



REPORT TO PLANNING COMMISSION

Hearing Date: July 23, 2012
File Number: 2012-7367

SUBJECT: **Jeff Hutchins / Jeffrey Hutchins Trustee** (Applicant/ Owner): Application for a property located at **947 Blair Avenue** in an R-0 Zoning District (APN: 201-19-016):

Motion **2012-7367-** Design Review for a first- and second-story addition of 1,316 square feet to an existing one-story single-family home resulting in 2,949 square feet and approximately 50% Floor Area Ratio.

REPORT IN BRIEF:

Existing Site Conditions Single-family residence

Surrounding Land Uses

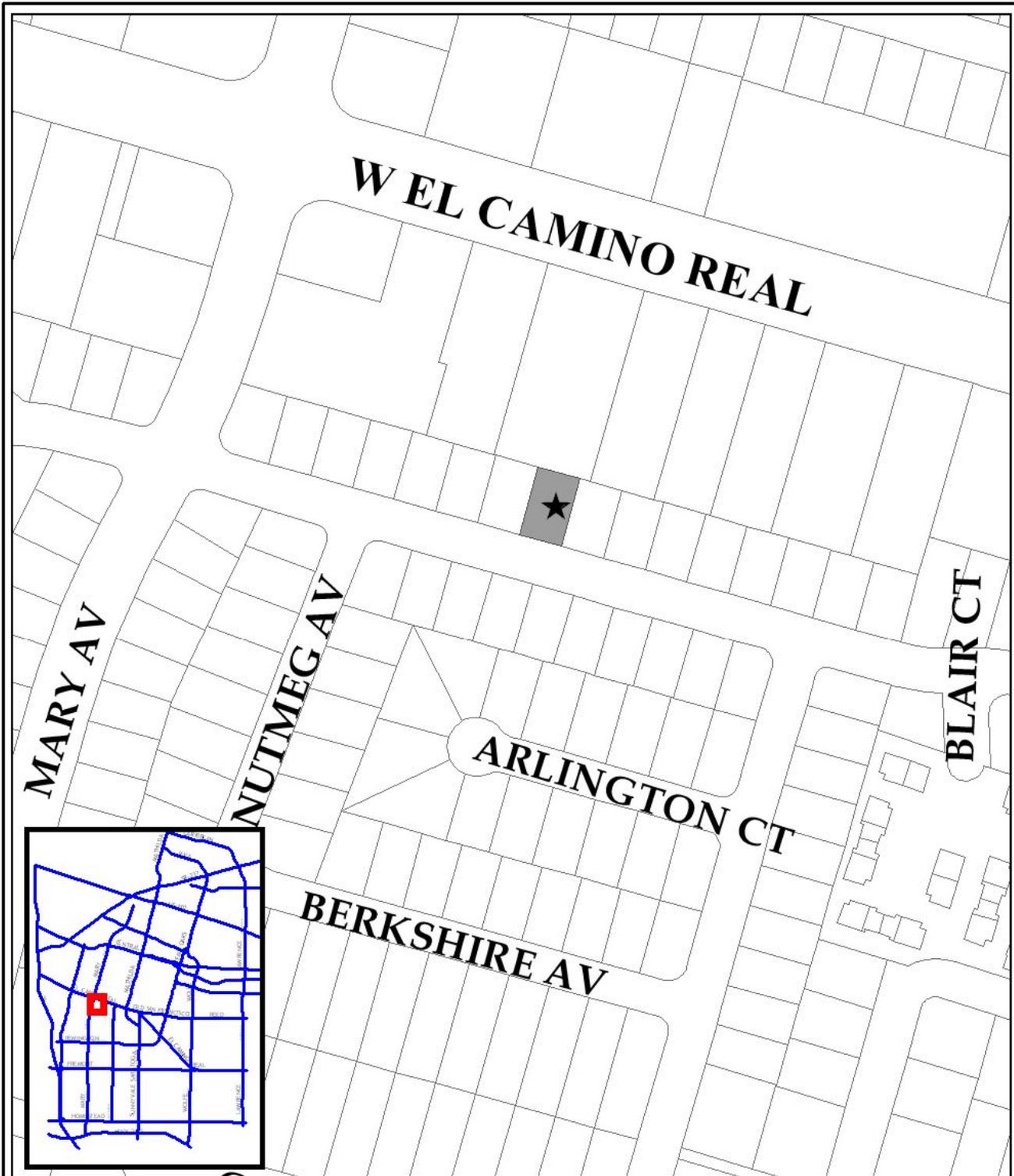
| | |
|-------|---|
| North | Commercial shopping center |
| South | Single-family residence (across Blair Avenue) |
| East | Single-family residence |
| West | Single-family residence |

Issues Floor Area Ratio

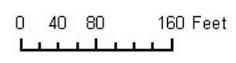
Environmental Status A Class 1 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines.

Staff Recommendation Approval with conditions

VICINITY MAP



2012-7367
947 BLAIR AVE. (APN: 201-19-016)
DESIGN REVIEW



PROJECT DATA TABLE

| | EXISTING | PROPOSED | REQUIRED/ PERMITTED |
|--|----------------------------|-----------------|--|
| General Plan | Residential Low Density | Same | Residential Low Density |
| Zoning District | R-0 | Same | R-0 |
| Lot Size (s.f.) | 5,900 | Same | 6,000 min. |
| Gross Floor Area (s.f.) | 1,634 | 2,949 | No max. |
| Lot Coverage (%) | 27.7% | 38.3% | 40% max. |
| Floor Area Ratio (FAR) | 27.7% | 50% | 45% max. without PC review |
| Building Height (ft.) | Approx. 15' 4" | 24' 10" | 30' max. |
| No. of Stories | 1 | 2 | 2 max. |
| Setbacks (First / Second Facing Property) | | | |
| Front | 30' | 22' 3" / 41' 5" | 20' / 25' min. |
| Left Side | 5' 8" | 5' 8" / 22' 7" | 4' / 7' min. |
| Right Side | 8' | 8' / 10' 6" | 4' / 7' min. |
| Side Totals | 13' 8" | 13' 8" / 33' 1" | 12' / 18' min. |
| Rear | 14' 8" | 14' 8" / 31' 5" | 20' min. with limited areas permitted to 10' |
| Parking | | | |
| Covered Spaces | 2 | Same | 2 min. |
| Uncovered Spaces | 2 | Same | 2 min. |

★ Starred items indicate deviations from Sunnyvale Municipal Code requirements.

BACKGROUND:

The existing single-story home was constructed in 1955 and is approximately 1,634 square feet in size resulting in 27.7% Floor Area Ratio (FAR). There are no previous planning applications related to the subject site.

DISCUSSION:**Requested Permit(s)**

The applicant is requesting approval of a Design Review to allow a first- and second-story addition resulting in approximately 2,949 square feet and 50% FAR. The proposed first-story additions will be located at the front and rear of the home. The proposed second-story addition will be located over the center of the right side of the home.

- **Design Review**

This Design Review application must be reviewed by the Planning Commission due to a requested FAR exceeding 45%. The Planning

Commission may take into account the proposed architecture, existing neighborhood, and adopted Single Family Home Design Techniques. The following analysis provides information for the Planning Commission's consideration.

ANALYSIS:

Architecture

The existing Ranch-style architecture of the home is similar to other homes in the neighborhood. The home's existing exterior materials consist of vertical wood siding with a brick base and composition shingle roofing. The existing entrance is located within a front porch beneath the roof eave, which is a common design feature in the neighborhood. The home's existing wall plate height is eight feet, which is also typical in the neighborhood.

With the proposed additions, the home's exterior wall materials will consist of stucco with a natural stone or stone veneer base. The base material will be located on the front façade and wrap around for several feet on each side. The proposed roof material is composition shingles. The existing front porch extending across the length of the front facade will be eliminated in favor of a narrower entry feature; however, the proposed entry feature has been designed to match the height of the first-floor eaves to maintain the appearance of the entry door being located beneath a porch. The proposed project includes nine-foot tall wall plates on the first floor and eight-foot plates on the second floor.

Floor Area Ratio

The neighborhood consists primarily of single-story homes. Surrounding homes generally have FARs less than 30%. While the proposed FAR is significantly higher than those of surrounding homes, the project has been designed to address neighborhood compatibility. Through the review process the applicant has reduced the massing and bulk of the structure as well as reduced the height of the entry feature.

The proposed second-story addition is small, with an area equal to 30% of the size of the first floor. This is in compliance with the Single Family Home Design Techniques, which recommend keeping the area of a second story to no more than 35% of the first-floor area if located in a predominantly single-story neighborhood (see Attachment A – Findings). Keeping the second floor modest in size reduces the overall massing of the home. In addition, the second-story portion of the home has been designed with significant setbacks which exceed the minimum standard on all sides. Increased setbacks reduce the appearance of mass. And as noted above, the entry feature has been designed to fit within the first-floor roof eave height to keep the appearance of the front façade more consistent with the neighborhood pattern. These design features mitigate the effect of the project's higher FAR.

Privacy

Adjacent homes to the west and east are single-story. The proposed project includes second-floor windows on both sides of the home. On the right side (adjacent to 939 Blair Avenue), the two-story portion of the home will be set back 10 feet six inches from the side property line. Second-floor windows on this elevation are proposed to be high-sill windows to reduce privacy impacts on the adjacent neighbor.

On the left side (adjacent to 955 Blair Avenue), the two-story portion of the home will be set back 22 feet 7 inches from the side property line. One of the second-floor windows on this elevation (in Bath #1) is proposed as a high-sill window while the other two are proposed as standard windows with lower sills. The applicant has not designed the windows on the left elevation for privacy due to the significant setback of this area of the home from the side property line. Based on the significant setback, staff supports the proposed design and finds it is not likely to create a significant privacy impact.

Solar Access

The Sunnyvale Municipal Code prohibits new construction from shading more than 10 percent of the roof of any existing structure during any solar cycle. The applicant has prepared solar access diagrams demonstrating compliance with this requirement (see Attachment C – Project Plans). As a result of the small size and significant setbacks of the second floor, the project will have a minimal shading impact on adjacent homes.

Applicable Design Guidelines and Policy Documents

The proposed addition is consistent with the adopted Single-Family Home Design Techniques. While the surrounding neighborhood is primarily single-story in character, the proposed two-story home has been designed to maintain common neighborhood features and minimize visual impacts on the streetscape. Recommended findings related to the Single-Family Home Design Techniques are located in Attachment A.

Development Standards

The proposed project complies with the applicable Development Standards as set forth in the Sunnyvale Municipal Code. The following items have been identified for the Planning Commission as clarification:

- **Site Layout**

The existing home is located towards the center of the property, with an existing garage and driveway along the left side. The proposed project includes first-story additions to the front and rear of the existing garage, as well as a first-story addition to the front of the living area (right side). The proposed second-story addition will be located over the center of the right side of the home and will incorporate significant setbacks exceeding the minimum requirements.

• **Parking/Circulation**

The site meets parking requirements with two covered spaces provided in the garage and two uncovered spaces provided on the driveway. The new garage will be located slightly forward of the existing garage and will be reduced in size, but will still have sufficient size and dimensions to meet current requirements.

• **Landscaping and Tree Preservation**

The proposed project includes removal of one mature tree located near the southwest corner of the garage. The location and size of this tree interfere with the proposed extension of the garage to the south. Staff recommends Condition of Approval BP-5 requiring replacement of the tree or payment of an in-lieu fee to cover tree planting on public property.

• **Green Building Requirements**

Although the project has been described as an addition, the proposed increase in first-story wall heights will require demolition and reconstruction of the exterior walls. As a result, the project will be classified as a new home at the building permit stage and will be required to comply with the City’s Green Building requirements for new homes (see Condition of Approval BP-7).

Environmental Review

A Class 1 Categorical Exemption relieves this project from California Environmental Quality Act provisions and City Guidelines. Class 1 Categorical Exemptions include minor modifications and additions to existing structures.

FISCAL IMPACT

No fiscal impacts other than normal fees and taxes are expected.

PUBLIC CONTACT

Staff has not received any public comments at the time of staff report preparation.

| Notice of Public Hearing | Staff Report | Agenda |
|---|---|---|
| <ul style="list-style-type: none"> • Published in the <i>Sun</i> newspaper • Notice Board with streetscape elevation posted on the site • 66 notices mailed to property owners and residents within 200 feet of the project site | <ul style="list-style-type: none"> • Posted on the City of Sunnyvale's Web site • Provided at the Reference Section of the City of Sunnyvale's Public Library | <ul style="list-style-type: none"> • Posted on the City's official notice bulletin board • Posted on the City of Sunnyvale's Web site |

CONCLUSION

Findings and General Plan Goals: Staff was able to make the required Findings based on the justifications for the Design Review. Recommended Findings and General Plan Goals are located in Attachment A.

Conditions of Approval: Recommended Conditions of Approval are located in Attachment B.

ALTERNATIVES

1. Approve the Design Review with the attached conditions.
2. Approve the Design Review with modified conditions.
3. Deny the Design Review.

RECOMMENDATION

Alternative 1: Approve the Design Review with the attached conditions.

Prepared by:

Mariya Hodge
Project Planner

Reviewed by:

Gerri Caruso
Principal Planner

Attachments:

- A. Recommended Findings
- B. Recommended Conditions of Approval
- C. Site and Architectural Plans

RECOMMENDED FINDINGS**Design Review**

The proposed project is desirable in that the project's design and architecture conform to the policies and principles of the Single Family Home Design Techniques.

| Basic Design Principles | Comments |
|---|--|
| <i>2.2.1 Reinforce prevailing neighborhood home orientation and entry patterns</i> | While the project includes a two-story component which is not common in the neighborhood, the overall orientation of the structure will remain similar to the existing home and neighborhood pattern. The home will remain near the center of the lot with setbacks common to the neighborhood. A front-loading garage will be located along the left side of the home as in the current layout. The proposed project does not maintain the long horizontal front porch which is common throughout the neighborhood; however, the new entry feature has been designed to be consistent with the pattern of modest entries beneath first floor eaves. |
| <i>2.2.2 Respect the scale, bulk and character of homes in the adjacent neighborhood.</i> | The proposed project will result in a Floor Area Ratio of 50%, which is higher than the typical FARs in the neighborhood. However, the proposed design incorporates features to reduce the appearance of mass, including a smaller second story with significant setbacks, thereby keeping the home's massing generally consistent with the surrounding neighborhood. |
| <i>2.2.3 Design homes to respect their immediate neighbors</i> | Privacy and visual impacts to neighbors are expected to be minimal based on the proposed design. The second-story portion of the home will be set back significantly from the front, side, and rear property lines. High-sill windows are proposed on the left side of the home where the second-story setback is smallest. High-quality materials and design contribute to an appearance which is consistent with the character of the neighborhood. Shading of adjacent structures will be minimal. |

| | |
|---|---|
| <p>2.2.4 Minimize the visual impacts of parking.</p> | <p>The project does not propose significant modifications to the site’s parking layout. The site will maintain a front-loading two-car garage located toward the front of the home on the left side of the property.</p> |
| <p>2.2.5 Respect the predominant materials and character of front yard landscaping.</p> | <p>The proposed project does not include significant landscaping modifications or front fencing. Removal of one tree located near the front of the garage along the side property line is proposed to allow a front addition.</p> |
| <p>2.2.6 Use high quality materials and craftsmanship</p> | <p>The proposed project uses high quality materials including stucco, natural stone or stone veneer, and composition roof materials. These are consistent with the character of the surrounding neighborhood.</p> |
| <p>2.2.7 Preserve mature landscaping</p> | <p>Removal of one tree located near the front of the garage along the side property line is proposed to allow a front addition. There are a number of other large mature trees on the property which will be retained. As conditioned, the removed tree will be replaced or an in-lieu fee paid for tree planting on public property.</p> |

| <p>Related Design Techniques</p> | <p>Comments</p> |
|---|---|
| <p>3.3.D. Eave lines at entries should match or be within approximately 24 inches of the eaves in the neighborhood (i.e. close to the first floor eave height). In no case should front entry eaves be significantly higher than first floor eaves.</p> | <p>The eave line of the proposed entry feature will be at the same height as the overall first floor eaves.</p> |
| <p>3.3.H. If the existing home has a porch at the entry, retain that feature. If the home has no entry porch, but other homes in the area do, consider adding an entry porch.</p> | <p>The proposed project does not maintain the horizontal front porch which is common throughout the neighborhood; however, the new entry feature has been designed to be consistent with the pattern of modest entries beneath first floor eaves.</p> |
| <p>3.3.I. Where a particular home entry type is typical of the neighborhood (e.g. roof covering eave parallel to the street), design any new entry form to be</p> | <p>The new entry feature has been designed to with its eaves at the same height as the first floor eaves and using a hip roof design. This design maintains the pattern of modest recessed entries beneath first floor</p> |

| | |
|---|--|
| <p><i>consistent with that entry type. Avoid bold, formal entry changes in neighborhoods with modest, recessed entries.</i></p> | <p>eaves.</p> |
| <p><i>3.4.A. The area of the second floor should not exceed the common standard of the neighborhood. For new second stories in predominantly one-story neighborhoods, the second floor area should not exceed 35% of the first floor area (including the garage area).</i></p> | <p>The area of the proposed second floor is approximately 30% of the area of the first floor including garage.</p> |
| <p><i>3.4.C. If a traditional second floor form is necessary, set the front, rear, and sides of the second floor back from first floor walls. In general, it is best to set second floor areas back as far as possible from the front façade of the home (e.g. five feet or more). Side and rear façade setbacks of three to five feet are generally sufficient. Care should be given to avoiding second story bulk near the front of the home when similar bulk is absent from adjacent homes.</i></p> | <p>The proposed project includes significant setbacks for the second floor area. All four sides of the second story form exceed the minimum required setback. The front of the second story element is set back more than 19 feet from the first story, the left side more than 18 feet, the right side 2.5 feet, and the rear more than 16 feet. Second story bulk is located over the center of the home rather than in the front.</p> |
| <p><i>3.4.H. Second floor ceiling heights should be minimized. If interior ceiling heights in excess of eight or nine feet are desired, they should be achieved through the use of cathedral ceilings rather than increased wall height.</i></p> | <p>The proposed project uses a second-floor plate height of eight feet and a first-floor plate height of nine feet, minimizing overall building height as well as reducing the massing of the second floor.</p> |
| <p><i>3.4.S. Generally, locate second floor additions over the living portion of existing homes rather than over garages to maintain a visual balance between the first and second floor building masses. Especially avoid placing second floor additions over existing first floor garages that project out in front of the remainder of the home.</i></p> | <p>The second floor is proposed to be located along the right side of the home over first-floor the living area. It is not located over the garage.</p> |
| <p><i>3.5.K. In neighborhoods with smaller one story homes, strongly</i></p> | <p>The proposed addition maintains first-floor roof forms similar to the existing home (hip</p> |

| | |
|---|--|
| <p><i>consider the use of simple gable and hip roofs with their ridge line oriented parallel to the fronting street to minimize visual bulk of second stories. Likewise, for new two story elements immediately adjacent to one story homes, the use of hip roofs on the second floor addition will tend to reduce its visual impact on the smaller home.</i></p> | <p>roofs with ridges perpendicular to the street). The second story addition is also designed with a hip roof to minimize its apparent height and visual impact.</p> |
| <p><i>3.6.A. New homes and additions to existing structures should be located to minimize blockage of sun access to living spaces and actively used outdoor areas on adjacent homes.</i></p> | <p>The second floor is small in size and is set back significantly from the side and rear property lines, resulting in minimal shading of adjacent properties and structures.</p> |
| <p><i>3.4.C. Windows should be placed to minimize views into the living spaces and yard spaces near neighboring homes. When windows are needed and desired in side building walls, they should be modest in size and not directly opposite windows on adjacent homes. Where possible, second floor windows that might intrude on adjacent property privacy should have sill heights above eye level or have frosted or textured glass to reduce visual exposure. Bay windows should be avoided on side walls where they would intrude on adjacent residents' privacy.</i></p> | <p>Second-floor windows on the right side of the home are proposed to be high-sill windows to reduce privacy impacts on the adjacent neighbor. Second-floor windows on the left side include one high-sill window and two standard windows with lower sills. The left side of the home is set back significantly from the side property line (22 feet seven inches), reducing potential visual impacts from these windows. Existing tall mature landscaping is also located along the left side property line, further reducing potential privacy impacts. There are no bay windows proposed on side elevations.</p> |

ATTACHMENT B

RECOMMENDED CONDITIONS OF APPROVAL AND STANDARD DEVELOPMENT REQUIREMENTS JULY 23, 2012

Planning Application 2012-7367

947 Blair Avenue

Design Review for a first- and second-story addition of 1,316 square feet to an existing one-story single-family home resulting in 2,949 square feet and approximately 50% Floor Area Ratio.

The following Conditions of Approval [COA] and Standard Development Requirements [SDR] apply to the project referenced above. The COAs are specific conditions applicable to the proposed project. The SDRs are items which are codified or adopted by resolution and have been included for ease of reference, they may not be appealed or changed. The COAs and SDRs are grouped under specific headings that relate to the timing of required compliance. Additional language within a condition may further define the timing of required compliance. Applicable mitigation measures are noted with "Mitigation Measure" and placed in the applicable phase of the project.

In addition to complying with all applicable City, County, State and Federal Statutes, Codes, Ordinances, Resolutions and Regulations, Permittee expressly accepts and agrees to comply with the following Conditions of Approval and Standard Development Requirements of this Permit:

| |
|--|
| GC: THE FOLLOWING GENERAL CONDITIONS AND STANDARD DEVELOPMENT REQUIREMENTS SHALL APPLY TO THE APPROVED PROJECT. |
|--|

GC-1. CONFORMANCE WITH APPROVED PLANNING APPLICATION:

All building permit drawings and subsequent construction and operation shall substantially conform to the approved planning application, including: drawings/plans, materials samples, building colors, and other items submitted as part of the approved application. Any proposed amendments to the approved plans or Conditions of Approval are subject to review and approval by the City. The Director of Community Development shall determine whether revisions are considered major or minor. Minor changes are subject to review and approval by the Director of Community Development. Major changes are subject to review at a public hearing. [COA] [PLANNING]

GC-2. PERMIT EXPIRATION:

The permit shall be null and void two years from the date of approval by the final review authority at a public hearing if the approval is not exercised, unless a written request for an extension is received prior

to expiration date and is approved by the Director of Community Development. [SDR] [PLANNING]

- GC-3. TITLE 25:
Provisions of Title 25 of the California Administrative Code shall be satisfied with dependence on mechanical ventilation. [SDR] [BUILDING]

PS: THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO SUBMITTAL OF BUILDING PERMIT, AND/OR GRADING PERMIT.

- PS-1. EXTERIOR MATERIALS REVIEW:
Final exterior building materials and color scheme are subject to review and approval by the Planning Commission/Director of Community Development prior to submittal of a building permit. [COA] [PLANNING]

BP: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY DEMOLITION PERMIT, BUILDING PERMIT, GRADING PERMIT, AND/OR ENCROACHMENT PERMIT AND SHALL BE MET PRIOR TO THE ISSUANCE OF SAID PERMIT(S).

- BP-1. CONDITIONS OF APPROVAL:
Final plans shall include all Conditions of Approval included as part of the approved application starting on sheet 2 of the plans. [COA] [PLANNING]

- BP-2. RESPONSE TO CONDITIONS OF APPROVAL:
A written response indicating how each condition has or will be addressed shall accompany the building permit set of plans. [COA] [PLANNING]

- BP-3. BLUEPRINT FOR A CLEAN BAY:
The building permit plans shall include a “Blueprint for a Clean Bay” on one full sized sheet of the plans. [SDR] [PLANNING]

- BP-4. TREE PROTECTION PLAN:
Prior to issuance of a Demolition Permit, a Grading Permit or a Building Permit, whichever occurs first, obtain approval of a tree protection plan from the Director of Community Development. Two copies are required to be submitted for review. The tree protection

plan shall include measures noted in Title 19 of the Sunnyvale Municipal Code and at a minimum:

- a) An inventory shall be taken of all existing trees on the plan including the valuation of all ‘protected trees’ by a certified arborist, using the latest version of the “Guide for Plant Appraisal” published by the International Society of Arboriculture (ISA).
- b) Show all existing (non-orchard) trees on the plans, showing size and varieties, and clearly specify which are to be retained.
- c) Provide fencing around the drip line of the trees that are to be saved and ensure that no construction debris or equipment is stored within the fenced area during the course of demolition and construction.
- d) The tree protection plan shall be installed prior to issuance of any Building or Grading Permits, subject to the on-site inspection and approval by the City Arborist and shall be maintained in place during the duration of construction and shall be added to any subsequent building permit plans. [COA] [PLANNING/CITY ARBORIST]

BP-5. TREE REPLACEMENT:

The tree to be removed along the left side property line shall be replaced by planting a new tree of at least a 15-gallon size anywhere on the property, or by paying a tree replacement in-lieu fee of \$259.00. The proposed replacement tree shall be shown on the plans submitted for building permits, or the in-lieu fee shall be paid prior to issuance of building permits. [COA] [PLANNING]

BP-6. BEST MANAGEMENT PRACTICES:

The project shall comply with the following source control measures as outlined in the BMP Guidance Manual and SMC 12.60.220. Best management practices shall be identified on the building permit set of plans and shall be subject to review and approval by the Director of Public Works:

- a) Storm drain stenciling. The stencil is available from the City's Environmental Division Public Outreach Program, which may be reached by calling (408) 730-7738.
- b) Landscaping that minimizes irrigation and runoff, promotes surface infiltration where possible, minimizes the use of pesticides and fertilizers, and incorporates appropriate sustainable landscaping practices and programs such as Bay-Friendly Landscaping.
- c) Plumbing of the following discharges to the sanitary sewer, subject to the local sanitary sewer agency’s authority and standards:

- i) Swimming pool water, spa/hot tub, water feature and fountain discharges if discharge to on-site vegetated areas is not a feasible option.
- ii) Fire sprinkler test water, if discharge to on-site vegetated areas is not a feasible option. [SDR] [PLANNING]

BP-7. GREEN BUILDING:

The project shall comply with the applicable Green Building Standards in place at the time of building permit submittal. As a result of the proposed demolition of exterior walls, the project will be treated as a new home rather than an addition and the corresponding Green Building requirements will apply. [COA] [PLANNING]

PF: THE FOLLOWING CONDITIONS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS AND/OR SHALL BE MET PRIOR TO RELEASE OF UTILITIES OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

PF-1. LANDSCAPING AND IRRIGATION:

All landscaping and irrigation as contained in the approved building permit plan shall be installed prior to occupancy. [COA] [PLANNING]

DC: THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.

DC-1. BLUEPRINT FOR A CLEAN BAY:

The project shall be in compliance with stormwater best management practices for general construction activity until the project is completed and either final occupancy has been granted. [SDR] [PLANNING]

DC-2. TREE PROTECTION:

All tree protection shall be maintained, as indicated in the tree protection plan, until construction has been completed and the installation of landscaping has begun. [COA] [PLANNING]

VICINITY MAP:



PROJECT DATA:

ASSESSOR'S PARCEL NUMBER: 201-19-016
 PROJECT TYPE: ADDITION & REMODELING
 PROJECT LOCATION: 947 Blair Dr., Sunnyvale, CA 94087
 OCCUPANCY GROUP: R - 0
 CONSTRUCTION TYPE: V - B
 NUMBER OF FLOORS: TWO (2) STORY
 FIRE PROTECTION: SPRINKLERED

CODE EDITIONS:

- A. CALIFORNIA BUILDING: 2010 EDITION
- B. CALIFORNIA MECHANICAL: 2010 EDITION
- C. CALIFORNIA PLUMBING: 2010 EDITION
- D. CALIFORNIA ELECTRICAL: 2010 EDITION
- E. CALIFORNIA ENERGY: 2010 EDITION
- F. CALIFORNIA FIRE: 2010 EDITION
- G. ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

AREAS CALCULATION:

| | |
|--------------------------------|----------|
| EXISTING 1st FLOOR LIVING AREA | 1204 SQF |
| EXISTING GARAGE | 425 SQF |
| 1st FLOOR LIVING ADDITION | 652 SQF |
| GARAGE ADDITION | -24 SQF |
| NEW 1st FLOOR LIVING | 1061 SQF |
| NEW 2nd FLOOR LIVING | 687 SQF |
| NEW GARAGE | 401 SQF |
| TOTAL BUILDING AREA | 2949 SQF |

LOT AREA 5900 SQF

LOT COVERAGE = $(2262 / 5900) \times 100 = 38.34\%$

FLOOR AREA RATIO (FAR) = $(2949 / 5900) \times 100 = 49.98 (50)\%$

DRAWING INDEX:

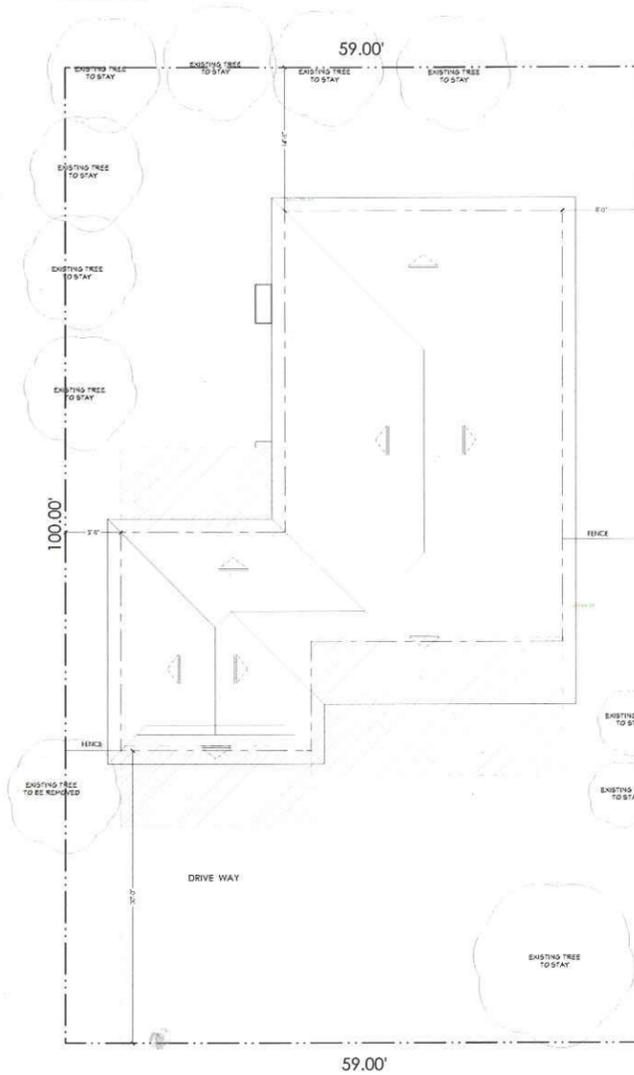
| | |
|------|----------------------------------|
| A0 | COVER SHEET & SITE PLAN |
| A1 | EXISTING FLOOR PLAN & ELEVATIONS |
| A2 | PROPOSED 1st FLOOR PLAN |
| A2-a | PROPOSED 2nd FLOOR PLAN |
| A3 | BUILDING PROPOSED ELEVATIONS |
| A4 | BUILDING SECTIONS |
| A5 | SOLAR STUDY AM |
| A6 | SOLAR STUDY PM |
| A7 | STREETSCAPE ELEVATION |
| GPR | GREEN POINT CHECKLIST |

SCOPE OF WORK:

NEW HOUSE

EXISTING SITE PLAN

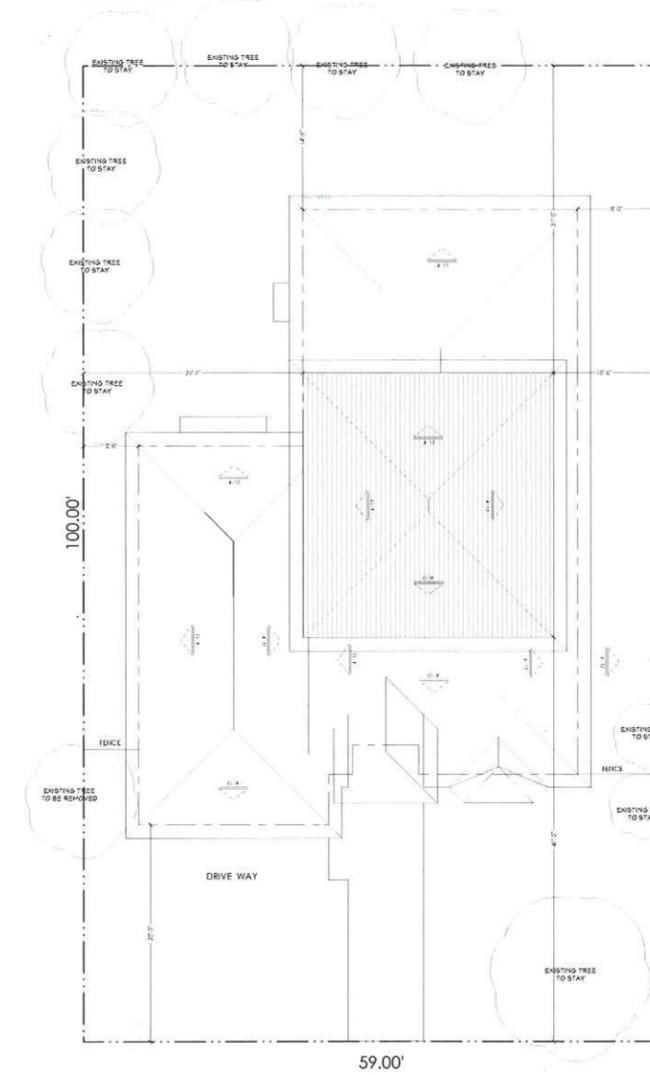
SC: 1/8" = 1'-0"



BLAIR AVE. 60'

PROPOSED SITE PLAN

SC: 1/8" = 1'-0"



BLAIR AVE. 60'

NOTES:

A - THE FINISH GRADE WITHIN 10' OF HOUSE SHALL HAVE A 5% SLOPE AWAY FROM FOUNDATION.

B - (E) DRAINAGE SHALL REMAIN THROUGHOUT CONSTRUCTION.

C - ENGINEER OF RECORD TO OBSERVE EPOXY OF HOLDDOWN.



LEGEND:

- NEW ADDITION
- SECOND STORY
- PROPERTY LINE
- BLDG FOOTPRINT LINE

GRAPHIC SCALE:



PROPOSED FRONT VIEW



| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |

AVA Construction
 21060 HOMESTEAD RD.
 CUPERTINO, CA 95014
 (408) 387-0999

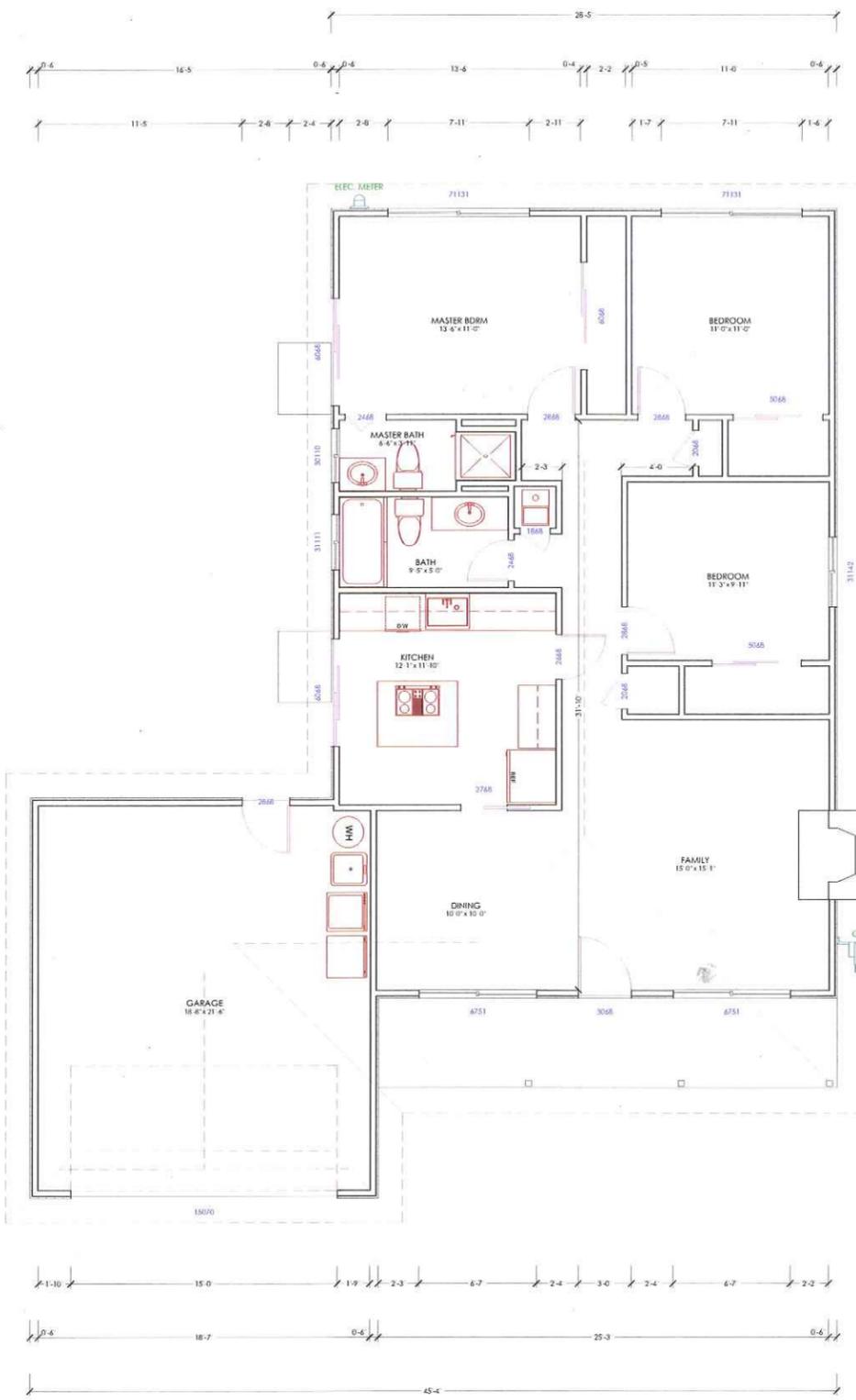


**COVER SHEET
 PROPOSED & EXISTING
 SITE PLAN**

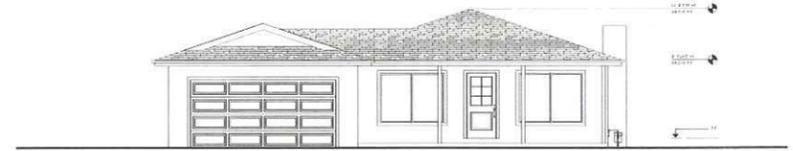
ADDITION & REMODELING FOR:
HUTCHINS RESIDENCE
 947 Blair Ave., Sunnyvale, CA 94087

| | |
|-----------|--------------------|
| DATE: | APR 2013 |
| SCALE: | 1/8" = 1' |
| DRAWN BY: | RJD |
| ISSUED: | 2/21/13/1A/REV-000 |

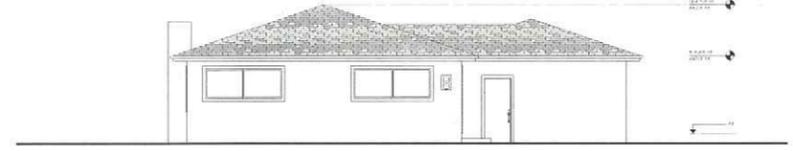
SHEET:
A-0



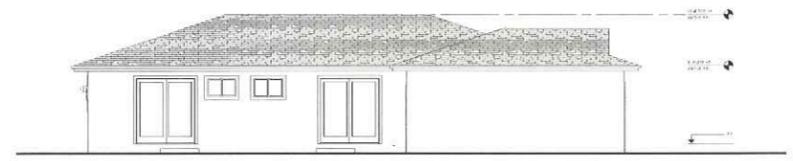
EXISTING FLOOR PLAN
 SC: 1/4" = 1'-0"



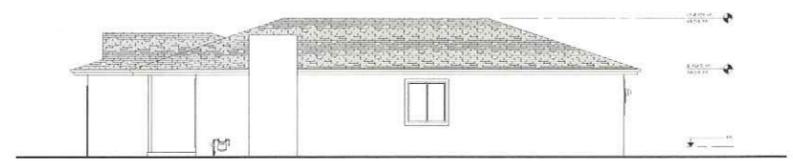
EXISTING FRONT VIEW
 SC: 1/8" = 1'-0"



EXISTING REAR VIEW
 SC: 1/8" = 1'-0"



EXISTING LEFT VIEW
 SC: 1/8" = 1'-0"



EXISTING RIGHT VIEW
 SC: 1/8" = 1'-0"



- LEGEND:**
- EXISTING WALL TO STAY
 - EXISTING WALL TO BE REMOVED

| REVISIONS | BY |
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| | |

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EXISTING FLOOR PLAN

ADDITION & REMODELING FOR:
HUTCHINS RESIDENCE
 947 Blair Ave., Sunnyvale, CA 94087

| | |
|-----------|----------------|
| DATE: | APR 2012 |
| SCALE: | 1/8" = 1'-0" |
| DRAWN BY: | B.D.D. |
| JOB NO.: | 201201HUTCHINS |
| SHEET: | |

A-1



PROPOSED 1ST FLOOR PLAN
 SC: 1/4" = 1'-0"



LEGEND:

- EXISTING WALL TO STAY
- NEW CONSTRUCTION WALL
- EXISTING DOOR / WINDOW TO BE F
- EXISTING WALL TO BE REMOVED

| REVISIONS | BY |
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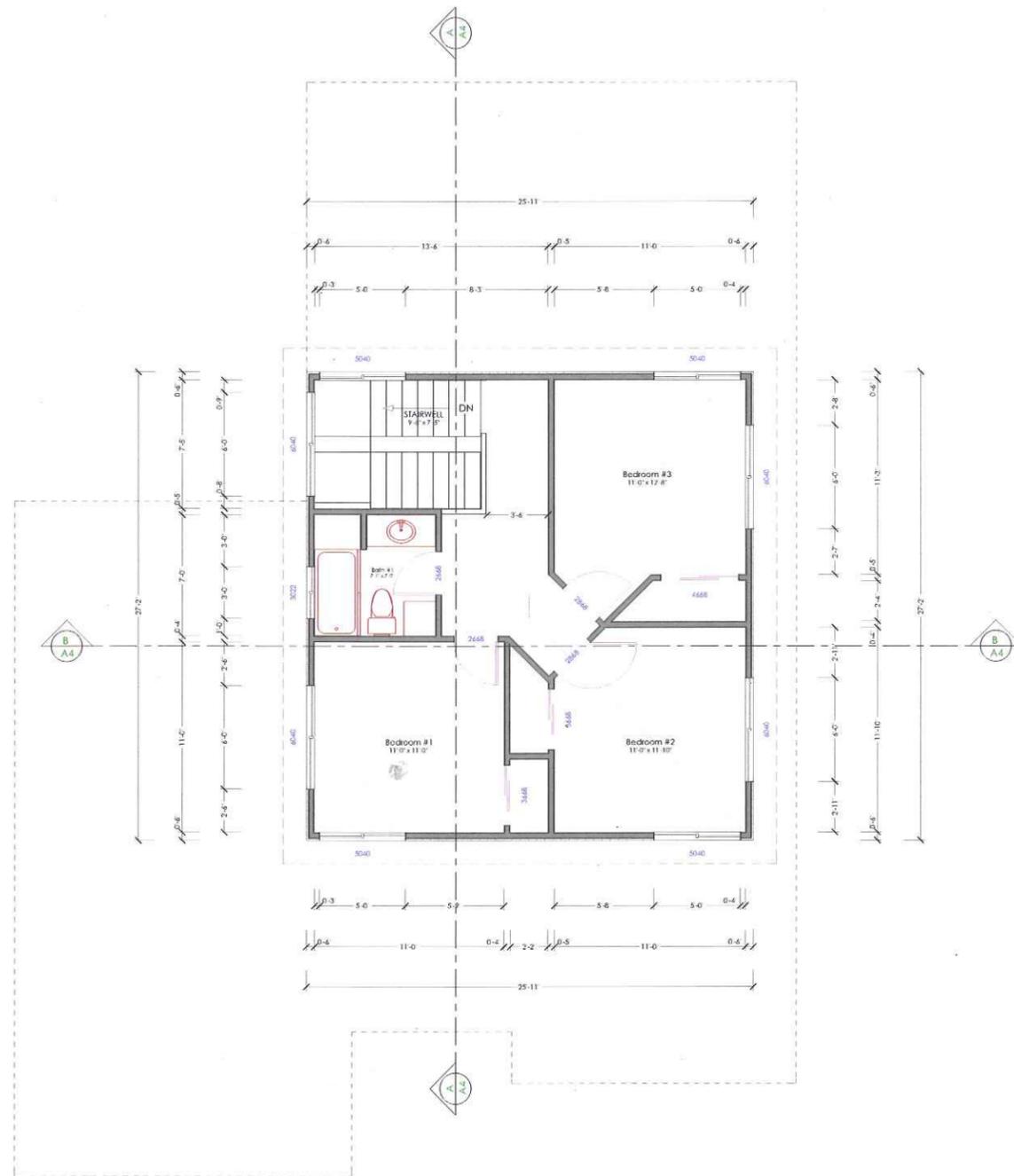
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PROPOSED FLOOR PLAN

ADDITION & REMODELING FOR:
HUTCHINS RESIDENCE
 947 Blair Ave., Sunnyvale, CA 94087

| | |
|-----------|-----------------|
| DATE: | APR 2012 |
| SCALE: | 1/4" = 1' |
| DRAWN BY: | R.S.D. |
| DATE: | 2/21/12 HCS-408 |
| SHEET: | |

A-2



PROPOSED 2ND FLOOR PLAN
 SC: 1/4" = 1'-0"



LEGEND:

- EXISTING WALL TO STAY
- NEW CONSTRUCTION WALL
- EXISTING DOOR / WINDOW TO BE F
- EXISTING WALL TO BE REMOVED

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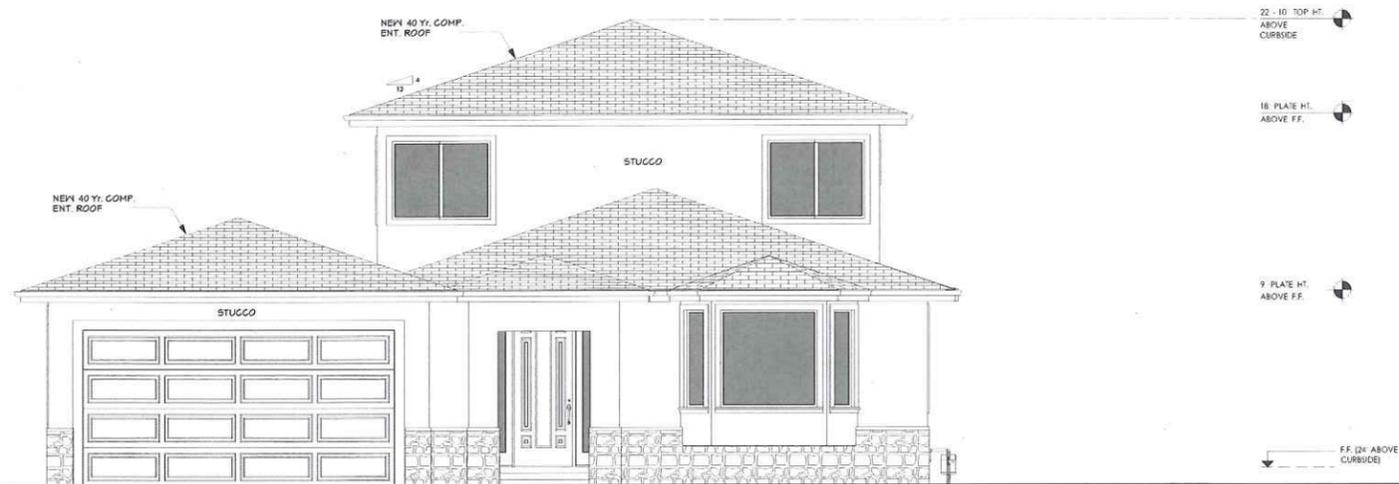


PROPOSED SECOND FLOOR PLAN

ADDITION & REMODELING FOR:
HUTCHINS RESIDENCE
 947 Blair Ave., Sunnyvale, CA 94087

| | |
|-----------|----------------|
| DATE: | APR 2012 |
| SCALE: | 1/4" = 1' |
| DRAWN BY: | B.G.D. |
| JOB NO.: | 201207HUTCHINS |

SHEET:
A-2a



PROPOSED FRONT ELEVATION

SC: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION

SC: 1/4" = 1'-0"

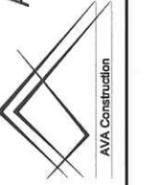


PROPOSED LEFT ELEVATION

SC: 1/4" = 1'-0"

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PROPOSED ELEVATIONS

ADDITION & REMODELING FOR:
HUTCHINS RESIDENCE
 947 Blair Ave., Sunnyvale, CA 94087

DATE: APR 2012

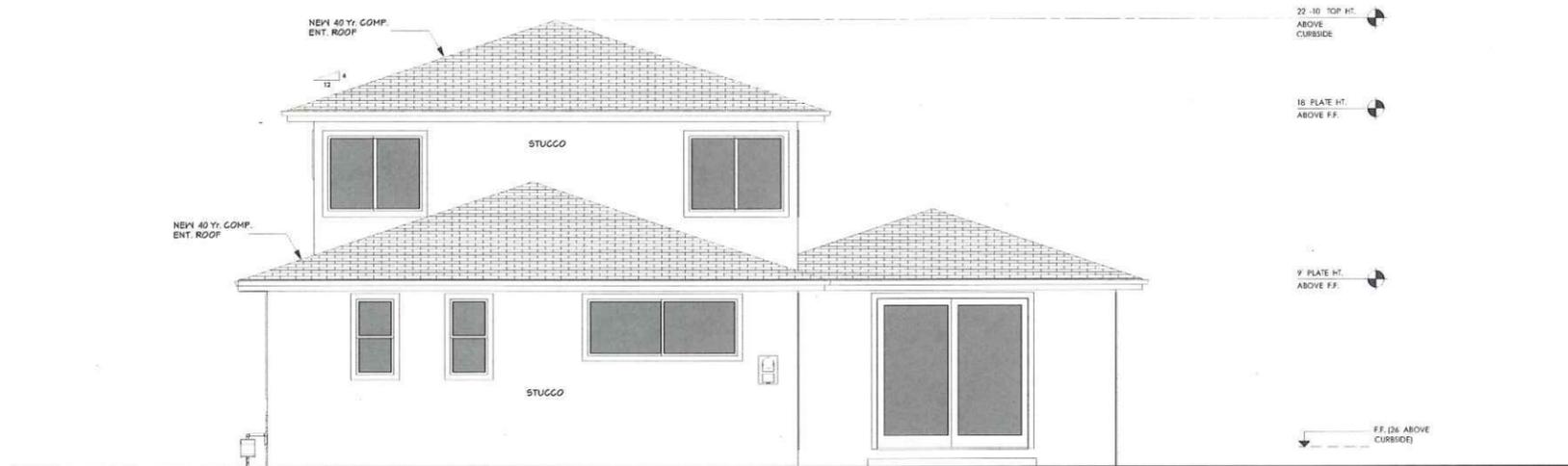
SCALE: 1/4" = 1'

DRAWN BY: BDD

JOB NO: 2012014URCHINS

SHEET:

A-3



PROPOSED REAR ELEVATION
 SC: 1/4" = 1'-0"



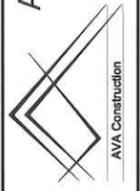
A - A CROSS SECTION
 SC: 1/4" = 1'-0"



B - B CROSS SECTION
 SC: 1/4" = 1'-0"

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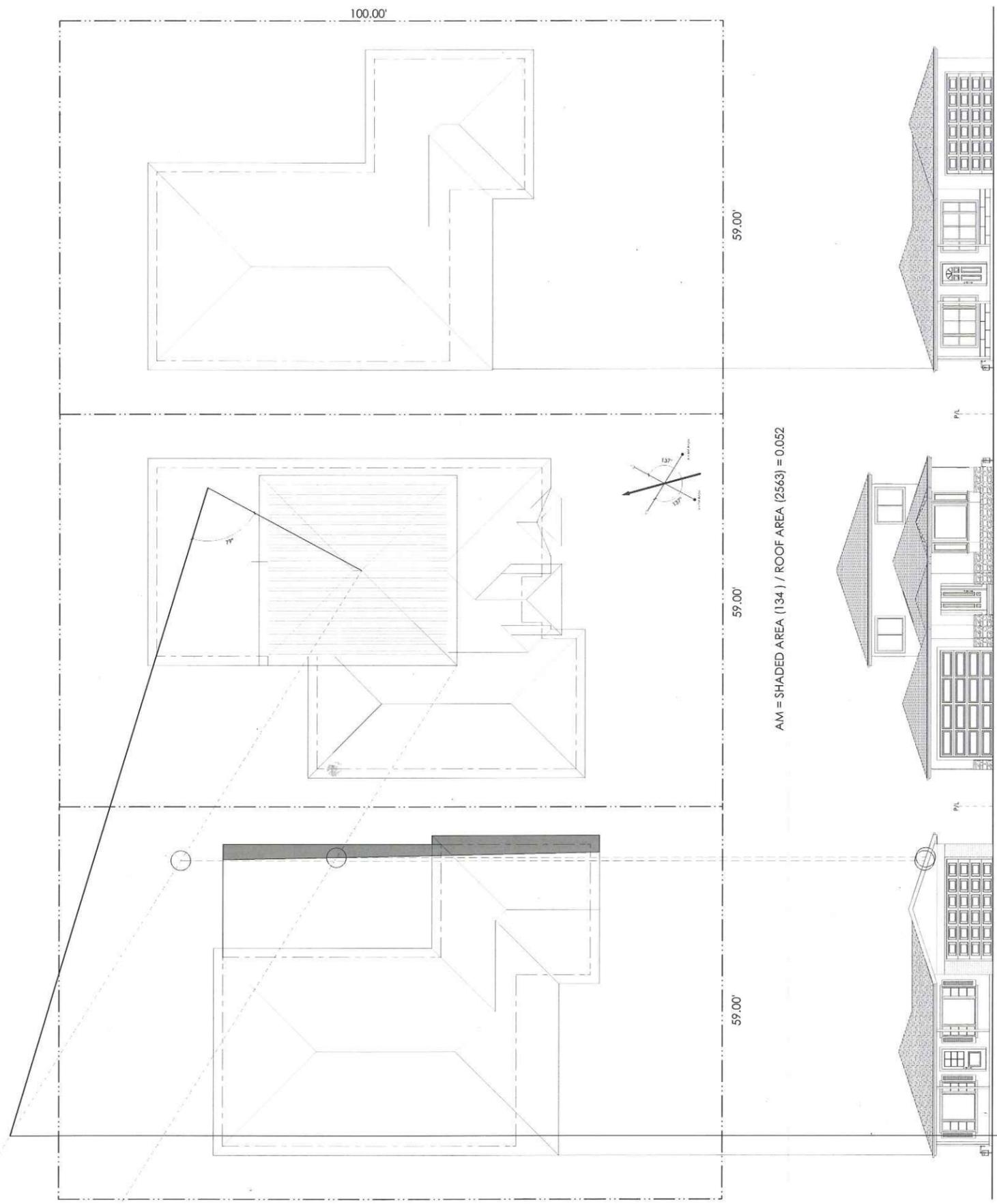


PROPOSED SECTIONS

ADDITION & REMODELING FOR:
HUTCHINS RESIDENCE
 947 Blair Ave., Sunnyvale, CA 94087

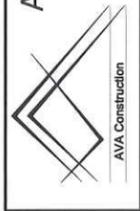
| | |
|-----------|-----------------|
| DATE: | APR 2012 |
| SCALE: | 1/4" = 1'-0" |
| DRAWN BY: | E.D.D. |
| JOB NO: | 211217/AVR-1116 |
| SHEET: | |

A-4



| REVISIONS | BY |
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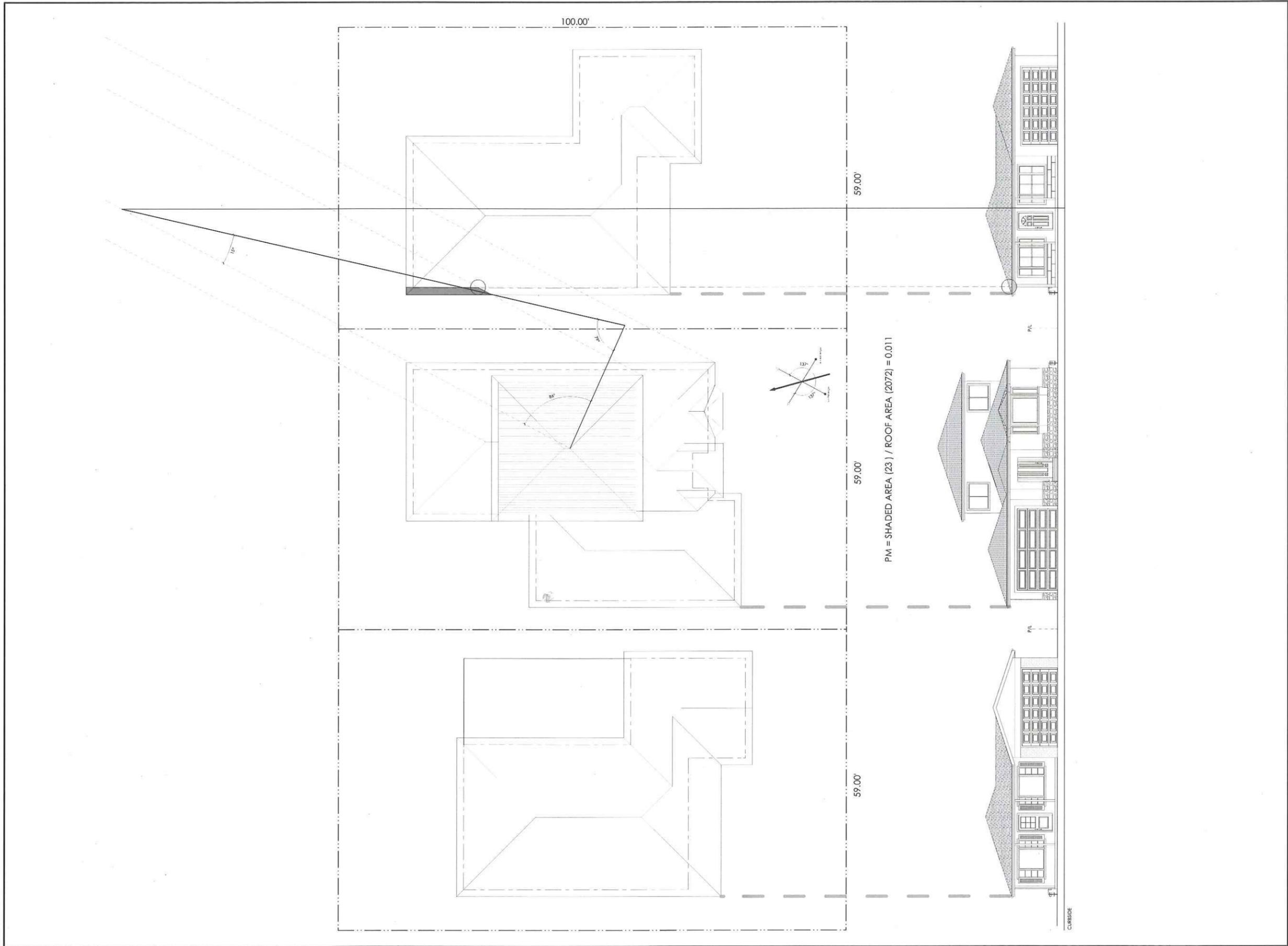


SOLAR STUDY AM

ADDITION & REMODELING FOR:
HUTCHINS RESIDENCE
 947 Blair Ave., Sunnyvale, CA 94087

| | |
|-----------|----------------|
| DATE: | APR 2012 |
| SCALE: | 1/8" = 1' |
| DRAWN BY: | R.D.D. |
| JOB NO: | 210114/RCH-015 |

SHEET:
A-5



| REVISIONS | BY |
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SOLAR STUDY PM

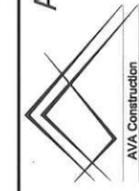
ADDITION & REMODELING FOR:
HUTCHINS RESIDENCE
 947 Blair Ave., Sunnyvale, CA 94087

| | |
|-----------|-----------------|
| DATE: | APR 2012 |
| SCALE: | 1/8" = 1' |
| DRAWN BY: | ESD |
| JOB NO: | 201201-HUTCHINS |
| SHEET: | |

A-6

| REVISIONS | BY |
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CURBSIDE
STREETSCAPE ELEVATION
 SC: 1/8" = 1'-0"

LEFT ADJACENT



PROPOSED 947 BLAIR AVE.



RIGHT ADJACENT



ADDITION & REMODELING FOR:
HUTCHINS RESIDENCE
 947 Blair Ave., Sunnyvale, CA 94087

| | |
|-----------|-----------------|
| DATE: | APA 2012 |
| SCALE: | |
| DRAWN BY: | |
| JOB NO: | 210211-HUTCHINS |
| SHEET: | |

A-7