATER EFFICIENT LANDSCAPE AND IRRIGATION DESIGN STATEMENTS, SHEET L2.0 & L3.0
2. FOR RESIDENTIAL BICYCLE STORAGE, SEE ARCHITECTURAL PLANS.



FAIR OAKS TRANSIT VILLAGE

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CONCEPTUAL LANDSCAPE PLAN

SUNNYVALE, CALIFORNIA

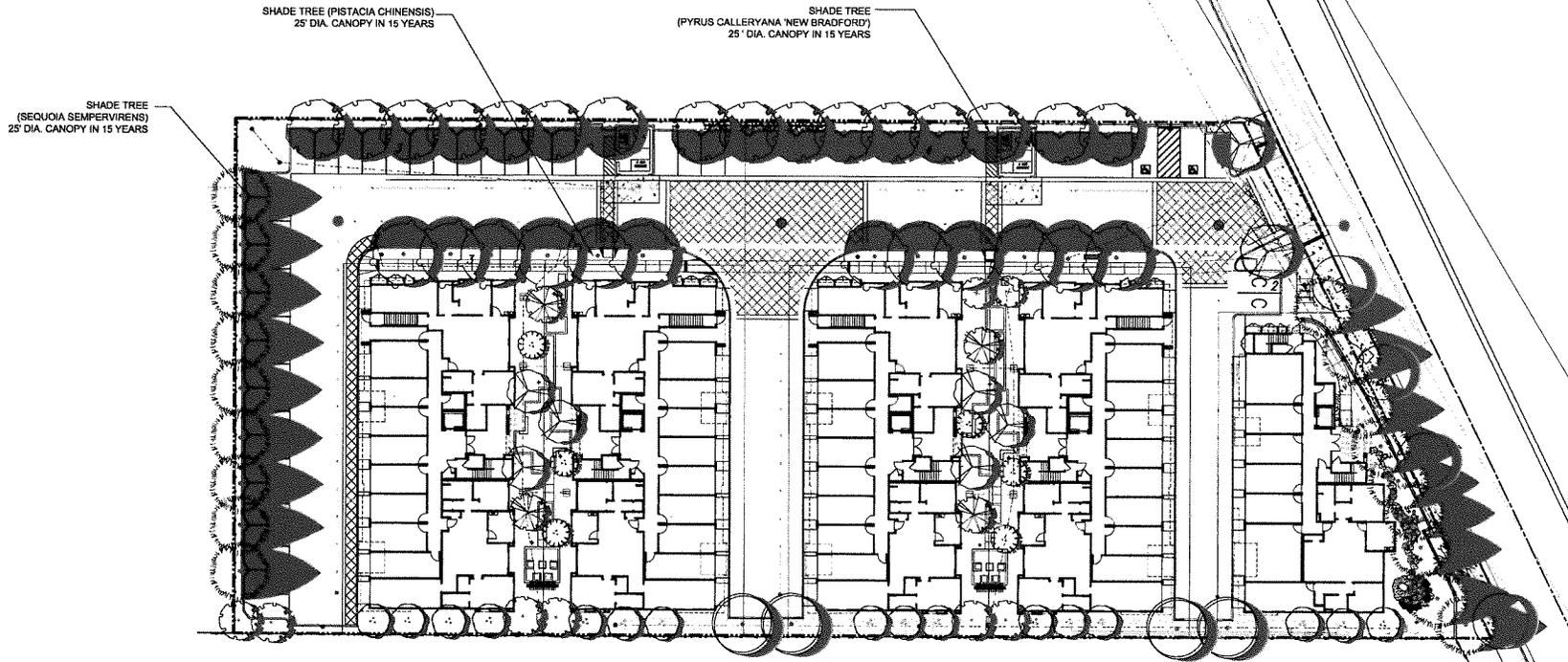
VLA # 1224

11.05.2012 1st SUBMITTAL
02.14.2013 2nd SUBMITTAL
03.29.2013 3rd SUBMITTAL



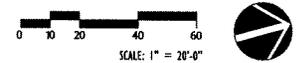
VAN DORN ABED
LANDSCAPE ARCHITECTS, INC.
81 14TH STREET, SAN FRANCISCO, CA
29 94103 PH (415) 564-7020 FAX (415) 564-4776

LI.0



TREE SHADING CALCS

PARKING STALLS & DRIVE AISLES	=	17708 SF
TREE SHADING (IN 15 YEARS)	=	8659 SF
TOTAL PERCENTAGE OF SHADE = 50%		



FAIR OAKS TRANSIT VILLAGE

Padus Group, Inc.
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Oakland, CA 94612
510.251.9276

TREE SHADING PLAN

SUNNYVALE, CALIFORNIA

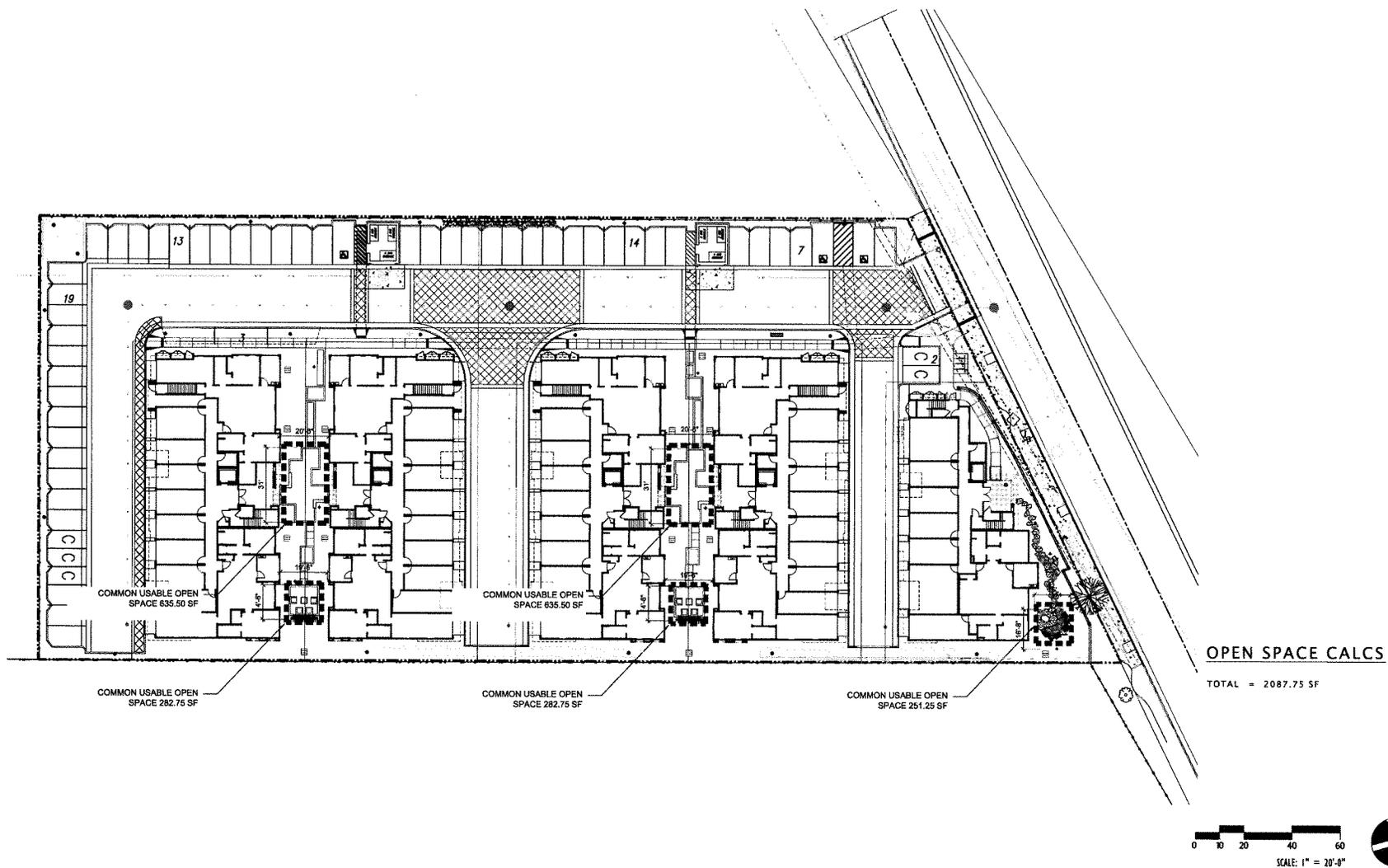
PLAN # 1224

11.05.2013 1st SUBMITTAL
02.14.2013 2nd SUBMITTAL
03.29.2013 3rd SUBMITTAL



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LANDSCAPE ARCHITECTS, INC.
81 14TH STREET, SAN FRANCISCO, CA
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Oakland, CA 94612
510.251.9276

OPEN SPACE PLAN

SUNNYVALE, CALIFORNIA

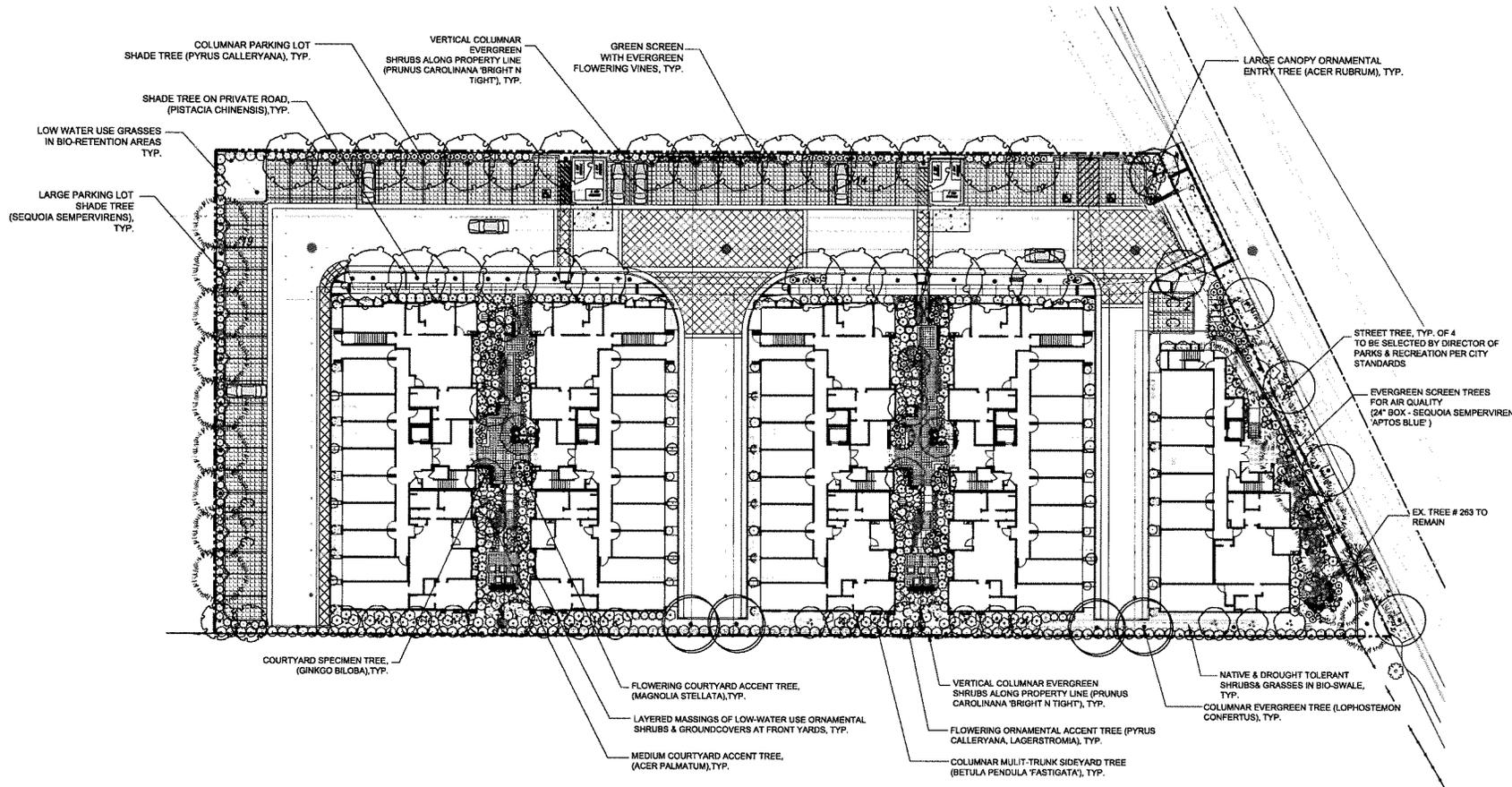
PLAN # 1224

11.05.2012 1st SUBMITTAL
02.14.2013 2nd SUBMITTAL
03.29.2013 3rd SUBMITTAL



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LANDSCAPE ARCHITECTS, INC.
81 14TH STREET, SAN FRANCISCO, CA
22P 94103 PH (415) 864-9221 FAX (415) 864-4796

LI.2



PLANTING & WATER EFFICIENCY DESIGN INTENT STATEMENT

LANDSCAPING AND IRRIGATION PLANS WILL COMPLY WITH OPTION 1 OF THE WATER EFFICIENT LANDSCAPING CHECKLIST.

THE PLANTING DESIGN MINIMIZES TURF/LAWN AREAS TO LESS THAN 25% AND UTILIZES PRIMARILY (80%) LOW WATER USE & NATIVE PLANT SPECIES. PLANTS ARE GROUPED BY HYDROZONE, EXPOSURE & LOCAL CLIMATIC CONDITIONS. THE PLANTING DESIGN ALLOWS FOR THE PLANTS TO REACH THEIR NATURAL, FULL-CROWN SIZE AND ELIMINATES THE NEED FOR EXCESSIVE PRUNING OR HEDGING.

THE PLANTING DESIGN INCORPORATES PRINCIPLES INCLUDED IN THE 'SAV FRENDLY LANDSCAPE GUIDELINES'.

SELECTED TREES HAVE BEEN CHOSEN TO PROVIDE A VARIATION OF HEIGHTS, WIDTHS, COLORS, TEXTURES, AND CHARACTER. TREE LOCATION AND ORIENTATION HAVE BEEN DESIGNED FOR MAXIMUM AESTHETIC EFFECT AND PASSIVE SOLAR BENEFITS.

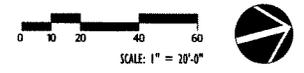
VEGETATED SWALES AND BIORETENTION TREATMENT AREAS WILL BE PLANTED WITH APPROVED WATER CONSERVING GRASS PANDA OR ALTERNATIVE GRASS SPECIES, AND PERIMETER SHRUBS THAT ARE ADAPTED TO BIO-SWALE CONDITIONS.

THE TREES, SHRUBS AND TURF PLANTING AREAS WILL BE DESIGNED IN CONJUNCTION WITH THE IRRIGATION SYSTEM FOR MAXIMUM WATER CONSERVATION. THE LANDSCAPES ESTIMATED TOTAL WATER USE WILL NOT EXCEED THE PROJECTS MAXIMUM WATER ALLOWANCE AS SPECIFIED IN THE STATE OF CALIFORNIA'S 2010 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.

THE PLANTING & IRRIGATION DESIGN WILL COMPLY WITH THE STATE OF CALIFORNIA'S 2010 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.

THE PLANTS HAVE BEEN SELECTED UTILIZING THE STATE OF CALIFORNIA'S 2010 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE PLANT LIST, WUCOLS III. NO PLANTS ARE USED THAT ARE CONSIDERED INVASIVE IN THE REGION AS LISTED BY THE CAL-IPC.

SEE CONCEPTUAL PLANT LIST, SHEET L2.1
SEE HYDROZONE IRRIGATION PLAN, SHEET L3.0



FAIR OAKS TRANSIT VILLAGE

Padus Group, Inc.
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510.251.9276

CONCEPTUAL PLANTING PLAN

SUNNYVALE, CALIFORNIA
VLA # 1224

11.05.2012 1st SUBMITTAL
02.14.2013 2nd SUBMITTAL
03.29.2013 3rd SUBMITTAL



VAN DORN ABED
LANDSCAPE ARCHITECTS, INC.
81 14TH STREET, SAN FRANCISCO, CA
ZIP 94103 PH (415) 864-7521 FAX (415) 864-4756

L2.0

PLANT LIST

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT	QTY	WUCOLS RATING									
	ACE PAL	ACER PALMATUM 'SANDO KAKU'	CORAL BARK MAPLE	15 GAL	4	M		PHO DUE	PHORMIUM X 'DUET'	NEW ZEALAND FLAX	5 GAL	36	L		
	ACE RUB	ACER RUBRUM	RED MAPLE	24"BOX	2	M		PIT WHE	PITOSPORUM TOBIRA 'WHEELERS DWARF'	WHEELER'S DWARF MOCK ORANGE	5 GAL	82	L		
	BET FAS	BETULA PENDULA 'FASTIGATA'	EUROPEAN WHITE BIRCH	15 GAL	16	M		PRU CAR	PRUNUS CAROLINIANA 'BRIGHT 'N TIGHT' TM	BRIGHT 'N TIGHT CAROLINA LAUREL	5 GAL	124	L		
	GIN SAR	GINKGO BILOBA 'SARATOGA'	MAIDENHAIR TREE	24"BOX	8	L		ROS STD	ROSA FLORIBUNDA 'ICEBERG'	ICEBERG ROSE-STANDARD	5 GAL	16	M		
	LAG MUS	LAGERSTROEMIA X 'MUSKOGEE' (25'X12')	CRAPE MYRTLE LIGHT LAVENDER	15 GAL	2	L		ROS ICE	ROSA FLORIBUNDA 'ICEBERG'	ICEBERG ROSE	5 GAL	80	M		
	LOP CON	LOPHOSTEMON CONFERTUS	BRISBANE BOX	15 GAL	4	L		ROS MEI	ROSA MEIDLAND	MEIDLAND ROSE	5 GAL	10	L		
	MAG STE	MAGNOLIA STELLATA 'ROYAL STAR'	ROYAL STAR MAGNOLIA	15 GAL	6	M		ROS APP	ROSA X 'FLOWER CARPET APPLEBLOSSOM' TM	GROUND COVER ROSE	2 GAL	68	L		
	PIB CHI	PISTACIA CHINENSIS	CHINESE PISTACHE	15 GAL	12	L		SOL ROY	SOLANUM RANTONNETII 'ROYAL ROBE' STD	PARAGUAY NIGHTSHADE	5 GAL	13	L / STANDARD		
	PRU CAL	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	15 GAL	6	M		TIB URV	TIBOUCHINA URVILLEANA	PRINCESS FLOWER	5 GAL	5	M		
	PYR NEW	PYRUS CALLERYANA 'NEW BRADFORD'	NEW BRADFORD PEAR	15 GAL	16	M		TIB GLO	TIBOUCHINA URVILLEANA 'ATHENS BLUE'	ATHENS BLUE GLORY BUSH STD	5 GAL	8	M / STANDARD		
	SEQ SEM	SEQUOIA SEMPERVIRENS 'LOS ALTOS'	COAST REDWOOD	24"BOX	18	H		WES FRUJ	WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GAL	13	L		
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT	QTY	WUCOLS RATING		GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	CONT	QTY	WUCOLS RATING	
	CAL LIT	CALLISTEMON CITRINUS 'LITTLE JOHN'	DWARF BOTTLE BRUSH	5 GAL	45	L		CAR PAN	CAREX PANSA	SANDDUNE SEDGE	4" POT @ 12" OC	9,202	L		
	CEA GLO	CEANOETHUS GLORIOSUS 'ANCHOR BAY'	ANCHOR BAY LILAC	5 GAL	52	L									
	COL PUL	COLEONEMA PULCHRUM	PINK BREATH OF HEAVEN	5 GAL	21	L									
	DIE BIC	DIETES BICOLOR 'MORAEA'	FORTNIGHT LILY	5 GAL	96	L									
	DIE VEG	DIETES VEGETA	AFRICAN IRIS	5 GAL	23	L									
	ERY BOW	ERYSIMUM X 'BOWLES' MAUVE'	WALLFLOWER	5 GAL	18	L									
	ESC NEW	ESCALLONIA RUBRA 'NEWPORT DWARF'	DWARF ESCALLONIA	5 GAL	26	L									
	FES OVI	FESTUCA OVINA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	1 GAL	204	L									
	HEB SPE	HEBE SPECIOSA	NEW ZEALAND HEBE	5 GAL	4	M									
	HEB LAK	HEBE X 'VERONICA LAKE'	VERONICA LAKE HEBE	5 GAL	30	M									
	HEU SAN	HEUCHERA MAXIMA 'SANTA ANA CARDINAL'	ISLAND ALUM ROOT	5 GAL	209	L									
	LOR CHI	LOROPETALUM CHINENSE	GREEN LOROPETALUM	5 GAL	3	M									
	LOR BUR	LOROPETALUM CHINENSE RUBRUM 'BURGUNDY'	BURGUNDY LOROPETALUM	5 GAL	16	M									
	MAG WAT	MAGNOLIA STELLATA 'WATERLILY'	STAR MAGNOLIA	15 GAL	2	M									
	NAN DOM	NANDINA DOMESTICA	HEAVENLY BAMBOO	5 GAL	19	L									
	OLE EUR	OLEA EUROPAEA 'LITTLE OLLIE' TM	LITTLE OLLIE OLIVE	5 GAL	10	L									

STREET TREE, TYP. OF 4
TO BE SELECTED BY DIRECTOR OF PARK
& RECREATION, PER CITY STANDARDS

WATER EFFICIENCY
LOW WATER USE PLANTS = 83%
MEDIUM WATER USE PLANT = 17%

FAIR OAKS TRANSIT VILLAGE

Padus Group, Inc.
2201 Broadway, Suite 604
Oakland, CA 94612
510.251.9276

CONCEPTUAL PLANT LIST

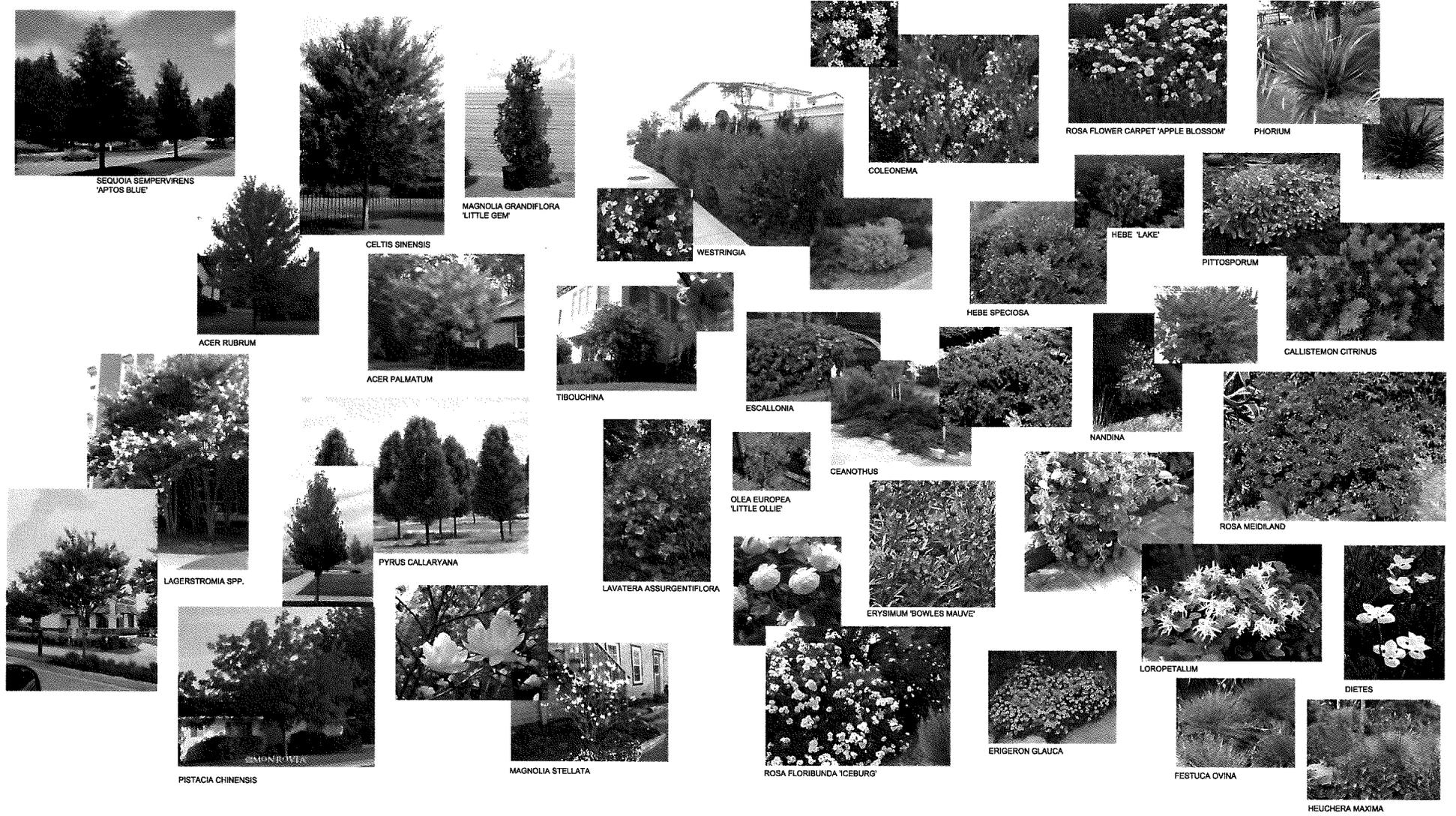
SUNNYVALE, CALIFORNIA
VILA # 1224

11.05.2012 1st SUBMITTAL
02.14.2013 2nd SUBMITTAL
03.29.2013 3rd SUBMITTAL



VAN DORN ABED
LANDSCAPE ARCHITECTS, INC.
811 14TH STREET, SAN FRANCISCO, CA
ZIP 94103 PH (415) 864-8221 FAX (415) 864-4796

L2.1



FAIR OAKS TRANSIT VILLAGE

Padus Group, Inc.
2201 Broadway, Suite 604
Oakland, CA 94612
510.251.9276

CONCEPTUAL PLANT IMAGES

SUNNYVALE, CALIFORNIA

PLA # 1224

11.05.2012 1st SUBMITTAL
02.14.2013 2nd SUBMITTAL
03.29.2013 3rd SUBMITTAL



VAN DORN ABED
LANDSCAPE ARCHITECTS, INC.
81 14TH STREET, SAN FRANCISCO, CA
20 94103 PH (415) 864-5500 FAX (415) 864-4706

L2.2

HYDROZONE LEGEND

-  1-1/2" IRRIGATION WATER METER WITH 2" SERVICE LINE
-  GATE VALVE
-  BACKFLOW PREVENTER
-  MASTER VALVE AND FLOW SENSOR
-  SMART IRRIGATION CONTROLLER
-  HYDROZONE 1: LOW WATER USE, SUN EXPOSURE, DRIP IRRIGATED SHRUB & GROUND COVER AREAS
-  HYDROZONE 2: LOW WATER USE, PARTIAL SHADE EXPOSURE, DRIP IRRIGATED SHRUB & GROUND COVER AREAS
-  HYDROZONE 3: LOW WATER USE, SUN EXPOSURE, DRIP IRRIGATED BIOSWALE AREAS

NOTE: ALL TREES SHALL HAVE DEEP WATERING BUBBLERS ON SEPARATE VALVE CIRCUITS (BUBBLERS NOT SHOWN FOR DESIGN CLARITY)

IRRIGATION DESIGN INTENT STATEMENT

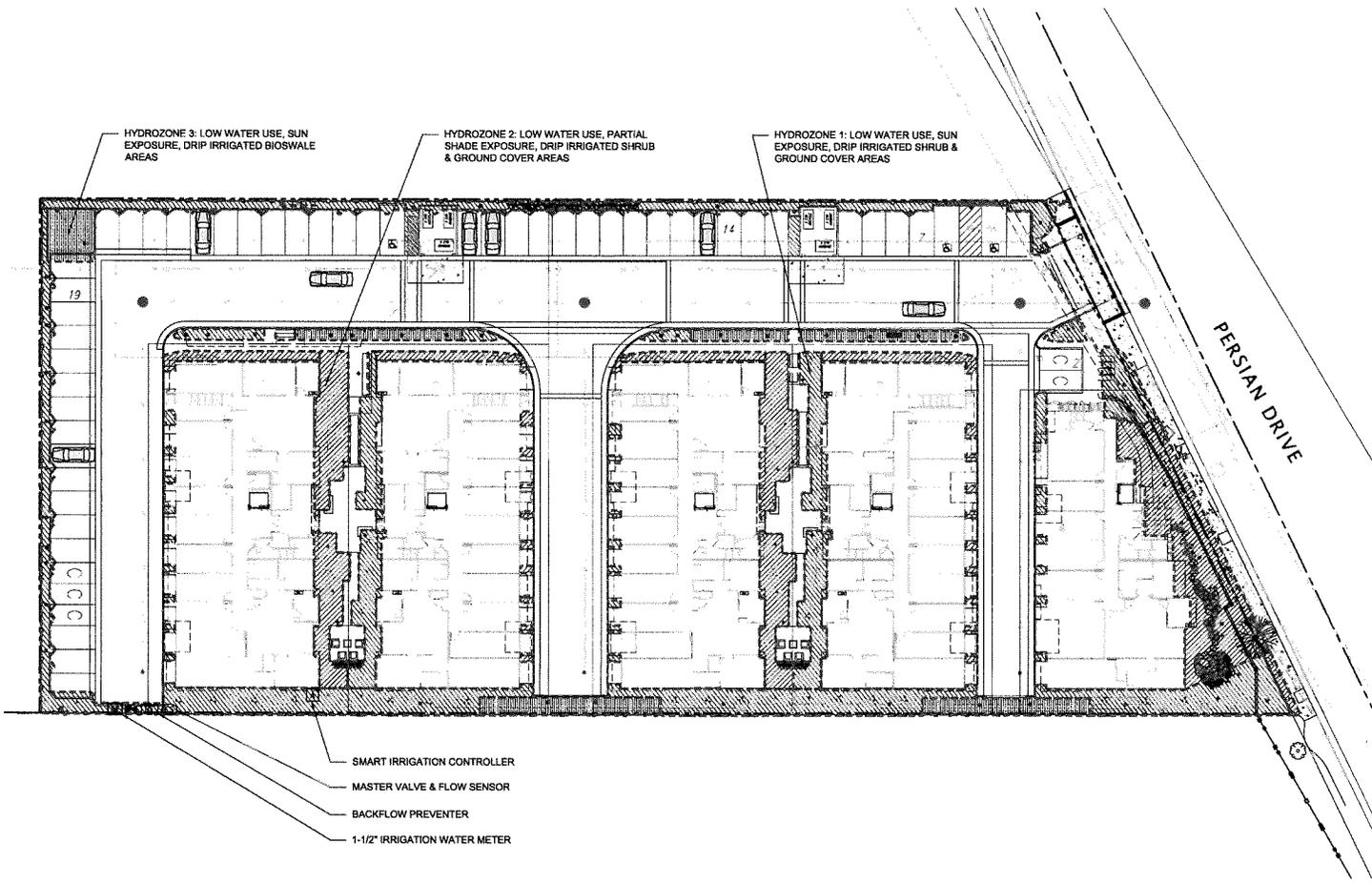
THE IRRIGATION SYSTEMS WILL UTILIZE A COMBINATION OF PRESSURE COMPENSATING LOW VOLUME DRIP EMITTERS, AND PRESSURE COMPENSATING LOW FLOW BUBBLERS. THE LOW, MEDIUM AND HIGH WATER USE HYDROZONES WILL BE ON SEPARATE VALVE CIRCUITS. PLANT SPECIES WILL BE GROUPED BY HYDROZONES. ALL NEW TREES WILL BE IRRIGATED WITH DEEP WATERING BUBBLERS.

SMART E.T. BASED IRRIGATION CONTROLLERS SHALL BE UTILIZED TO OPTIMIZE EFFICIENT WATER APPLICATION. SMART CONTROLLERS AUTOMATICALLY ADJUST THEIR DAILY WATER SCHEDULE PROGRAMMING BASED UPON THE LOCAL CLIMATE AT THE PROJECT SITE. SMART CONTROLLERS RECEIVE WIRELESS DATA DAILY FROM THE IRRIGATION MANUFACTURERS WEATHER DATA SERVICE. A RAIN SWITCH WILL BE INSTALLED TO PREVENT IRRIGATION DURING RAINY PERIODS.

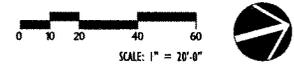
A FLOW SENSOR AND MASTER VALVE WILL BE CONNECTED TO THE SMART CONTROLLER TO ALLOW AUTOMATIC SHUT OFF OF ANY VALVE CIRCUIT OR MAIN LINE IN THE EVENT OF A PIPE BRAKE TO PREVENT WATER WASTE.

THE IRRIGATION SYSTEM DESIGN WILL COMPLY WITH THE 2010 CALIFORNIA WATER EFFICIENT LANDSCAPE ORDINANCE.

SEE PLANTING PLAN, SHEET L3.0



- SMART IRRIGATION CONTROLLER
- MASTER VALVE & FLOW SENSOR
- BACKFLOW PREVENTER
- 1-1/2" IRRIGATION WATER METER



FAIR OAKS TRANSIT VILLAGE

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Oakland, CA 94612
510.251.9276

CONCEPTUAL HYDROZONE PLAN

SUNNYVALE, CALIFORNIA

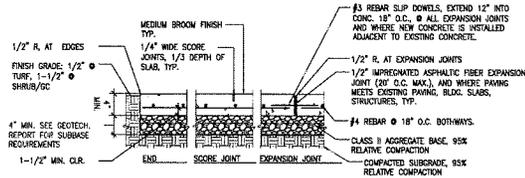
VALA # 1224

11.05.2012 1st SUBMITTAL
03.14.2013 2nd SUBMITTAL
03.29.2013 3rd SUBMITTAL

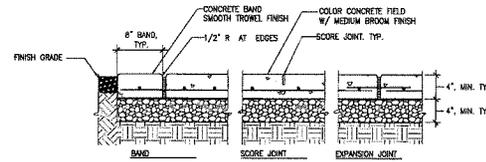


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94102 PH (415) 864-7821 FAX (415) 864-6796

L3.0



A CONCRETE PAVING
1'-1'-0"



B DECORATIVE CONCRETE PAVING w/ BANDING
1'-1'-0"

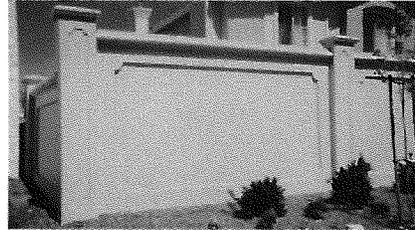


NOTES:
STREET PRINT OR EQUIVALENT. COLOR AND PATTERN TBD.
COORDINATE COLOR & PATTERN WITH ARCHITECTURE, TYP.

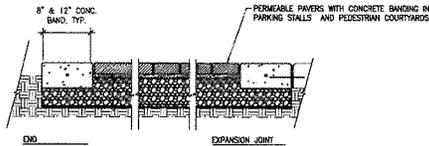
C DECORATIVE ASPHALT PAVING
NTS



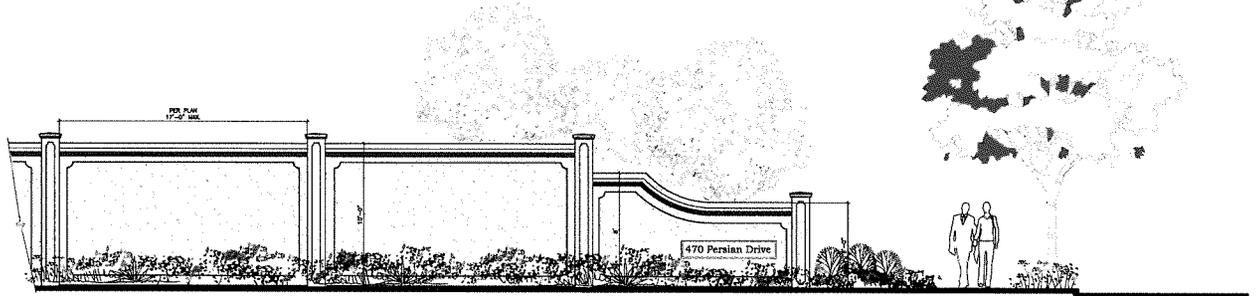
NOTES:
CALSTONE OR EQUIVALENT. COLOR AND PATTERN TBD.
COORDINATE COLOR & PATTERN WITH ARCHITECTURE, TYP.



NOTES:
PRECAST SOUNDWALL "ANDALUCIA" BY
PRINTEX CONCRETE www.printexprecastconcrete.com
825 INDEPENDENCE AVENUE
MOUNTAIN VIEW, CA 94043
TEL: (650) 967-7219 FAX: (650) 967-0109



D PERMEABLE CONCRETE PAVERS
1' - 1'-0"



E DECORATIVE SOUNDWALL AND ENTRY SIGNAGE
1/2"-1'-0"

FAIR OAKS TRANSIT VILLAGE

Padus Group, Inc.
2201 Broadway, Suite 604
Oakland, CA 94612
510.251.9276

CONCEPTUAL LANDSCAPE DETAILS

L4.0

SUNNYVALE, CALIFORNIA
VLA # 1224

11.05.2013 1st SUBMITTAL
02.14.2013 2nd SUBMITTAL
03.20.2013 3rd SUBMITTAL



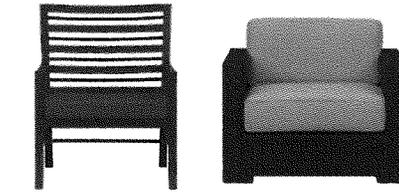
VAN DORN ABED
LANDSCAPE ARCHITECTS, INC.
91 4TH STREET, SAN FRANCISCO, CA
94 103 PH (415) 964-5261 FAX (415) 964-0796



NOTES:
"BENTO" NATURAL GAS PRECAST FIRE PIT
BY PALOFORM
(888) 823-8883 www.paloform.com



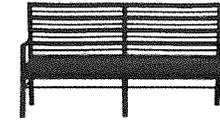
A GAS FIRE PIT
NTS



OPT. 1: VALENCIA LOUNGE CHAIR OPT. 2: VENTURA LOUNGE CHAIR

NOTES:
OUTDOOR SEATING BY CRATE & BARREL
OR EQUIVALENT
www.crateandbarrel.com 800.967.6696

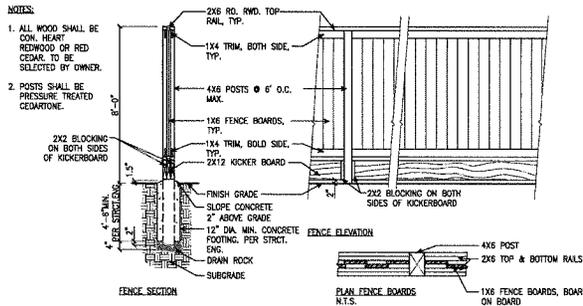
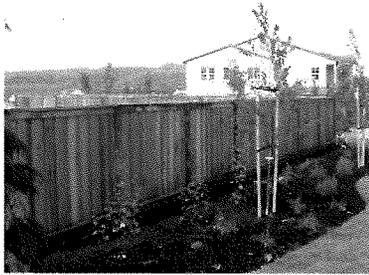
B OUTDOOR SEATING
NTS



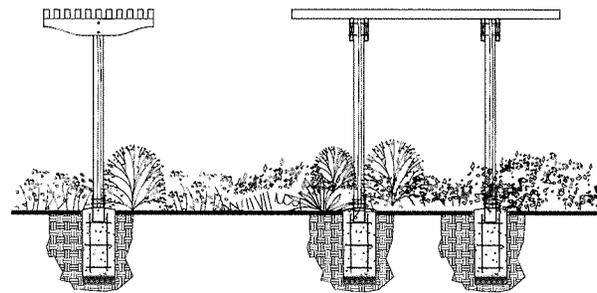
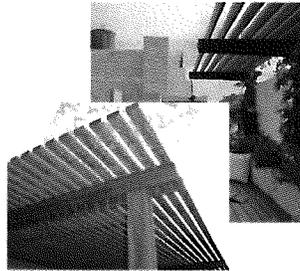
VALENCIA BENCH

NOTES:
OUTDOOR BENCH BY CRATE & BARREL
OR EQUIVALENT
www.crateandbarrel.com 800.967.6696

C BENCH
NTS



D 8' TALL GOOD NEIGHBOR FENCE
3/8" - 1'-0"

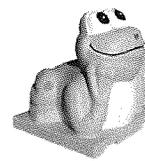


E 2-POST TRELLIS
1/2"-1'-0"



NOTES:
BLUE STONE STEPPING STONES

F STEP STONES TO GARDEN SITTING AREA
NTS



NOTES:
SMALL CONCRETE CLIMBING ANIMAL BY WALUSAU TILE OR SIMILAR

G SMALL CHILDREN'S CLIMBING ANIMAL
NTS

FAIR OAKS TRANSIT VILLAGE

Padus Group, Inc.
2201 Broadway, Suite 604
Oakland, CA 94612
510.251.9276

CONCEPTUAL LANDSCAPE DETAILS

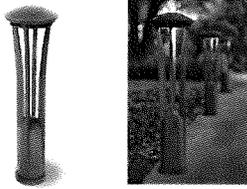
SUNNYVALE, CALIFORNIA
VALA # 1224

11.05.2013 1st SUBMITTAL
02.14.2013 2nd SUBMITTAL
03.20.2013 3rd SUBMITTAL



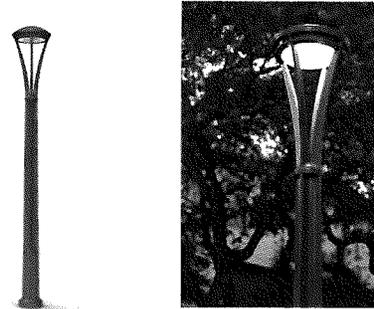
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LANDSCAPE ARCHITECTS, INC.
81 14TH STREET, SAN FRANCISCO, CA
ZP 94103 PH (415) 864-9212 FAX (415) 864-0796

L4.I



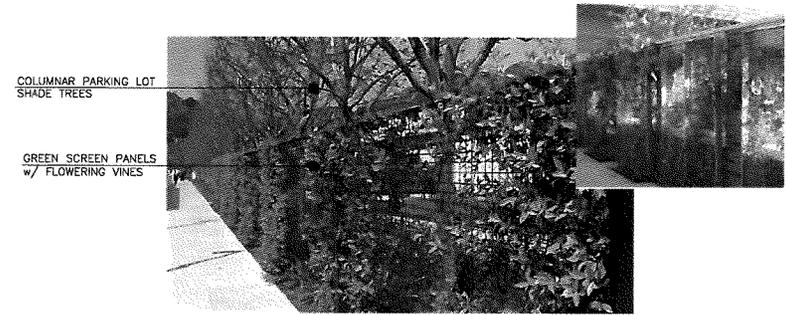
NOTES:

'HAWTHORNE' 3' TALL LED BOLLARD LIGHT OR EQUIVALENT
www.landscapeforms.com



NOTES:

'ALCOTT' 12' TALL LED POLE LIGHT OR EQUIVALENT
www.landscapeforms.com



A BOLLARD LIGHT
NTS

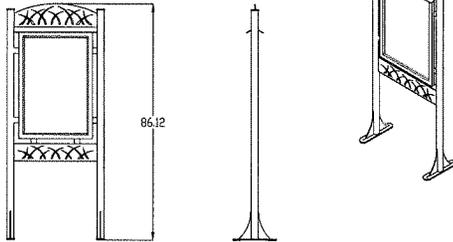
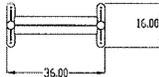
B POLE LIGHT
NTS

C GREEN SCREEN PANELS AT PARKING STALLS
NTS

NOTES:
TRANSIT INFORMATION KIOSK BY MAGLIN OR SIMILAR.



MAGLIN



GREEN SCREEN PANEL, TYP.

COLOR & FINISH TO MATCH ARCHITECTURE



NOTE: REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.



NOTES:

'EMERSON' MODERN U-SHAPE BIKE RACK BY LANDSCAPE FORMS OR EQUIVALENT
www.landscapeforms.com

QTY: 2 (ACCOMMODATES 4 BICYCLES)

C *TDM* TRANSIT KIOSK
NTS

D TRASH ENCLOSURE w/ INSET GREEN SCREEN PANELS
3/8" - 1'-0"

E BIKE RACK
NTS

FAIR OAKS TRANSIT VILLAGE

Padus Group, Inc.
2201 Broadway, Suite 604
Oakland, CA 94612
510.251.9276

CONCEPTUAL LANDSCAPE DETAILS

L4.2

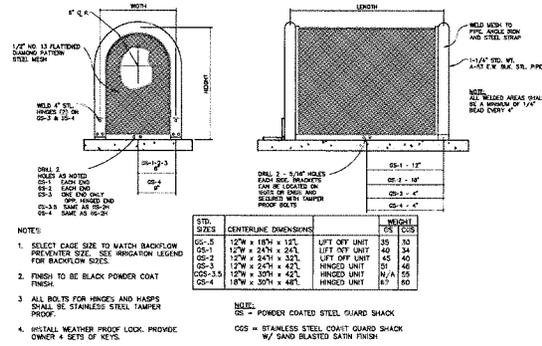
SUNNYVALE, CALIFORNIA

MLA # 1224

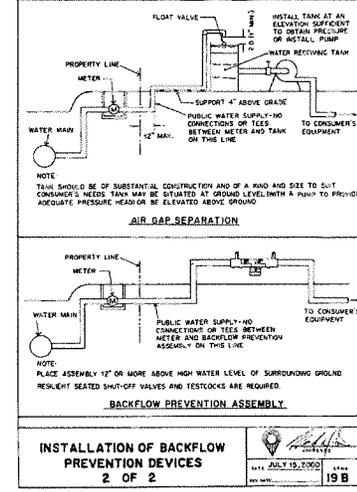
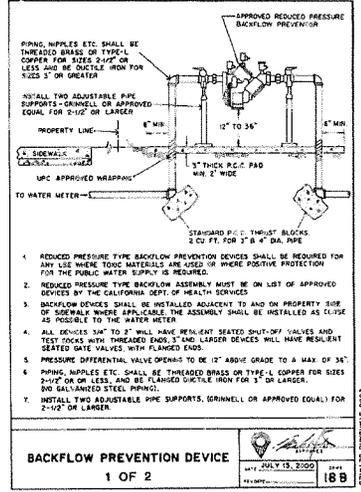
11.03.2012 1st SUBMITTAL
02.14.2013 2nd SUBMITTAL
03.20.2013 3rd SUBMITTAL



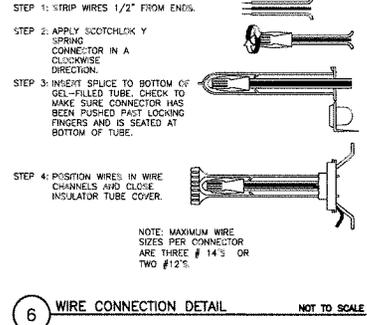
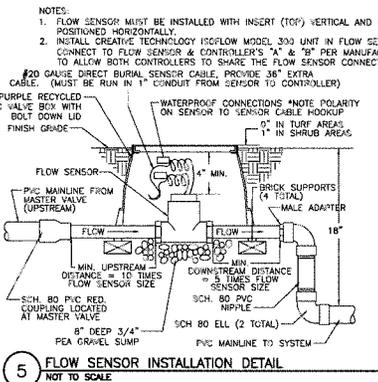
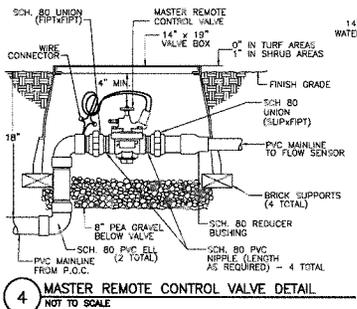
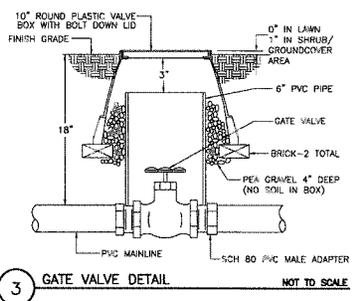
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LANDSCAPE ARCHITECTS, INC.
81 14TH STREET, SAN FRANCISCO, CA
94103 PH (415) 864-9221 FAX (415) 864-6796



1 GUARDSHACK 1/2" - 2" BACKFLOW CAGE DETAIL
NOT TO SCALE



2 CITY OF SUNNYVALE BACKFLOW DETAIL
NOT TO SCALE



FAIR OAKS TRANSIT VILLAGE

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2201 Broadway, Suite 604
Oakland, CA 94612
510.251.9276

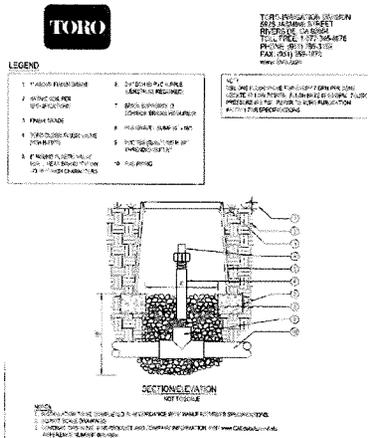
CONCEPTUAL IRRIGATION DETAILS

SUNNYVALE, CALIFORNIA
VIA # 1224
11.05.2012 1st SUBMITTAL
02.14.2013 2nd SUBMITTAL
03.29.2013 3rd SUBMITTAL

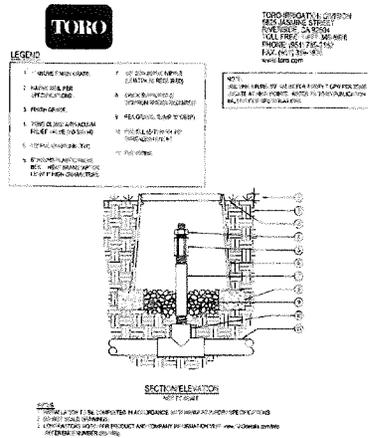


VAN DORN ABED LANDSCAPE ARCHITECTS, INC.
81 14TH STREET, SAN FRANCISCO, CA
2P 94103 PH (415) 864-1921 FAX (415) 864-0796

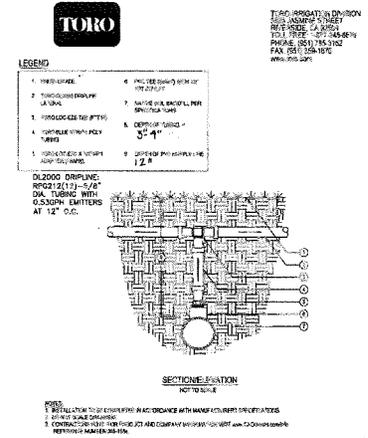
L4.3



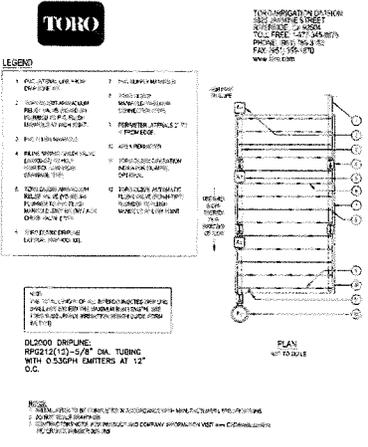
1 DRIP CIRCUIT FLUSH VALVE DETAIL
NOT TO SCALE



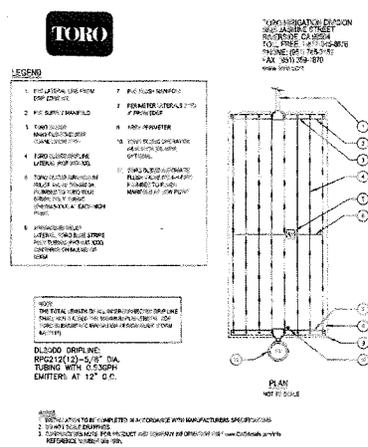
2 DRIP CIRCUIT AIR VACUUM RELIEF VALVE DETAIL
NOT TO SCALE



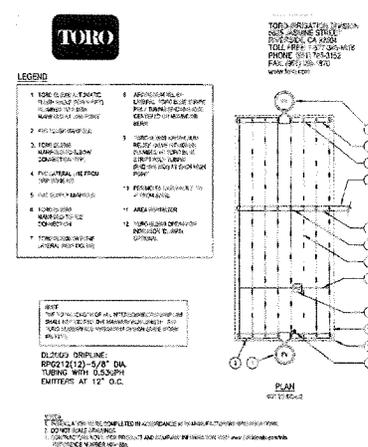
3 DRIP CIRCUIT FEED MANIFOLD CONNECTION DETAIL
NOT TO SCALE



4 DRIP CIRCUIT LAYOUT - SLOPE DETAIL
NOT TO SCALE



5 DRIP CIRCUIT LAYOUT - END FEED DETAIL
NOT TO SCALE



6 DRIP CIRCUIT LAYOUT - CENTER FEED DETAIL
NOT TO SCALE

DRIP CIRCUIT NOTES (FOR DETAILS 1-6):

1. ALL DRIP TUBING SHALL BE INSTALLED 3"-4" BELOW GRADE.
2. ALL PVC LATERALS LINES, INCLUDING PVC FEED LINES, SHALL BE INSTALLED 12" BELOW GRADE.
3. SEE IRRIGATION LEGEND FOR TUBING SPECIFICATIONS.
4. SEE NOTES AT EACH DRIP DETAIL FOR ADDITIONAL REQUIREMENTS.
5. CONTACT CHRIS STEELE, TORO IRRIGATION SPECIFICATION SALES MANAGER, 555-775-8678, PRIOR TO INSTALLATION OF DRIP TUBING TO REVIEW INSTALLATION REQUIREMENTS.

FAIR OAKS TRANSIT VILLAGE

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Oakland, CA 94612
510.251.9276

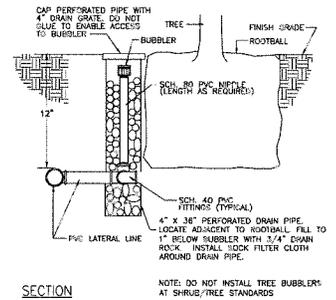
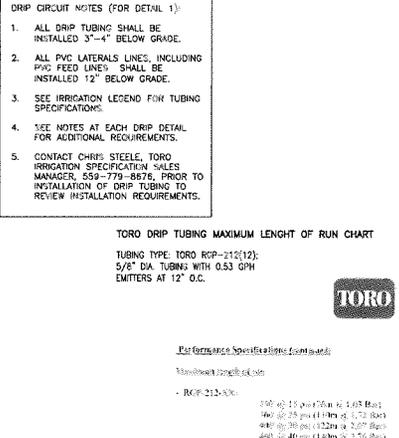
CONCEPTUAL IRRIGATION DETAILS

SUNNYVALE, CALIFORNIA
VIA # 1224
11.05.2012 1st SUBMITTAL
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LANDSCAPE ARCHITECTS, INC.
81 14TH STREET, SAN FRANCISCO, CA
2P 94103 PH (415) 864-9221 FAX (415) 864-0796

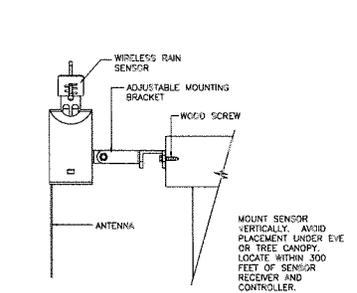
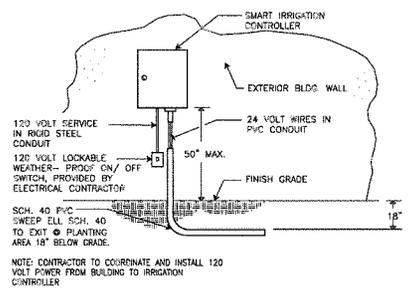
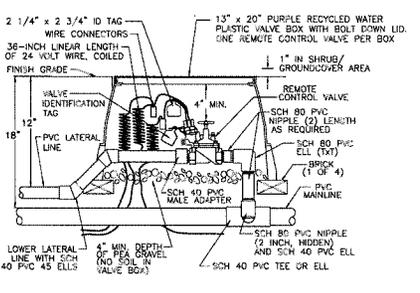
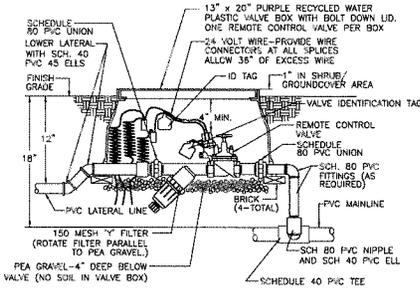
L4.4



1 DRIP CIRCUIT ODD SHAPE LAYOUT - END FEED DETAIL
NOT TO SCALE

2 DRIP CIRCUIT MAXIMUM TUBING LENGTH CHART
NOT TO SCALE

3 TREE BUBBLER (1 BUBBLER/TREE)
NOT TO SCALE



FAIR OAKS TRANSIT VILLAGE

Padus Group, Inc.
2201 Broadway, Suite 604
Oakland, CA 94612
510.251.9276

CONCEPTUAL IRRIGATION DETAILS

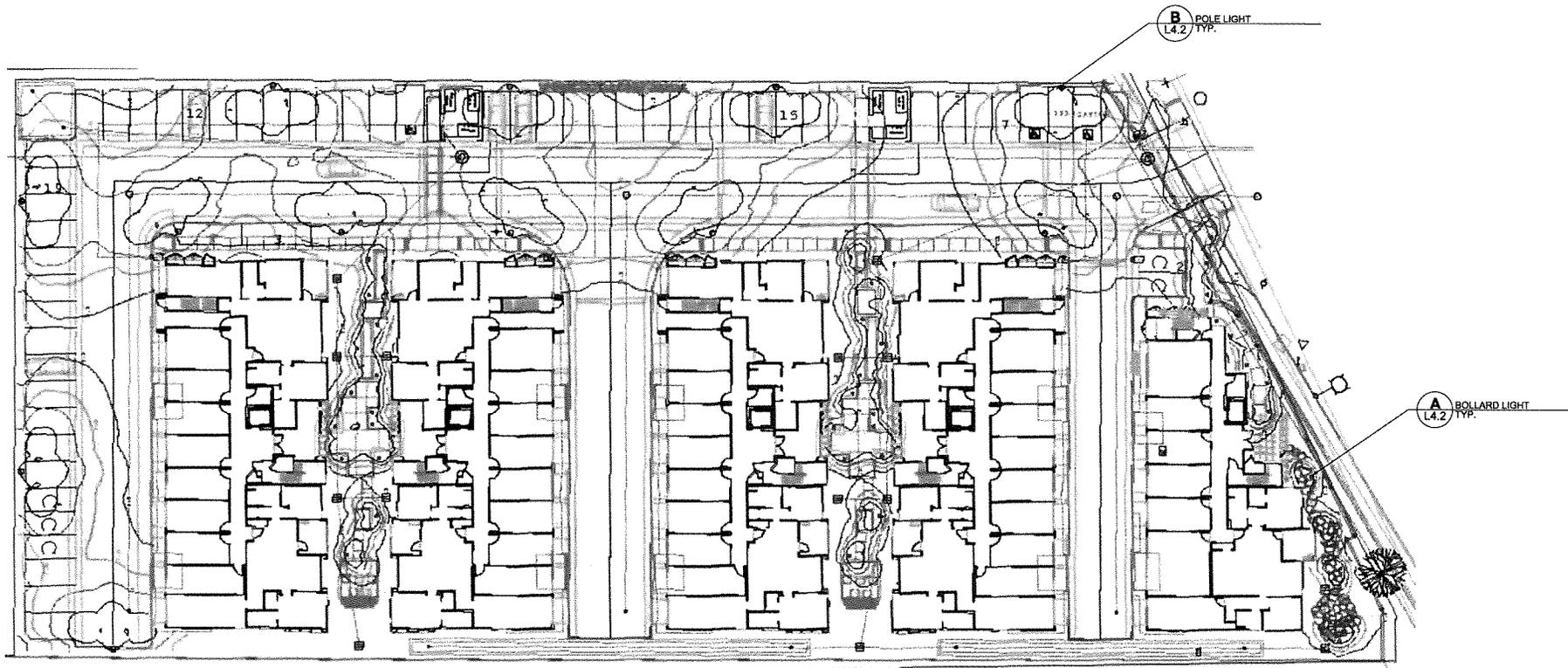
SUNNYVALE, CALIFORNIA

VAL# 1224
11.05.2012 1st SUBMITTAL
02.14.2013 2nd SUBMITTAL
03.29.2013 3rd SUBMITTAL



VAN DORN ABED
LANDSCAPE ARCHITECTS, INC.
81 14TH STREET, SAN FRANCISCO, CA
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L4.5



FAIR OAKS TRANSIT VILLAGE

Padus Group, Inc.
2201 Broadway, Suite 604
Oakland, CA 94612
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PHOTOMETRIC PLAN

SUNNYVALE, CALIFORNIA

PLAN # 1224

11.05.2012 1st SUBMITTAL
02.14.2013 2nd SUBMITTAL
03.29.2013 3rd SUBMITTAL



VAN DORN ABED
LANDSCAPE ARCHITECTS, INC.
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ZIP 94103 PH (415) 864-8221 FAX (415) 864-4796



L5.0

June 1, 2013

Gerri Caruso
Principal Planner
City of Sunnyvale Community Development
456 West Olive Avenue
Sunnyvale, Ca. 94088

Re: 470 Persian Drive Development

Dear Ms. Caruso:

The Sunnyvale Hindu Temple and Community Center would like to endorse the approval of the Padus Group's proposal to build 47 new condominiums along Persian Drive. We feel that the new development will be a compliment to the neighborhood and surrounding area. We are enjoying the full use of our recently remodeled center and hope that some of our participants will choose to live at the new community.

Sincerely,



Raj Bhanot
Treasurer