

**REPORT TO PLANNING COMMISSION****Hearing Date:** January 28 , 2013**File Number:** 2012-7951

SUBJECT: **J. Steve Collom of RH Associates (Applicant):** Application for a new two story home located at **1583 Goldfinch Way** in a R-O Zoning District (APN: 309-33-056):

Motion **2012-7951** - Design Review to allow the construction of a new two story home with a floor area ratio of 50% (approximately 3,366 square feet of floor area).

REPORT IN BRIEF:

Existing Site Conditions Single-Family Residential

Surrounding Land Uses

North Single-Family Residential

South Single-Family Residential

East Single-Family Residential

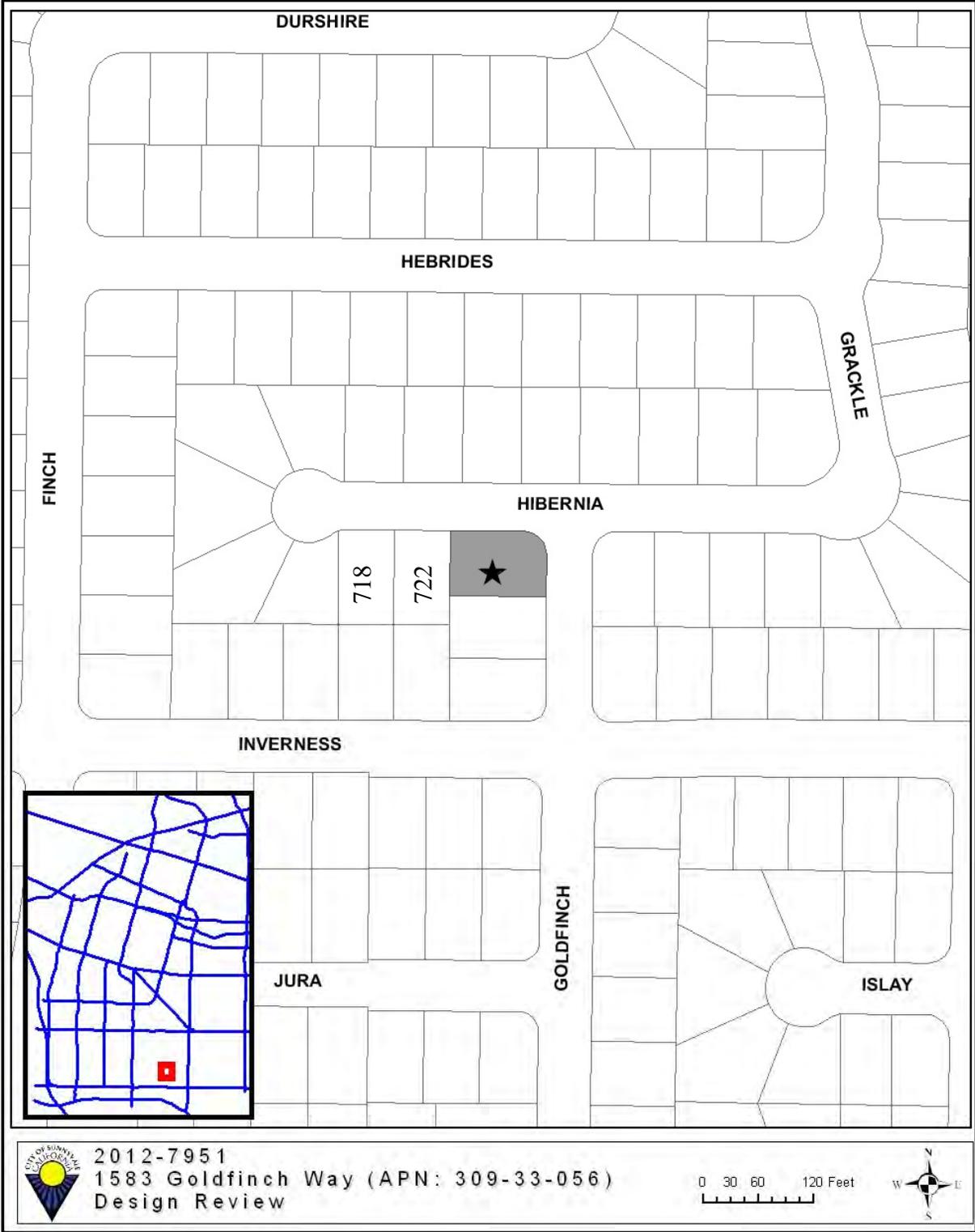
West Single-Family Residential

Issues Design

Environmental Status A Class 3 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines.

Staff Recommendation Approve with conditions

VICINITY MAP



PROJECT DATA TABLE

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
General Plan	Residential Low Density	Same	Residential Low Density
Zoning District	R-O	Same	R-O
Lot Size (s.f.)	6,732	Same	6,000
Gross Floor Area (s.f.)	Vacant	3,366	3,366 (50% Maximum established in original subdivision, floor area includes vaulted area)
Lot Coverage (%)	Vacant	34%	40% max.
Floor Area Ratio (FAR)	Vacant	50%	45% threshold (Threshold for Planning Commission Review)
Building Height (ft.)	Vacant	27'	30' max.
No. of Stories	Vacant	2	2 max.
Setbacks (First/Second Facing Property)			
Front:			
1st Floor	--	20'	20' min.
2nd Floor	--	26'	25' min.
Hibernia Side:			
1st Floor	--	10' 4"	9' min.
2nd Floor	--	13' 10"	12' min.
Left Side:			
1st Floor	--	5' 2"	4' 6" min.
2nd Floor	--	12' 2"	7' 8" min.
Rear	--	24'	20' min.
Parking			
Total Spaces	--	4	4 min.
Covered Spaces	--	2	2 min.

★ Starred items indicate deviations from Sunnyvale Municipal Code requirements.

BACKGROUND:

The subject lot was created in the late 1980's by the subdivision of the former Inverness School site. The original subdivision created 53 single-family lots, most of which were developed in the early 1990's. The original subdivision contained a restriction on the total floor area allowed on each parcel to 50% of the lot area. The proposed home is located on the last remaining vacant lot. The Planning Commission reviewed and approved plans for two new two-story homes on the adjacent vacant lots to the west on July 11, 2011 (718 Hibernia Ct.) and March 26, 2012 (722 Hibernia Ct.).

DISCUSSION:

Requested Permit(s)

The applicant is requesting approval of a Design Review application to allow the construction of a new two story home with a total floor area of 3,366 square feet and Floor Area Ratio of 50%.

- **Design Review**

The Design Review is required to be reviewed by the Planning Commission since the Floor Area Ratio exceeds 45%. The Planning Commission may take into account the proposed architecture, existing neighborhood and adopted Single-Family Design Techniques. The analysis below provides information for the Planning Commission's consideration.

DESIGN REVIEW:

Architecture

The existing neighborhood is comprised of two-story homes of a contemporary architectural style which generally have simple rectilinear forms. The proposed design uses, similar architectural forms, varied setbacks and increased second floor setbacks to reduce the bulk and mass of the structure. The proposed plate heights of 10 feet on the first floor and 9 feet for the second are consistent with those approved for the adjacent homes at 718 and 722 Hibernia Court. The project also includes a reduced plate height (9 feet) for the garage to reduce the emphasis of this element. The proposed exterior materials include stucco, precast concrete and stone veneer.

Privacy

The new two story structure contains windows on the right and left sides of the second floor. The applicant has designed the second floor side elevations to include high sill windows to reduce potential privacy impact on the left (south) side of the home. The right (north) side of the second floor contains larger windows, but privacy is not an issue as it faces Hibernia Court. The applicant has included a second floor balcony facing their rear yard area. Staff has indicated that this may be a potential privacy issue since this would be facing the left (east) side of the home at 722 Hibernia Way. If the Planning Commission finds that the second floor rear balcony will result in privacy issues, a new condition requiring the elimination of the balcony may be added. Staff has included the site plans and elevations of the adjacent home at 722 Hibernia Court for reference (Attachment D).

Solar Access

The applicant submitted a solar access and shadow analysis. According to the analysis, the proposed second story will not result in any shade impacts.

Floor Area Ratio

A Floor Area Ratio (FAR) greater than 45% requires review by the Planning Commission. FARs near 50% can typically be a concern for an existing neighborhood. However, this site is located within a subdivision that set a maximum FAR of 50% and the existing homes are typically at or near a 50% FAR. Based on the available data, the average home in the neighborhood is approximately 3,300 square feet and the average FAR is 49% (see table below). Staff finds that the proposed FAR is comparable to the other homes in this subdivision.

Neighborhood FAR's*				
Address:		Lot Area (s.f.):	Building (s.f.):	FAR:
745	Hibernia	8,055	3,918	49%
741	Hibernia	6,528	3,162	48%
739	Hibernia	6,528	3,362	52%
733	Hibernia	6,528	3,150	48%
731	Hibernia	6,528	3,150	48%
727	Hibernia	6,537	3,365	51%
721	Hibernia	6,528	2,620	40%
719	Hibernia	6,528	3,214	49%
715	Hibernia	7,002	3,493	50%
711	Hibernia	9,506	4,580	48%
705	Hibernia	9,325	3,893	42%
710	Hibernia	9,471	4,580	48%
714	Hibernia	6,562	2,883	44%
718	Hibernia	6,010	3,004	50%
722	Hibernia	6,109	3,052	50%
1583	Goldfinch	6,732	3,366	50%
1587	Goldfinch	6,800	3,504	52%
1591	Goldfinch	6,714	3,226	48%
731	Inverness	6,342	3,150	50%
729	Inverness	6,420	3,150	49%
723	Inverness	6,420	3,150	49%
717	Inverness	6,240	3,150	50%
711	Inverness	6,488	3,334	51%
757	Inverness	6,000	3,103	52%
751	Inverness	6,000	3,083	51%
747	Inverness	6,100	3,103	51%
743	Inverness	6,007	3,103	52%

Neighborhood FAR's*				
Address:		Lot Area (s.f.):	Building (s.f.):	FAR:
1590	Goldfinch	6,622	3,268	49%
730	Hibernia	6,123	3,150	51%
734	Hibernia	6,008	2,959	49%
738	Hibernia	6,008	3,150	52%
742	Hibernia	6,094	3,150	52%
746	Hibernia	6,526	3,246	50%

Applicable Design Guidelines and Policy Documents

The proposed home is consistent with the adopted Single-Family Design Techniques since the proposed design generally maintains the existing form and the streetscape character of the existing neighborhood. Staff has included findings for the Single-Family Design Techniques in Attachment A.

Development Standards

The proposed project complies with the applicable Development Standards as set forth in the Sunnyvale Municipal Code. The following have been identified as items for clarification by the Planning Commission:

- **Parking/Circulation**

The proposed home will provide a two car garage and two uncovered parking spaces within the existing driveway, complying with Zoning Code requirements.

- **Landscaping and Tree Preservation**

The proposed project does not include the removal of any trees since the site is vacant and it does not include a landscape plan at this time. The Conditions of Approval for the original subdivision require the installation of a rear and side yard fence and the installation of front yard landscaping. Landscaped areas greater than 1,000 square feet will need to comply with the City's adopted Water Efficient Landscape Ordinance (WELO) requirements. Staff has added a standard development requirement to the conditions of approval that requires submittal of a separate Miscellaneous Plan Permit (MPP) application for all landscaped area greater than 1,000 square feet including the plan for the rear yard. Staff also added a condition of approval that requires the front yard landscaping be installed within 60 days of occupancy, consistent with the original subdivision.

- **Green Building Requirements**

The proposed project is required to comply with current Green Building requirements and has indicated that they may be able to achieve up to 100 points. The applicant will be required to submit a green building checklist and achieve a minimum of 80 points. The applicant has included a

preliminary Green Building checklist, demonstrating that points can be achieved.

Environmental Review

A Class 3 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines. The proposed project is exempt in that the proposed project will result in a new single-family home within an existing subdivision.

FISCAL IMPACT

No fiscal impacts other than normal fees and taxes are expected.

PUBLIC CONTACT

Staff has not received any comments at the time the staff report was prepared.

Notice of Public Hearing	Staff Report	Agenda
<ul style="list-style-type: none"> • Published in the <i>Sun</i> newspaper • Posted on the site • 46 notices mailed to property owners and residents adjacent to the project site 	<ul style="list-style-type: none"> • Posted on the City of Sunnyvale's Web site • Provided at the Reference Section of the City of Sunnyvale's Public Library 	<ul style="list-style-type: none"> • Posted on the City's official notice bulletin board • Posted on the City of Sunnyvale's Web site

CONCLUSION

The new home is compatible with the surrounding neighborhood and has been designed to meet all development standards required in the R-0 Zoning district.

Findings and General Plan Goals: Staff was able to make the required Findings based on the justifications for the Design Review and the Recommended Conditions of Approval (Attachment B). Recommended Findings and General Plan Goals are located in Attachment A.

ALTERNATIVES

1. Approve the Design Review with the conditions in Attachment B.
2. Approve the Design Review with modified conditions.
3. Deny the Design Review and provide direction to staff and the applicant where changes should be made.

RECOMMENDATION

Recommend Alternative 1 to the Planning Commission: Approve the Design Review with the conditions in Attachment B.

Prepared by:

Shaunn Mendrin
Project Planner

Reviewed by:

Gerri Caruso
Principal Planner

Attachments:

- A. Recommended Findings
- B. Recommended Conditions of Approval
- C. Site and Architectural Plans
- D. 722 Hibernia Court - Site Plan and Left Side Elevation

RECOMMENDED FINDINGS

Design Review

The proposed project is desirable in that the project's design and architecture conforms with the policies and principles of the Single Family Home Design Techniques.

Basic Design Principle	Comments
<i>2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns</i>	The new home will maintain the existing neighborhood patterns along the streetscape.
<i>2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.</i>	The home will result in a home that is slightly taller than the adjacent homes; however, the project has been designed to reduce the apparent scale and bulk through varied setbacks. The proposed home is within the allowable height of 30 feet.
<i>2.2.3 Design homes to respect their immediate neighbors</i>	The proposed structure has been designed to respect their adjacent neighbors through the treatment of the second floor, window placement, entry features and overall massing.
<i>2.2.4 Minimize the visual impacts of parking.</i>	The proposed structure has been designed to minimize the appearance of the garage by reducing the plate height and providing 2 covered and 2 uncovered parking spaces and the use of a higher quality garage door.
<i>2.2.5 Respect the predominant materials and character of front yard landscaping.</i>	The exterior materials are similar to those found in the neighborhood and applied in a manner consistent with the architecture.
<i>2.2.6 Use high quality materials and craftsmanship</i>	Architectural details were added to the design enhancing the overall appearance.
<i>2.2.7 Preserve mature landscaping</i>	The applicant will need to install front yard landscaping within 60 days of a building permit final inspection.

**RECOMMENDED
CONDITIONS OF APPROVAL AND
STANDARD DEVELOPMENT REQUIREMENTS
JANUARY 28, 2013**

Planning Application 2012-7951
1583 Goldfinch Way

Design Review for a new two story home for a total of 3,366 square feet and an FAR of 50%,
subject to the conditions below.

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

<p>GC: THE FOLLOWING GENERAL CONDITIONS AND STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE APPROVED PROJECT.</p>

GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:

All building permit drawings and subsequent construction and operation shall substantially conform with the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]

GC-2. PERMIT EXPIRATION:

The permit shall be null and void two years from the date of approval by the final review authority at a public hearing if the approval is not exercised, unless a written request for an extension is received prior

to expiration date and is approved by the Director of Community Development. [SDR] [PLANNING]

BP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).

BP-1. CONDITIONS OF APPROVAL:

Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]

BP-2. BLUEPRINT FOR A CLEAN BAY:

The building permit plans shall include a “Blueprint for a Clean Bay” on one full sized sheet of the plans. [SDR] [PLANNING]

BP-3. BEST MANAGEMENT PRACTICES:

The project shall comply with the following source control measures as outlined in the BMP Guidance Manual and SMC 12.60.220. Best management practices shall be identified on the building permit set of plans and shall be subject to review and approval by the Director of Public Works:

- a) Storm drain stenciling. The stencil is available from the City's Environmental Division Public Outreach Program, which may be reached by calling (408) 730-7738.
- b) Landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices and programs such as Bay-Friendly Landscaping.
- c) Appropriate covers, drains, and storage precautions for outdoor material storage areas, loading docks, repair/maintenance bays, and fueling areas.
- d) Covered trash, food waste, and compactor enclosures.
- e) Plumbing of the following discharges to the sanitary sewer, subject to the local sanitary sewer agency's authority and standards:
 - i) Discharges from indoor floor mat/equipment/hood filter wash racks or covered outdoor wash racks for restaurants.
 - ii) Dumpster drips from covered trash and food compactor enclosures.
 - iii) Discharges from outdoor covered wash areas for vehicles, equipment, and accessories.

- iv) Swimming pool water, spa/hot tub, water feature and fountain discharges if discharge to onsite vegetated areas is not a feasible option.
- v) Fire sprinkler test water, if discharge to onsite vegetated areas is not a feasible option. [SDR] [PLANNING]

BP-4. FEES AND BONDS:

The following fees and bonds shall be paid in full prior to issuance of building permit.

- a) TRANSPORTATION IMPACT FEE - Pay Traffic Impact fee for the net new trips resulting from the proposed project, estimated at \$2,077.00, prior to issuance of a Building Permit. (SMC 3.50). [SDR] [PLANNING]

BP-5. LANDSCAPE PLAN:

Landscape and irrigation plans shall be prepared by a certified professional, and shall comply with Sunnyvale Municipal Code Chapter 19.37 requirements. Landscape and irrigation plans are subject to review and approval by the Director of Community Development through the submittal of a Miscellaneous Plan Permit (MPP). The landscape plan shall include the following elements:

- a) Front yard landscaping should be consistent with the landscaping in front of existing homes.
- b) Side yard fencing of solid wood and 6 foot high.
- c) Include a City Street Tree within the public right of way.
- h) Ground cover shall be planted so as to ensure full coverage eighteen months after installation.

The landscape plan may be included in the building permit application if the total landscaped area is under 1,000 square feet. If it is 1,000 square feet or more, then a separate MPP shall be submitted demonstrating compliance with Chapter 19.37 for a more efficient design. [COA] [PLANNING]

BP-6. ENCROACHMENT PERMIT – INCLUDED IMPROVEMENTS:

The building permit plans shall include all encroachment permit items. [COA] [PUBLIC WORKS]

EP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED AS PART OF AN ENCROACHMENT PERMIT APPLICATION.

EP-1. INSTALL SIDEWALK AND DRIVEWAY APPROACH:

Remove the existing sidewalk areas and install a new driveway approach and sidewalk as per City standard detail 5C-1 and consistent with . [COA] [PUBLIC WORKS]

EP-2. INSTALL SANITARY SEWER:

Install a sanitary sewer cleanout at the property line per city standard detail 15A. Separate fee of approximately \$3083.00 is required. [COA] [PUBLIC WORKS]

EP-3. INSTALL RADIO-READ WATER METER:

Install a minimum 1" radio-read water meter per city standard detail 4B. Final water meter size to be determined by fire sprinkler design engineer. Separate fee of approximately \$396.00 is required. [COA] [PUBLIC WORKS]

EP-4. CITY STREET TREE:

Install 1 city street tree per lot within the public right-of-way. Tree species will be provided. Pay to Public Works street tree fee of approximately \$234.60, if planted by the City, \$23.45 if planted by the owner/developer. [COA] [PUBLIC WORKS]

EP-5. WATER CONNECTION:

Pay to Public Works the standard occupancy water connection fee of approximately \$486.00. [COA] [PUBLIC WORKS]

PF: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS AND/OR SHALL BE MET PRIOR TO RELEASE OF UTILITIES OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

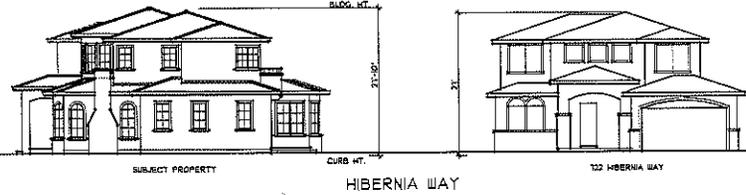
PF-1. LANDSCAPING AND IRRIGATION:

All landscaping and irrigation as conditioned shall be installed within 60 days of occupancy. [COA] [PLANNING]

DC: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.

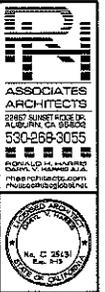
DC-1. BLUEPRINT FOR A CLEAN BAY:

The project shall be in compliance with stormwater best management practices for general construction activity until the project is completed and either final occupancy has been granted. [SDR] [PLANNING]



INDEX OF DRAWINGS

- A1 STREET VIEW AREA DIAGRAMS
- AREA DIAGRAMS
- SITE PLAN
- VICINITY MAP
- A2 MAIN FLOOR PLAN
- A3 UPPER FLOOR PLAN
- A4 ROOF PLAN
- A5 EXTERIOR ELEVATIONS
- A6 EXTERIOR SECTIONS
- A7 BUILDING SECTIONS
- A8 SOLAR PLAN



A PROPOSED RESIDENCE FOR MR & MRS MIN CAI 1583 GOLDFINCH WAY SUNNYVALE, CALIFORNIA

drawings
 SITE PLAN
 revisions
 01/20/20
 project number
 2132
 date
 JAN. 2013
 sheet number
 A1
 of 1 sheets

1 STREET VIEW
3/32" = 1'-0"

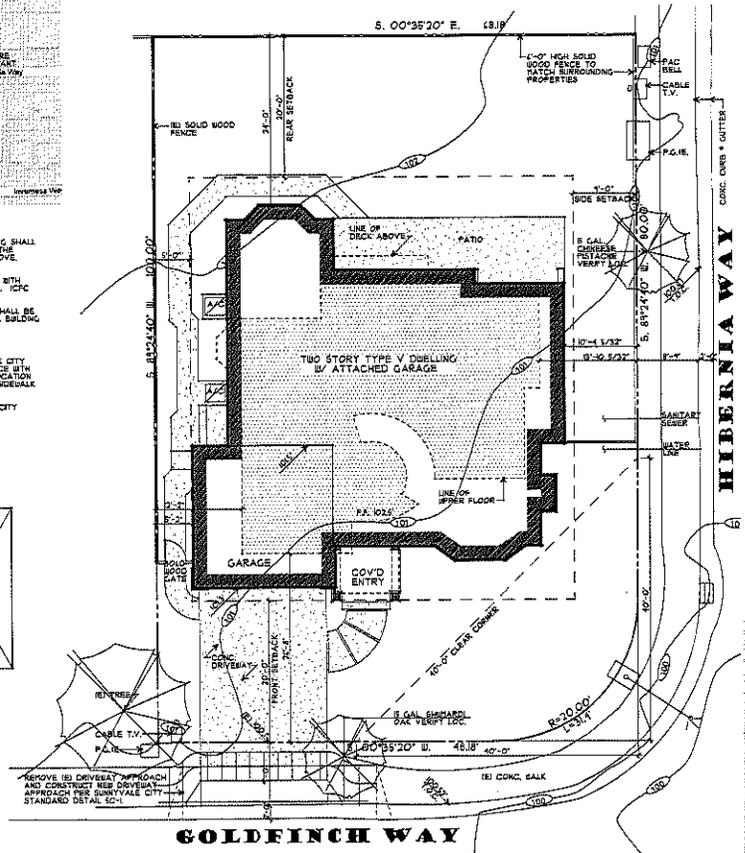
PROJECT DATA TABLE			
EXISTING	PROPOSED	REQUIRED/PERMITTED	
GENERAL PLAN	RESIDENTIAL LOW DENSITY	SAME	RESIDENTIAL LOW DENSITY
ZONING DISTRICT	R-0	SAME	R-0
LOT SIZE	4,139 S.F.	SAME	4,200 S.F. MIN.
CROSS FLOOR AREA	VACANT	3,344 S.F. (50% MAX)	3,344 S.F. (50% MAX)
LOT COVERAGE	VACANT	22.9% S.F. (54.0% MAX)	22.9% S.F. (54.0% MAX)
BUILDING HEIGHT	VACANT	21'-0"	30' MAX.
NO. OF STORES	VACANT	2	2 MAX.
RETRACTS (FIRST/SECOND FACING PROPERTY)			
FRONT	VACANT	20'/24'-4"	20'/28' MIN.
LEFT SIDE	VACANT	5'-7 1/2'-0"	4'7" MIN.
RIGHT SIDE	VACANT	10'-4 1/2'-0"	9'4" MIN.
REAR	VACANT	20'/24'	20' MIN.
PARKING			
TOTAL SPACES	VACANT	4	4 MIN.
COVERED SPACES	VACANT	2	2 MIN.

- LANDSCAPING AND TREE NOTES:**
- THE PROPOSED PROJECT DOES NOT INCLUDE THE REMOVAL OF ANY TREES SINCE THE SITE IS VACANT.
 - THE PROPOSED PROJECT DOES NOT INCLUDE A LANDSCAPE PLAN AT THIS TIME.
 - THE CONDITIONS OF APPROVAL OF THE ORIGINAL SUBDIVISION REQUIRE THE INSTALLATION OF SIDE AND REAR YARD FENCING (SHOWN ON SITE PLAN).
 - LANDSCAPED AREAS GREATER THAN 1,000 SQ. FT. SHALL COMPLY WITH THE CITY'S ACCEPTED WATER USE LANDSCAPING REQUIREMENTS. A TRIANGULAR PLAN PRINT APPLICATION FOR LANDSCAPED AREA GREATER THAN 1,000 SQ. FT. SHALL BE REQUIRED.
 - PER SUNNYVALE MUNICIPAL CODE 18.020 AND THE EXISTING SITE CONDITION, A MINIMUM 5' STREET TREES SHALL BE INSTALLED. THE STREET TREE FOR THE GOLDFINCH WAY SIDE IS SHAWBARK OAK AND FOR THE HIBERNIA COURT SIDE IS CHORISTE PISTACHE. THE MENTIONED ABOVE STREET TREE SIZE IS 6 GALLONS OR 2" BOK. STREET TREES SHALL BE IN PUBLIC RIGHT-OF-WAY.



- FIRE DEPARTMENT NOTES:**
- THE WATER SUPPLY FOR FIRE PROTECTION AND FIREIGHTING SHALL BE APPROVED BY THE DEPARTMENT OF PUBLIC SAFETY. THE LOCATION OF FIRE HYDRANTS ARE SHOWN ON THE MAP ABOVE.
 - THE OCCUPANCY SHALL BE PROTECTED BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH NFPA 13. NFPA 13E SPRINKLER SYSTEMS ARE NOT ALLOWED. IFC 1033 AS AMENDED BY SMC 4.5.3.3(2)
 - SMoke DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED THROUGHOUT IN ACCORDANCE WITH RESIDENTIAL BUILDING CODE.

- PUBLIC WORKS NOTES:**
- INSTALL A NEW RADIO-READ WATER METER PER SUNNYVALE CITY STANDARD DETAIL 98. WITH ADEQUATE SIZE IN ACCORDANCE WITH CITY-APPROVED FIRE SPRINKLER PLANS. WATER METER LOCATION SHALL BE LOCATED IN PUBLIC RIGHT OF WAY AND NOT IN SIDEWALK OR DRIVEWAY APPROACH.
 - INSTALL NEW SANITARY SEWER CLEANOUT PER SUNNYVALE CITY STANDARD DETAIL 97A.

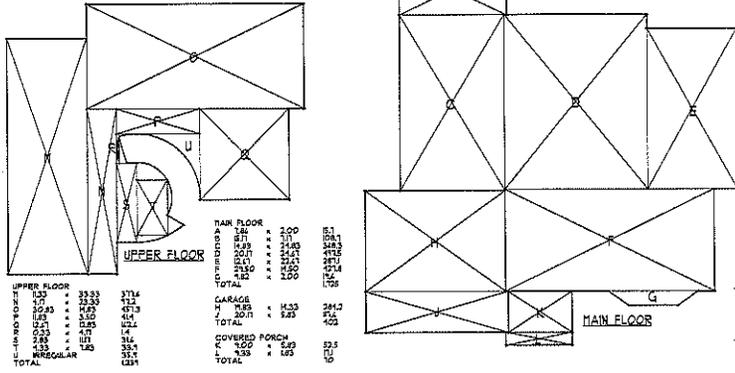


PROJECT INFO

OWNER: MR. & MRS. MIN CAI
 1583 GOLDFINCH WAY
 SUNNYVALE, CA 94087
 JOB ADDRESS: 583 GOLDFINCH WAY
 SUNNYVALE, CA 94087
 ZONING: R-0
 BUILDING OCCUPANCY GROUP(S): R-3/4
 TYPE(S) OF CONSTRUCTION: XX-0
 OCCUPANCY CATEGORY: II
 A.P.N.: 307-33-054
 FIRE SPRINKLERS: YES
 ARCHITECT: RHI ASSOCIATES ARCHITECTS
 2281 SUNSET BLVD. SUITE 200
 AUBURN, CA 95602
 CONTACT: STEVE COLLON
 (916) 245-3028
 steve@rhiassoc.com
 CIVIL ENGR: CTL ENGINEERING, INC.
 210 BOX 2149
 PLEASANTON, CA 94588
 CONTACT: SHEN TANG
 (925) 421-8071
 sttang@comcast.net

AREA SCHEDULE

LOT AREA	4,132 S.F.
UNLIVABLE AREA	1,126 S.F.
MAIN FLOOR	1,238 S.F.
UPPER FLOOR	1,238 S.F.
TOTAL	2,476 S.F.
GARAGE	402 S.F.
COVERED PORCH	70 S.F.
LOT COVERAGE ALLOWED (40%)	2,453 S.F.
PROPOSED (214%)	2,589 S.F.
FLOOR AREA ALLOWED (60%)	3,344 S.F.
PROPOSED (214%)	3,344 S.F.
PERVIOUS SURFACE	3,414 S.F.
IMPERVIOUS SURFACE	3,258 S.F.

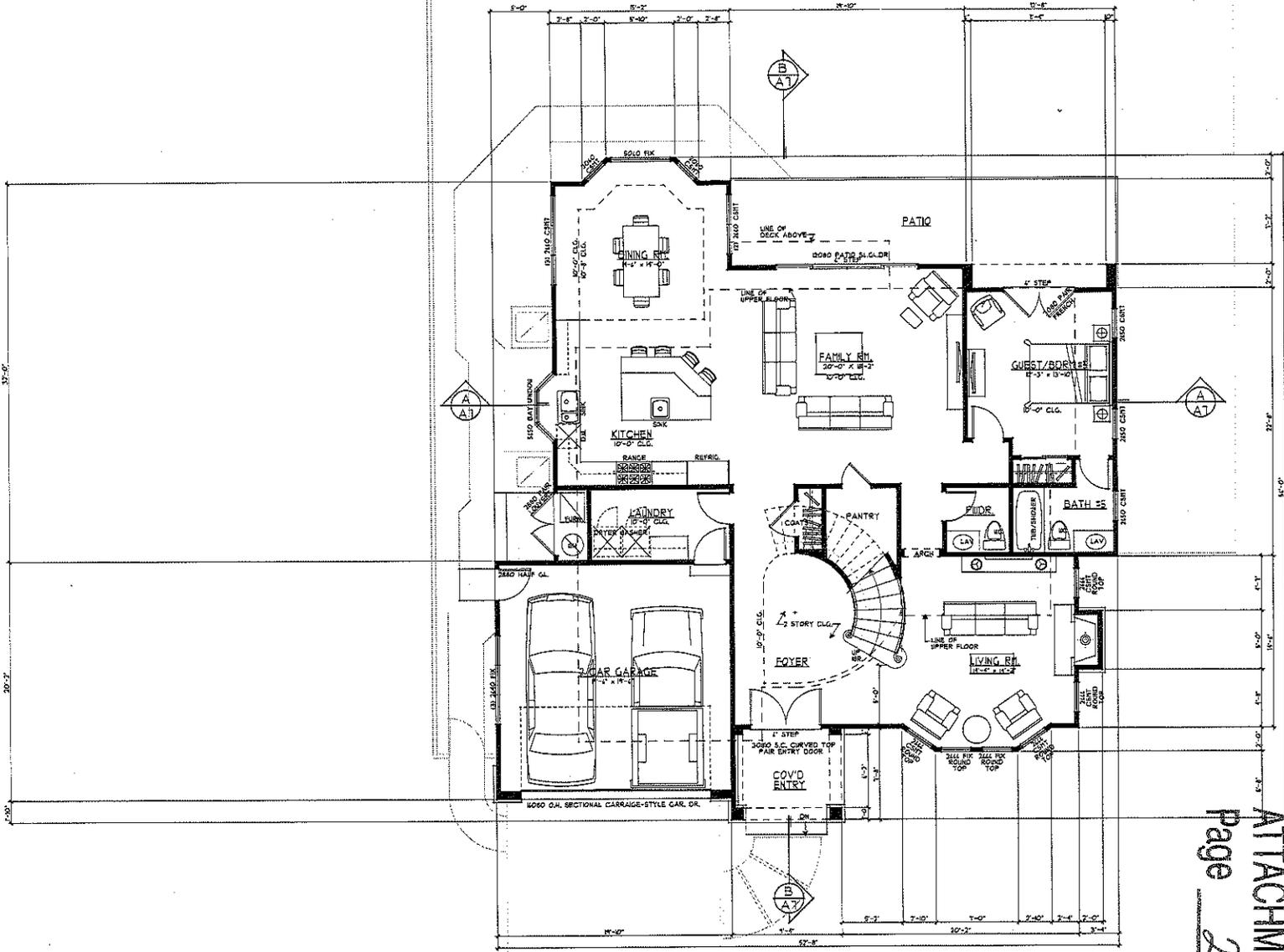


2 AREA DIAGRAMS
1/8" = 1'-0"

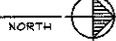
3 SITE PLAN
1/8" = 1'-0"

4 VICINITY MAP
NO SCALE

82



1 MAIN FLOOR PLAN
1/4" = 1'-0"



70
ASSOCIATES
ARCHITECTS
3810 EAST 100TH
ALHAMBRA, CA 91802
530-268-3055
KIMBERLY A. JACKSON
DANIEL W. JAMES AIA
PETER W. HERRING AIA
PHOTOGRAPHY: JAMES W. HERRING



A PROPOSED RESIDENCE FOR:
MRS. & MRS. MIN CAI
1583 GOLDFINCH WAY
SUNNYVALE, CALIFORNIA

Drawings
MAIN FLOOR
PLAN

revisions
DATE PLANNING

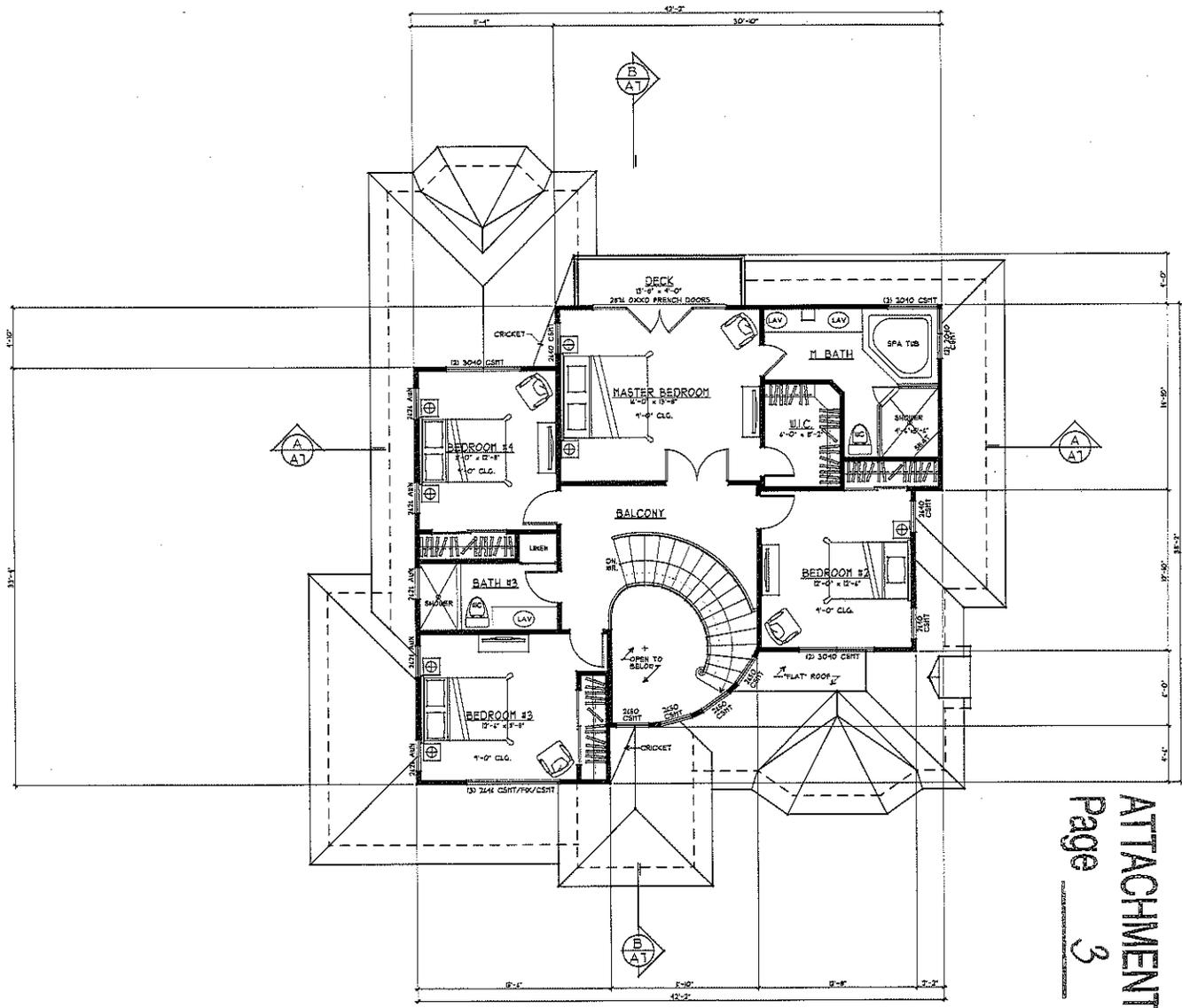
project number
2152

date
JAN. 2013

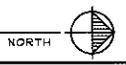
sheet number

A2
of sheets

ATTACHMENT
Page 2 of 8
C



1
A 2 UPPER FLOOR PLAN
1/4" = 1'-0"



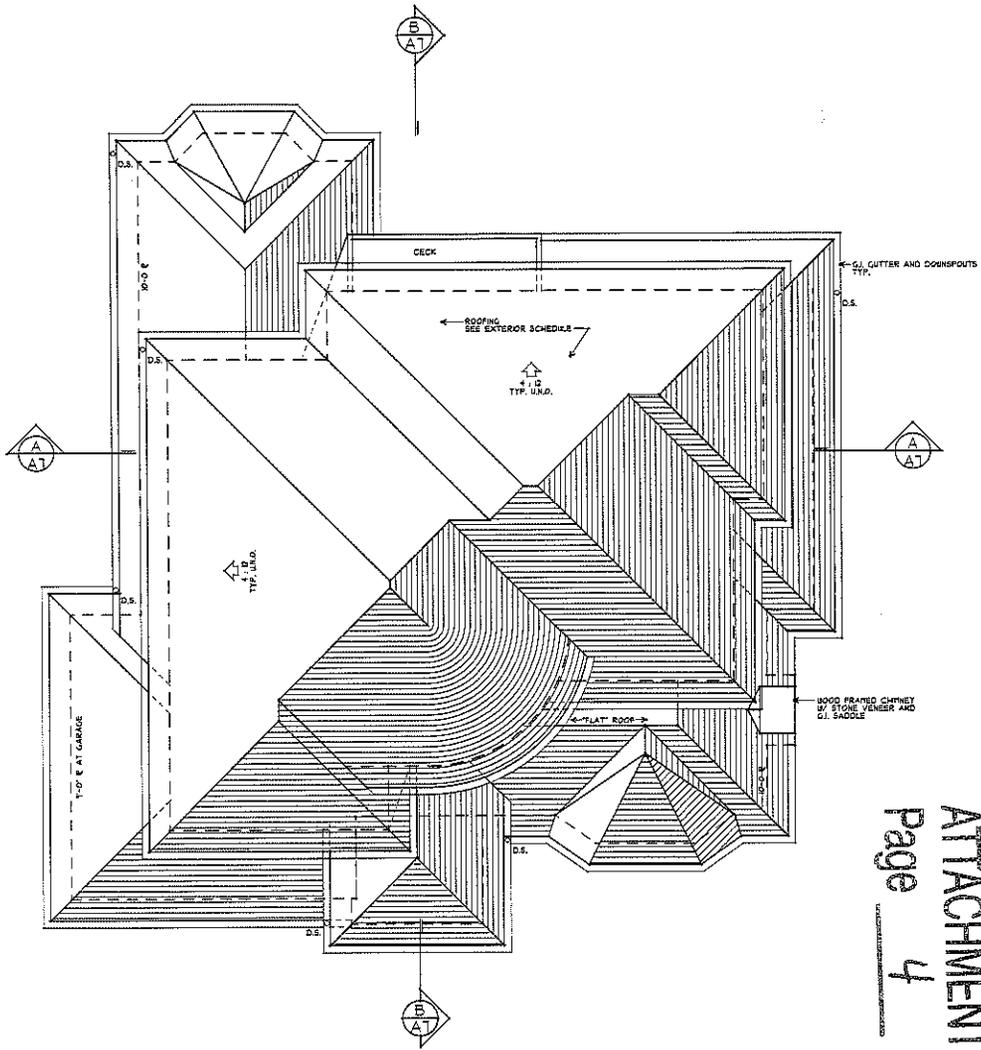
ATTACHMENT
Page 3 of 8
C

AB ASSOCIATES ARCHITECTS
3055 E. JUSTICE DR.
ALHAMBRA, CA 91802
530-268-3055



A PROPOSED RESIDENCE FOR:
MRS. & MRS. MIN SAI
1583 GOLDFINCH WAY
SUNNYVALE, CALIFORNIA

Drawings	UPPER FLOOR PLAN
Revisions	DATE/PLANNING
Project Number	2132
Date	JAN. 2013
Sheet Number	
of sheets	3



1 ROOF PLAN
A4 1/4" = 1'-0"



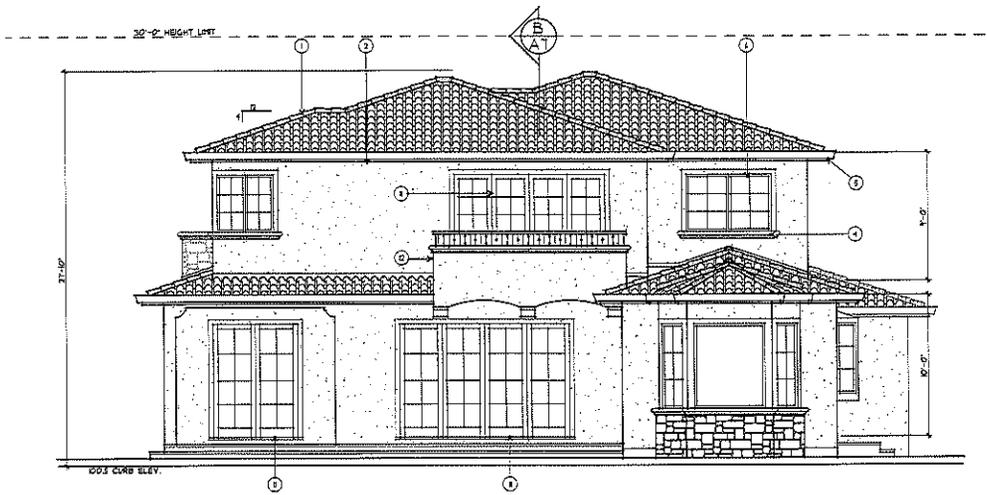
ATTACHMENT C
Page 4 of 8

ASSOCIATES ARCHITECTS
5895 KAMET ROAD
ALHAMBRA, CA 91803
530-268-3055
www.assarchitects.com



A PROPOSED RESIDENCE FOR:
MRS. & MRS. MIN CAI
1583 GOLDFINCH WAY
SUNNYVALE, CALIFORNIA

drawings	ROOF PLAN
revisions	02/28/13 PLANNING
project number	2132
date	JAN. 2013
sheet number	A4
of sheets	4



1 REAR (WEST) ELEVATION
1/4" = 1'-0"



2 FRONT (EAST) ELEVATION
1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE		
LOCATION	KEYNOTE	MATERIAL/COLOR
ROOF	1	LIGHT WEIGHT CONCRETE 'S' TILE
WALLS	2	STUCCO 1/2" SMOOTH FINISH
	3	STONE VENEER USING ADHERED METHOD
TRIM	4	PRECAST CONCRETE
	5	2x8 FASCIA BOARD
WINDOWS	6	ALUMINUM CLAD WOOD WINDOWS (SEE PLAN FOR OPERATION, SIZE AND GRID PATTERN)
DOORS	7	ARCH TOP PAIR S.C. ENTRY DOORS
	8	CARRIAGE-STYLE, OVERHEAD SECTIONAL GARAGE DOOR 1/2" LITES
	9	HOLLOW METAL DOOR 1/2" HALF GLASS TEMPERED
	10	ALUMINUM CLAD WOOD FRENCH DOOR(S) (SEE PLAN FOR OPERATION AND SIZE)
	11	ALUMINUM CLAD WOOD SLIDING DOOR(S) (SEE PLAN FOR OPERATION AND SIZE)
	12	HOLLOW METAL Louvered DOORS
RAILINGS	13	STUCCO 1/2" PRECAST CONCRETE CAP 1/2" METAL RAILING ABOVE
GUTTERS & DOWNSPOUTS	14	GALVANIZED IRON SEMI-CIRCULAR - PAINT
FLASHING	14	G.I. FLASHING - PAINT

ASSOCIATES ARCHITECTS
 2002 SHERBORN DRIVE
 ANAHEIM, CA 92805
 530-268-3055
 www.aaarchitects.com
 CA ARCHITECT No. C 25437
 REG. ARCHITECT No. 12000



A PROPOSED RESIDENCE FOR:
MRS. & MRS. MIN CAI
 1583 GOLDFINCH WAY
 SUNNYVALE, CALIFORNIA

drawings
 EXTERIOR ELEVATIONS

revisions
 02/26/13 PLANNING

project number
 2192

date
 JAN. 2013

sheet number
 8

of
 sheets

ATTACHMENT C
 Page 5 of 8



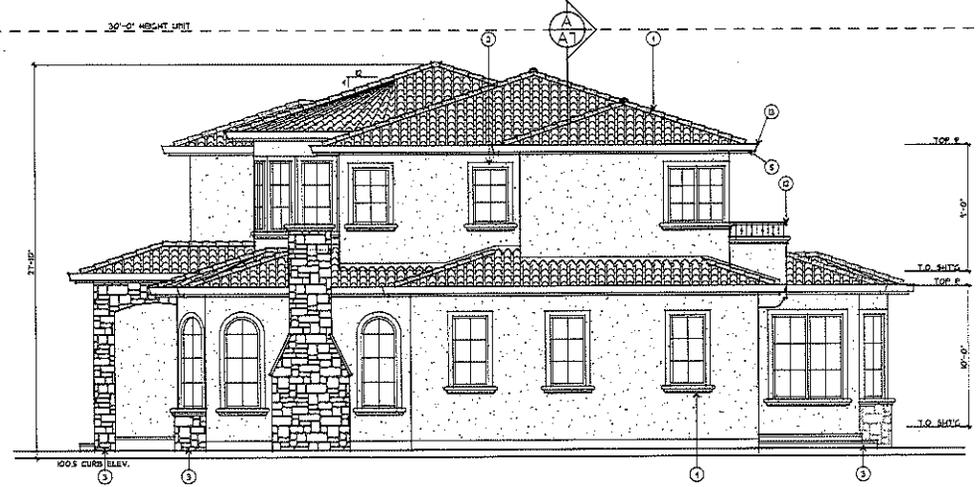
EXTERIOR FINISH SCHEDULE		
LOCATION	KEYNOTE	MATERIAL/COLOR
ROOF	(1)	LIGHT WEIGHT CONCRETE 'S' TILE
WALLS	(2)	STUCCO W/ SMOOTH FINISH
	(3)	STONE VENEER USING ADHERED METHOD
	(4)	PRECAST CONCRETE
TRIM	(5)	2x8 FASCIA BOARD
	(6)	ALUMINUM CLAD WOOD WINDOWS (SEE PLAN FOR OPERATION, SIZE AND GRID PATTERN)
WINDOWS	(7)	ARCH TOP PAIR S.C. ENTRY DOORS
DOORS	(8)	CARRIAGE-STYLE, OVERHEAD SECTIONAL GARAGE DOOR W/ LITES
	(9)	HOLLOW METAL DOOR W/ HALF GLASS TEMPERED
	(10)	ALUMINUM CLAD WOOD FRENCH DOOR(S) (SEE PLAN FOR OPERATION AND SIZE)
	(11)	ALUMINUM CLAD WOOD SLIDING DOOR(S) (SEE PLAN FOR OPERATION AND SIZE)
	(12)	HOLLOW METAL LOUVERED DOORS
RAILINGS	(13)	STUCCO W/ PRECAST CONCRETE CAP W/ METAL RAILING ABOVE
GUTTERS & DOWNSPOUTS	(14)	GALVANIZED IRON SEMI-CIRCULAR - PAINT
FLASHING	(15)	G.I. FLASHING - PAINT

ASSOCIATES ARCHITECTS
 2581 GARDEN VIEW DR.
 ALHAMBRA, CA 91801
 530-266-3055
 WWW.AAARCHITECTS.COM
 PRACTICE NO. 00000000000000000000



A PROPOSED RESIDENCE FOR:
MRS. & MRS. MIN CAI
 1583 GOLDFINCH WAY
 SUNNYVALE, CALIFORNIA

1 LEFT (SOUTH) ELEVATION
 1/4" = 1'-0"



2 RIGHT (NORTH) ELEVATION
 1/4" = 1'-0"

ATTACHMENT C
 Page 6 of 8

drawings
 EXTERIOR ELEVATIONS

revisions
 0/2/10 PLANNING

project number
 2132

date
 JAN. 2013

sheet number
 C

AG
 sheets

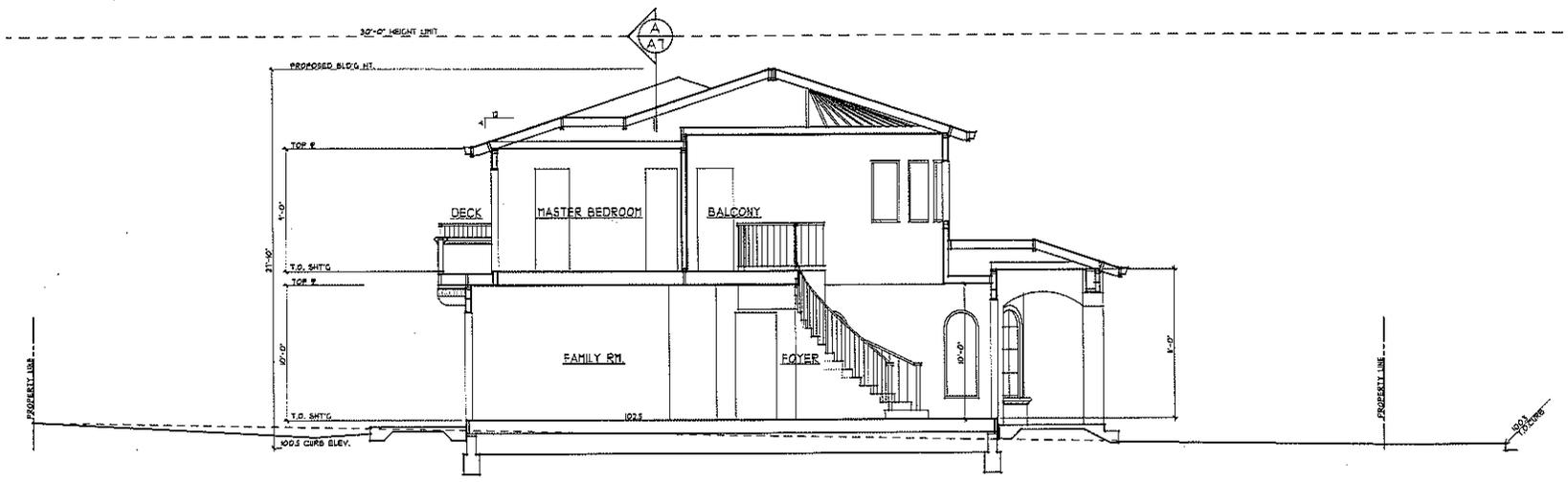
ASSOCIATES
ARCHITECTS
2850 SHERWOOD ROAD
ALHAMBRA, CA 91803
530-266-3055



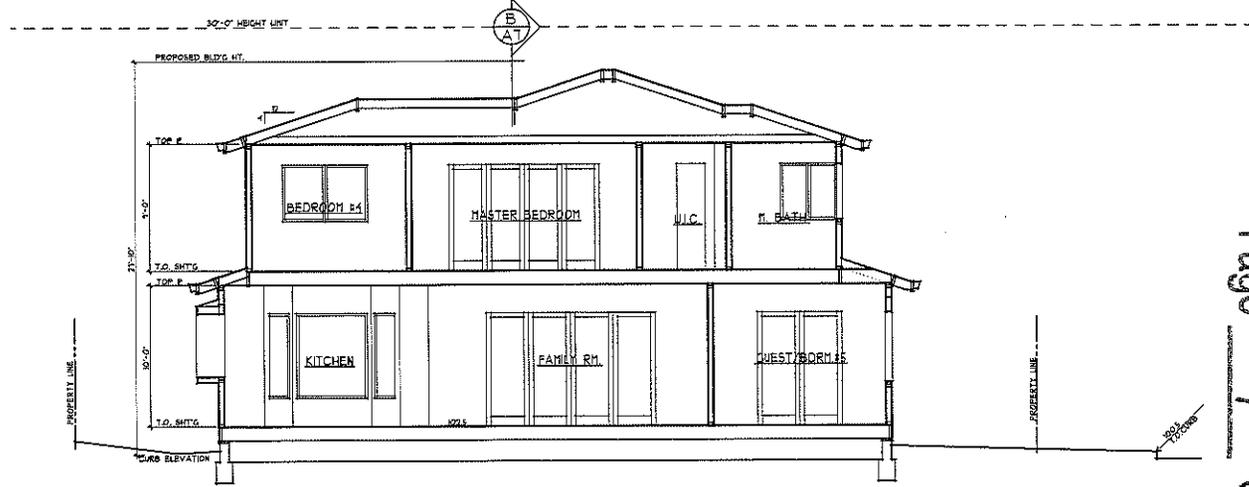
A PROPOSED RESIDENCE FOR:
MR. & MRS. MIN CAI
SUNNYVALE, CALIFORNIA
1583 GOLDFINCH WAY

drawings
BUILDING SECTIONS
revisions
02/28/03 PLANNING
project number
2132
date
JAN. 2013
sheet number
A7
of sheets

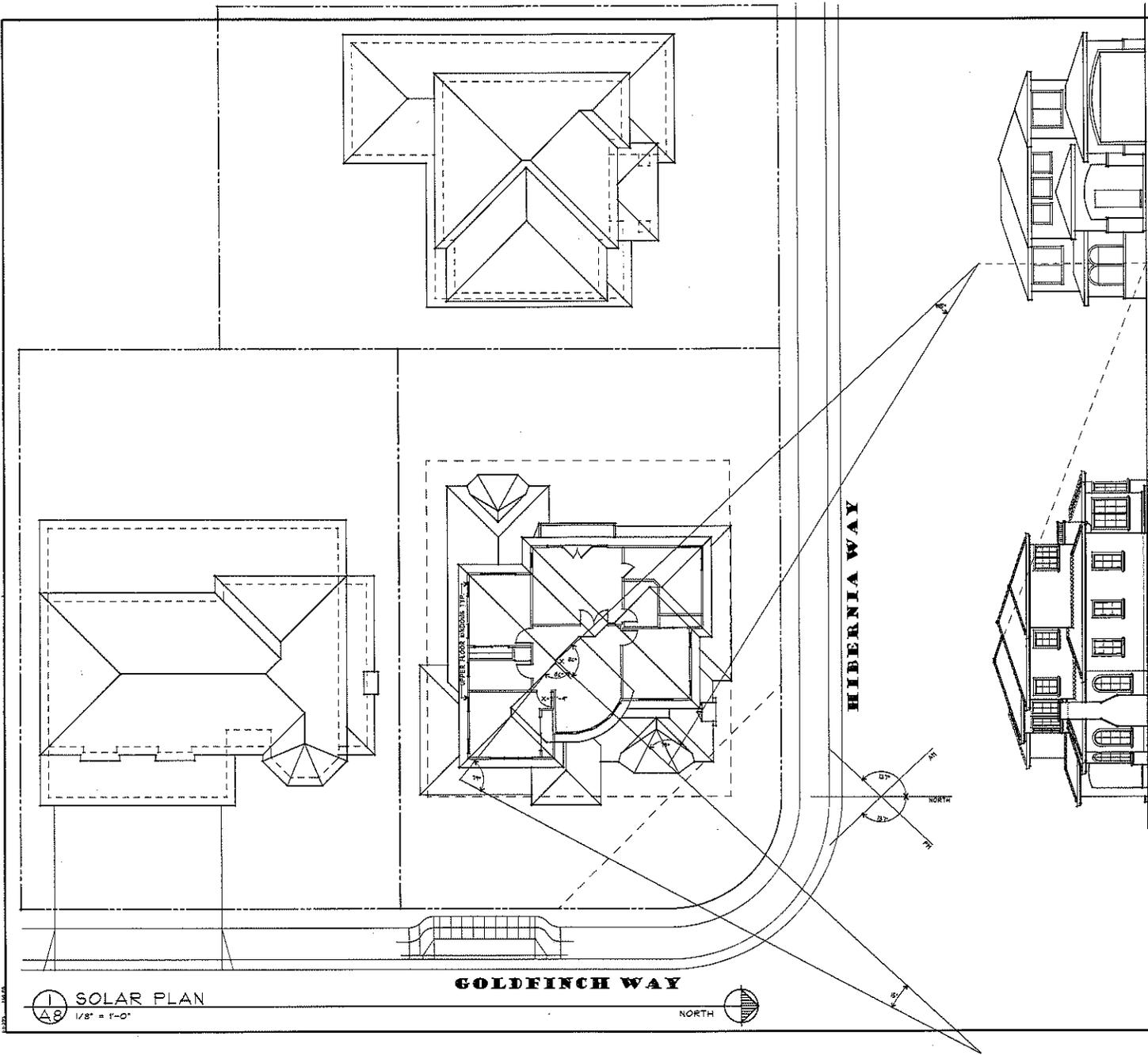
ATTACHMENT C
Page 7 of 8



A BUILDING SECTION
1/4" = 1'-0"



B BUILDING SECTION
1/4" = 1'-0"



1
A-B
SOLAR PLAN
1/8" = 1'-0"

GOLDFINCH WAY

NORTH

HIBERNIA WAY

SOLAR ACCESS AND SHADOW ANALYSIS

THESE ARE NO SHADOWS CAST BY THE PROPOSED PROJECT ON NEIGHBORING HOMES

1. HOMES ON EITHER SIDE OF PROPOSED PROJECT ARE TWO STORY WITH SIMILAR BUILDING HEIGHTS.
2. BOTH MORNING AND AFTERNOON SHADOWS ARE CAST ONTO BOTH STREETS ON THE CORNER LOT.

ATTACHMENT C
Page 8 of 8

ASSOCIATES
ARCHITECTS
3180 E. 15TH AVE. SUITE 200
ALHAMBRA, CA 91803
530-266-3055



A PROPOSED RESIDENCE FOR:
MR. & MRS. MIN SAI
1583 GOLDFINCH WAY
SUNNYVALE, CALIFORNIA

Drawings
SOLAR PLAN

Revisions
02/26/12 PLANNING

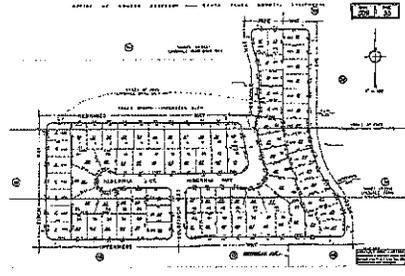
Project Number
2152

Date
JAN. 2013

Sheet Number

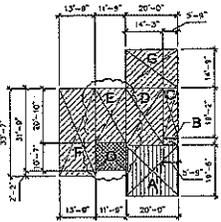
A3
of 8 sheets

APN MAP (309-33-055)

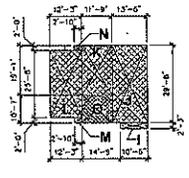


PROJECT DATA

PROJECT DATA TABLE			
	EXISTING	PROPOSED	REQUIRED (MINIMUM)
GENERAL PLAN	RESIDENTIAL, LOW DENSITY	RESIDENTIAL, LOW DENSITY	RESIDENTIAL, LOW DENSITY
CONCRETE DISTRICT	R-2	R-2	R-2
LOT SIZE (SQ FT)	8,100	8,100	6,000
GROSS FLOOR AREA (GFA)	VACANT	3,000	1,000 - 2,000 (SEE CODE)
NET COVERABLE AREA	VACANT	2,000 (11.1%)	700 (2.7%)
FLOOR AREA RATIO (FAR)	VACANT	43.3%	24.0%
REQUIREMENTS			
BUILDING HEIGHT (FT)	VACANT	27'-0"	35'-0"
NO. OF STORIES	VACANT	2	2
REQUIREMENTS (SEE CODES, FACING PROPERTY)			
FRONT			
1st FLOOR	VACANT	20'-0"	20'-0" MIN.
2nd FLOOR	VACANT	25'-0"	25'-0" MIN.
REAR			
1st FLOOR	VACANT	8'-0"	8'-0" MIN (12.2' COULDNED)
2nd FLOOR	VACANT	7'-0"	7'-0" MIN (12.2' COULDNED)
LEFT SIDE			
1st FLOOR	VACANT	9'-0"	8'-0" MIN (12.2' COULDNED)
2nd FLOOR	VACANT	9'-0"	8'-0" MIN (12.2' COULDNED)
RIGHT SIDE			
1st FLOOR	VACANT	10'-0"	10'-0" MIN (12.2' COULDNED)
2nd FLOOR	VACANT	10'-0"	10'-0" MIN (12.2' COULDNED)
PARKING			
TOTAL SPACES	4	4	4 MIN.
COVERED SPACE	2	2	2 MIN.



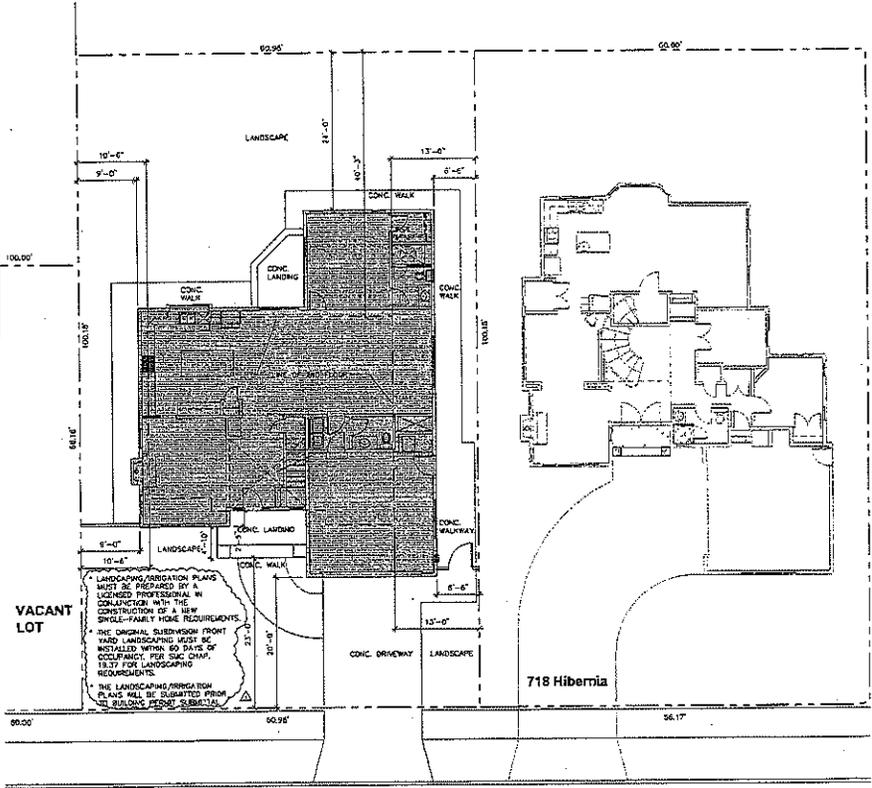
1st FLOOR AREA



2nd FLOOR AREA

SECTION	DIMENSIONS	AREA
A (PORCH)	30'0" x 10'0"	300.00 S.F.
B (PORCH)	10'0" x 10'0"	100.00 S.F.
C (1st STORY)	35'0" x 10'0"	350.00 S.F.
D (1st STORY)	15'0" x 10'0"	150.00 S.F.
E (1st STORY)	15'0" x 10'0"	150.00 S.F.
F (1st STORY)	15'0" x 10'0"	150.00 S.F.
G (1st STORY)	15'0" x 10'0"	150.00 S.F.
H (1st STORY)	15'0" x 10'0"	150.00 S.F.
I (1st STORY)	15'0" x 10'0"	150.00 S.F.
J (1st STORY)	15'0" x 10'0"	150.00 S.F.
K (1st STORY)	15'0" x 10'0"	150.00 S.F.
L (1st STORY)	15'0" x 10'0"	150.00 S.F.
M (1st STORY)	15'0" x 10'0"	150.00 S.F.
N (1st STORY)	15'0" x 10'0"	150.00 S.F.
O (1st STORY)	15'0" x 10'0"	150.00 S.F.
P (1st STORY)	15'0" x 10'0"	150.00 S.F.
Q (1st STORY)	15'0" x 10'0"	150.00 S.F.
R (1st STORY)	15'0" x 10'0"	150.00 S.F.
S (1st STORY)	15'0" x 10'0"	150.00 S.F.
TOTAL FLOOR AREA		3,000.00 S.F.
MAX. FLOOR AREA ALLOWED		3,000.00 S.F.

FLOOR AREA CALCULATION



HIBERNIA COURT

SITE PLAN
SCALE: 1/8" = 1'-0"



VACANT SITE



722 HIBERNIA CT.



718 HIBERNIA CT.



ELEVATION - STREET VIEW

RCUSA (RONG CHANG USA) CORPORATION
 2890 COWBOY DRIVE, PO BOX 1408, SUNNYVALE, CA 94087-4751
 TEL: (408) 331-9888 FAX: (408) 331-9887

MR. LIN'S RESIDENCE PLANNING REVIEW
 722 Hibernia Ct., Sunnyvale, CA 94087-4751

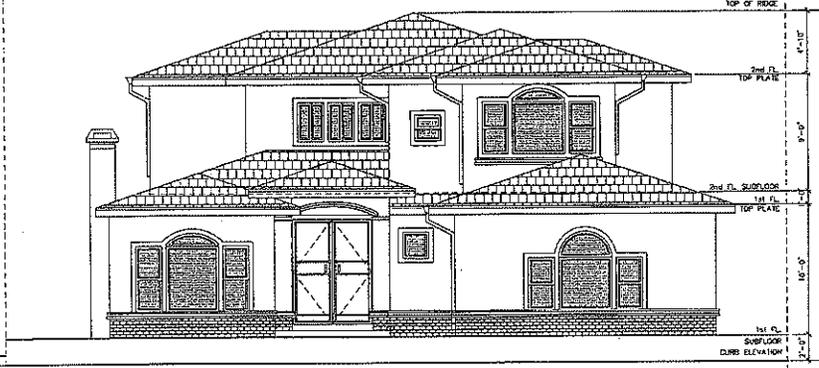
SHEET NO. **A-1.1**
 DRAWN BY: J.

DATE: 10/17/11
 JOB NO: RC11-0938
 ISSUE & REVISION
 1 01/24/12 PLANNING REVIEW
 2 02/28/12 PLANNING CORR.
 3
 4
 5
 6
 7
 8
 9
 10
 11

ATTACHMENT D
 Page 1 of 5

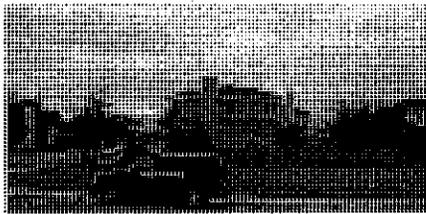


722 HIBERNIA CT.



718 HIBERNIA CT.

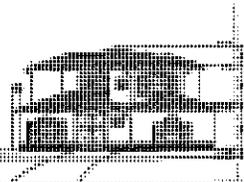
ELEVATION - STREET VIEW
SCALE: 1/4" = 1'-0"



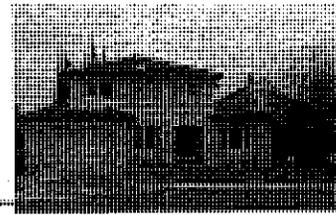
VACANT SITE



722 HIBERNIA CT.



718 HIBERNIA CT.



ELEVATION - STREET VIEW



RCUSA (HONG KONG) CORPORATION
 2005 CONSUMER ROAD, #10 TEL: (408) 271-9888
 SUITE 100, CA 95020-1001 FAX: (408) 271-9887

STATE OF CALIFORNIA
 COUNTY OF SAN DIEGO
 I, the undersigned, being a duly licensed and qualified Professional Engineer, do hereby certify that the above is a true and correct copy of the original as shown to me.



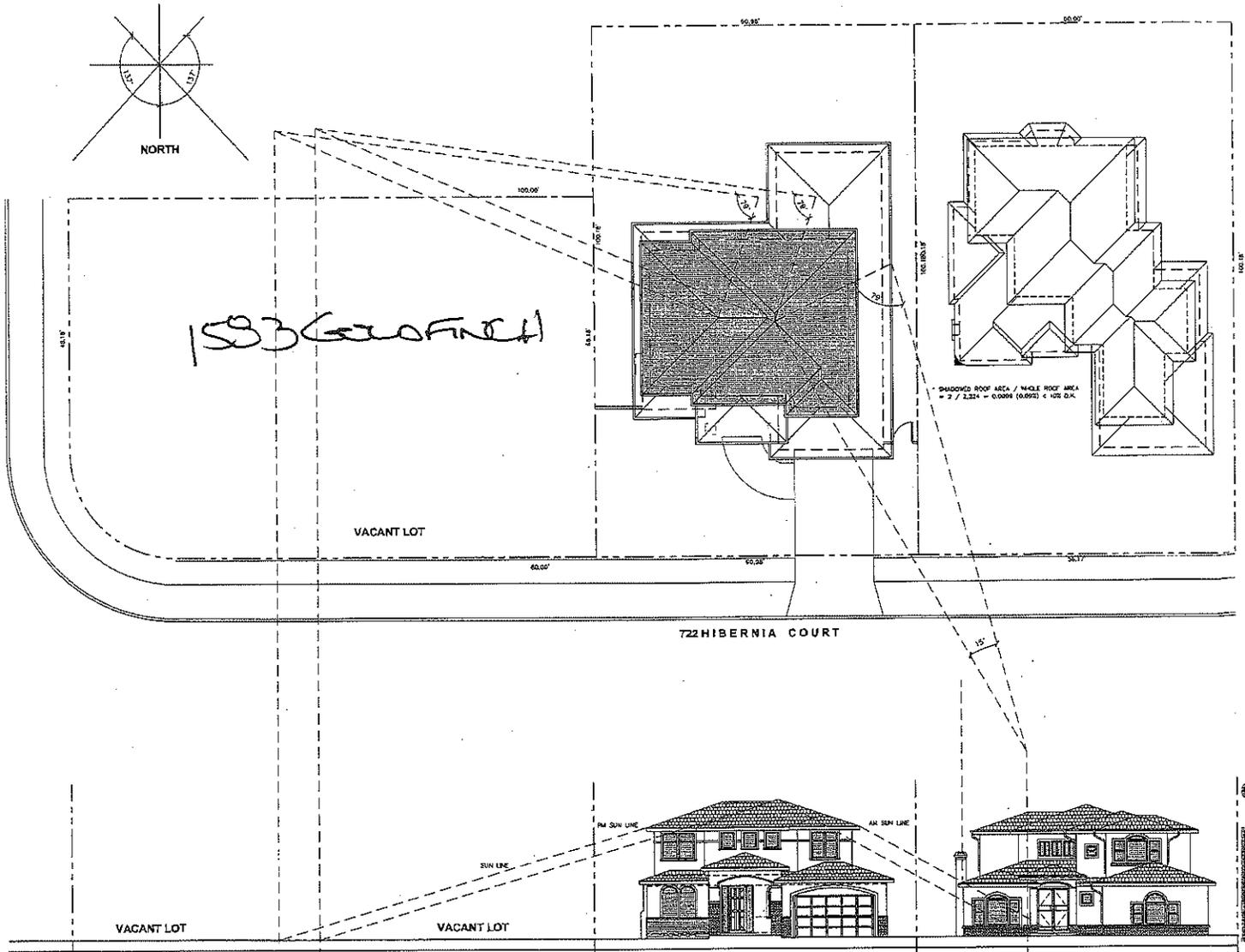
STEVEN D. CHENG ISA C-24224

MR. LIN'S RESIDENCE
PLANNING REVIEW
 722 Hibernia Ct., Sunnyvale, CA 94087-4751

STREETSCAPE

DATE:	10/17/11
JOB NO.:	RC11-09.50
ISSUE & REVISION:	
1	01/24/12 PLANNING REVIEW
2	02/26/12 PLANNING REVIEW
3	
4	
5	
6	
7	
8	
9	
10	
11	
DRAWN BY:	J.
DIST. NO.:	
	A-1.1.1

ATTACHMENT **D**
 Page 2 of 5



SOLAR ACCESS AND SHADOW ANALYSIS
SCALE: 1" = 1/8" = 9'

ATTACHMENT D
Page 3 of 5

RCUSA (RODOLFO CHANG USA) CORPORATION
 2035 DUNWOODS BLVD, #4
 SUN AMB, CA 94131-1881
 TEL: (415) 311-9880
 FAX: (415) 311-9887

**MR. LIN'S RESIDENCE
PLANNING REVIEW**
 722 Hibernia Ct., Sunnyvale, CA 94087-4751

SOLAR STUDY

DATE: 10/17/11
 JOB NO: RC11-0938
 ISSUE & REVISION

1	01/24/12	PLANNING REVIEW
2	02/29/12	PLANNING COR.
3		
4		
5		
6		
7		
8		
9		
10		
11		

SHEET NO.
A-1.2
DRAWN BY: J.

EXTERIOR PAINT COLOR SCHEDULE:

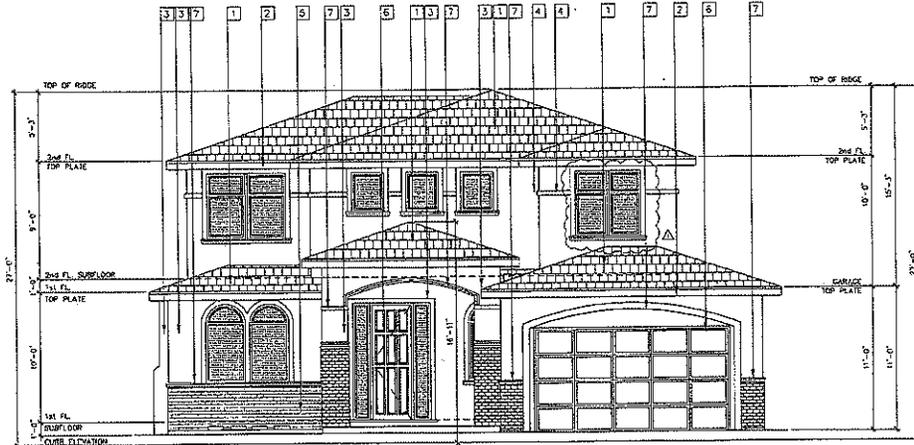
- 1 ROOF - LIGHT WEIGHT CONCRETE TILE
COLOR: DARK SHIROGATA / "PONDEROSA" BY EAGLE ROOFING
- 2 METAL GUTTER & DOWNSPOUT: PAINT
SEE SPECIFICATIONS-1 SAND DOLLAR
- 3 WALL PAINT (BUILDING STANDARD) PAINT
COLOR: WA3573-2 LAS VEGAS SANDSET
- 4 MOLDING & TRIM: PAINT COLOR: WA3575-3 AUTUMN BEAUTY
FOAM TRIM (DENSER MATERIAL)
- 5 BRICK VENEER: SHW BRICK BY ENERGETIC CLAY PRODUCTS
COLOR: BURLINGHAM GRAYES
- 6 EXTERIOR ENTRY DOOR: PAINT / STAIN
PRE-CAST MATERIAL
COLOR: WHITE (SDM CLASS) / DARK MAHOGANY
- 7 MOLDING & TRIM: PAINT COLOR: WA3575-3 AUTUMN BEAUTY
PRE-CAST MATERIAL

EXTERIOR FINISH SCHEDULE:

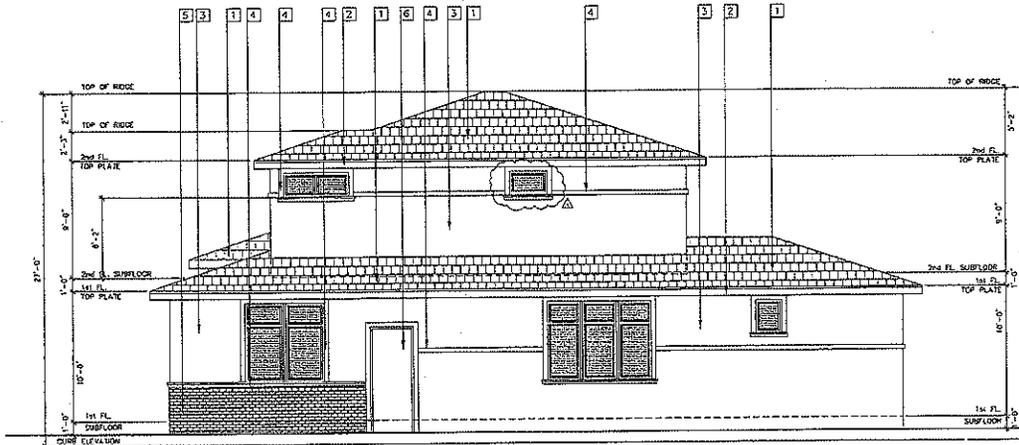
- WINDOW SYSTEM: WOOD FRAME / DOUBLE FRAME WITH GPD / WHITE
- WINDOW GLAZING: CLEAR GLASS
- EXTERIOR WALL: STUCCO / SAND FINISH
- ROOF TILE: LIGHT WEIGHT CONCRETE / FLAT
- ROOF GUTTER & DOWNSPOUT: METAL / PAINTED
- FOAM MOLDING & TRIM: SHARPPED FOAM / STUCCO FINISH / PAINT
- BRICK VENEER: THIN BRICK TILE OVER STUCCO
- EXTERIOR DOORS: WOOD / PAINTED

SPECIAL NOTES:

1. EXTERIOR STUCCO TRIM AT GROUND FLOOR FRONT ELEVATION TO BE MADE OUT OF STUCCO OVER PRE-COAT EPS FOAM OR WOOD FRAMING.
2. PRE-CAST FOAM TO BE MANUFACTURED BY PRIME STUCCO AND MOLDINGS.



1 NORTH ELEVATION
1/8"=1'-0"



2 WEST ELEVATION
1/8"=1'-0"



RCUSA (HONG KONG USA) CORPORATION

2009 LINDENWOOD DRIVE, FID
SAN JOSE, CA 95131-1028
TEL: (408) 321-9966
FAX: (408) 321-9987



SY-CHENG TSAI C-24224

**MR. LIN'S RESIDENCE
PLANNING REVIEW**

722 Hibernia Ct., Sunnyvale, CA 94087-4751

ELEVATIONS

DATE:	10/17/11
JOB NO.:	RC11-0938
ISSUE & REVISION:	
1	01/24/12 PLANNING REVIEW
2	02/28/12 PLANNING COR.
3	
4	
5	
6	
7	
8	
9	
10	
11	

SHEET NO. **A-3.1**

DRAWN BY: A

ATTACHMENT D
 Page 4 of 5

EXTERIOR PAINT COLOR SCHEDULE:

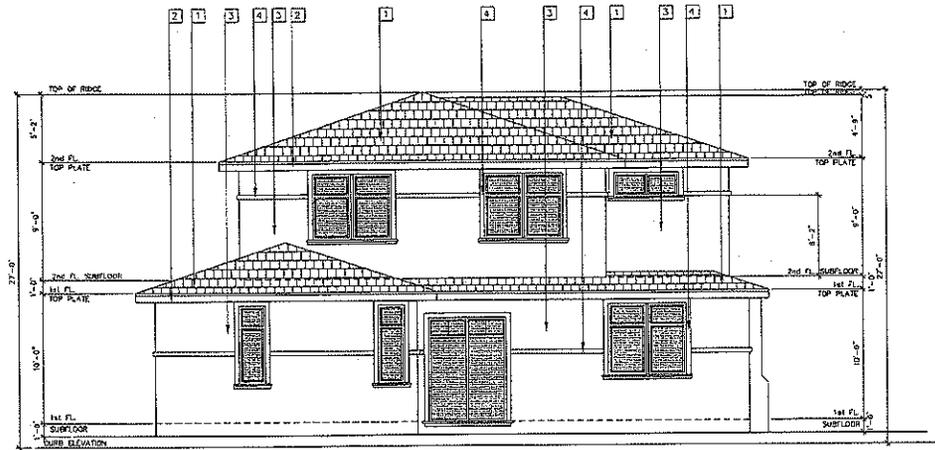
- 1 ROOF - LIGHT WEIGHT CONCRETE TILE
COLOR: DARK CHARCOAL / "POMEROSA" BY EAGLE ROOFING
- 2 METAL GUTTER & DOWNPOUT
PAINT: KM 04243-1 SAND DOLLAR
- 3 WALL PAINT (BUILDING STANDARD) PAINT:
COLOR: HW3273-2 LAS VEGAS SUNSET
- 4 MOULDING & TRIM PAINT:
COLOR: HW3755-3 ALTAIR REALTY
- 5 BRICK VENEER THIN BRICK BY ENGICOTT CLAY PRODUCTS
COLOR: BURGNEY SANDS
- 6 EXTERIOR ENTRY DOOR: PAINT / STAIN
COLOR: WHITE (SEMI GLOSS) / DARK MAJORITY

EXTERIOR FINISH SCHEDULE:

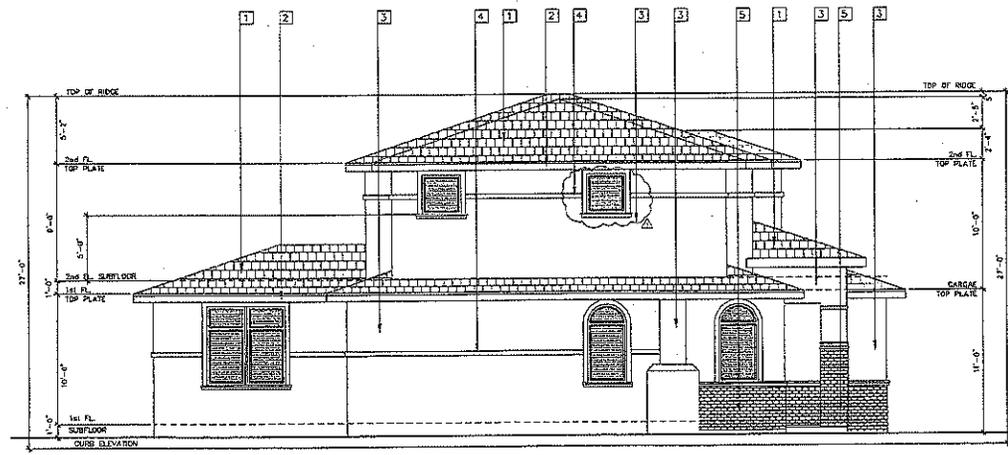
- WINDOW SYSTEM: VINYL FRAME / DOUBLE PANE WITH CO2 / WHITE
- WINDOW GLAZING: CLEAR GLASS
- EXTERIOR WALL: STUCCO / SAND FINISH
- ROOF TILE: LIGHT WEIGHT CONCRETE / FLAT
- ROOF GUTTER & DOWNPOUT: METAL / PAINTED
- FOAM MOULDING & TRIM: SHAPED FOAM / STUCCO FINISH / PAINT
- BRICK VENEER: THIN BRICK OVER STUCCO
- EXTERIOR DOORS: WOOD / PAINTED

SPECIAL NOTES:

1. EXTERIOR STUCCO TRIM AT SECOND FLOOR FRONT ELEVATION TO BE MADE OUT OF STUCCO OVER PRE-CAST GDS FORM OR WOOD FRAMING.
2. PRE-CAST FOAM TO BE MANUFACTURED BY PERM STUCCO AND MOULDING.



1 1/4"=1'-0" SOUTH ELEVATION



2 1/4"=1'-0" EAST ELEVATION



RCUSA (RONG CHANG USA) CORPORATION

800 DOWNSIDE DRIVE, #208 TEL: (408) 331-1998
541 AVE. G5 931-1992 FAX: (408) 331-1997



ST-CHONG 3341 C-24234

MR. LIN'S RESIDENCE
PLANNING REVIEW

722 Hibernia Ct., Sunnyvale, CA 94087-4751

ELEVATIONS

DATE:	10/17/11
JOB NO.:	RC11-C938
ISSUE & REVISION:	
1	01/24/12 PLANNING REVIEW
2	02/28/12 PLANNING REVIEW
3	
4	
5	
6	
7	
8	
9	
10	
11	

SHEET NO. **A-3.2**

DRAWN BY: J.

ATTACHMENT D
 Page 5 of 5